



INSPECTION REPORT



Client Name

White Clay Creek State Park

Inspection Report

1035 Creek Road Krapf House, Newark, Delaware 19711

Report ID

022723SH40711

Inspection Date

February 27, 2023 at 09:00 AM

Inspector Name

Shawn Hemmert, Andrew Rash



INTRODUCTION

PROPERTY & INSPECTION INFORMATION

Full Address 1035 Creek Road Krapf House, Newark, Delaware, 19711	Year Built 1700	Square Footage 7500
Standards Of Practice (SOP) Delaware	Attending the Inspection Inspector Only	Occupancy Vacant-Empty
Estimated Age 100+ years	Type Of Building Single Family	Temperature During Inspection 40-49
Weather During Inspection Sunny	Soil Conditions Damp	Electric Off
Gas/Oil Off	Water Off	

REPORT INTRODUCTION

We are proud of our service, and trust you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every problem. Also because our inspection is a visual, non-invasive inspection, defects could exist that were not visible. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current. This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report, and call us if you have any questions. We are always striving for improvement to better serve the public. You are advised to seek two professional opinions and acquire estimates of repair to any defects, comments, improvements or recommendation mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers, or roofers.

Standards of Practice

Delaware SOPs link: https://dprfiles.delaware.gov/homeinspector/Ethics_and_Standards.pdf





















NACHI SOPS Link: <https://www.nachi.org/sop.htm>

Maryland SOPs:










<https://www.mdahi.org/Resources/Documents/HOME%20INSPECTOR%20MINIMUM%20STANDARDS%20OF%20PRACTICE%20-%20MARYLAND.pdf>

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COMMENT KEY OR DEFINITION OF RECOMMENDATIONS

#	Image	Name	Description
1.		Inspected(IN)	Functional with no obvious visual signs of defect and appeared to be functioning as intended allowing for normal wear and tear.
2.		Not Present(NP)	Item was unable to be inspected for safety reasons or due to lack of power, was inaccessible, or disconnected at time of inspection. Therefore, no representations can be made as to whether or not the component is functional.
3.		Not Inspected(NI)	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
4.		Minor/Maintenance(MI)	Item may warrant repair or servicing to improve operation and/or life expectancy. Monitoring is recommended even if item was functioning during the inspection. Further evaluation or servicing may be needed by a qualified licensed contractor. You should plan or budget for additional expenses.
5.		Major(MA)	This item or system is not performing its intended function or is totally inoperable or is damaged in a way to make it unsafe and usually will require some level of repair or replacement to restore it to a serviceable condition. Further evaluation is needed by a qualified licensed contractor (recommend at least 2 estimates) prior to settlement is strongly recommended. In addition, it is recommended that any further defects found be corrected as necessary to ensure proper operation of the item or system.
6.		Major	
7.		Minor/Maintenance	
8.		Not Inspected	
9.		Information	Information

REPORT SUMMARY

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[2. GENERAL INFORMATION](#)

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MAJOR

1. Outbuilding/Barn

1.1.1 Heavy Damage/Wood Rot

Heavy damage/wood rot was present at outbuilding doors. Garage doors in basement area would not open when testing. A qualified contractor is recommended for evaluation and repair as needed.



1.2.1 Damage/wood rot

Heavy wood rot/damage was present at various locations around barn. Large portions of siding were missing. A qualified contractor is recommended for evaluation and repair as needed.



1.3.2 Damaged/worn

Roof coverings were heavily damaged/worn with moisture intrusion present inside. Heavy wood rot was present at sheathing. Drip edge was missing. A qualified contractor is recommended for evaluation of roof and repair as needed.



1.4.1 Bowing

Some framing members were bowing in outbuilding. A qualified contractor is recommended for evaluation and repair as needed.



1.4.3 Heavily damaged

Multiple rafters/beams were heavily damaged. A qualified contractor is recommended for evaluation and repair as needed.



1.5.1 Staining (Elevated Moisture Readings)/Vegetation

Staining was present at areas throughout outbuilding with elevated moisture readings present. Vegetation was present and growing inside the building. A qualified contractor is recommended for evaluation and repair as needed.



1.5.3 Not Installed/Loose

Handrail was not installed for staircase in outbuilding. Staircase was slightly loose when walked. A qualified contractor is recommended for evaluation and repair as needed.



1.5.4 Blocks

Blocks were heavily damaged/loose with large cracking present. A qualified contractor is recommended for evaluation and repair as needed.



1.6.1 Soft Spots/Large Gaps

Soft spots were present at areas of flooring in outbuilding. Large gaps were present in floor creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



1.7.1 Broken glass

Broken glass was present at various windows/doors. A qualified contractor is recommended for evaluation and repair as needed.



1.9.1 Foundation

Stones were missing at various locations. Heavy damage was present at beams. Bowing was present at stone foundation wall. Posts were leaning. Posts were damaged/no longer in contact with beams. Sagging/damage were present at steel beams. A licensed structural engineer is recommended for evaluation and repair as needed.



1.10.1 Damaged/loose

Stairs were damaged and treads were loose/detached. A qualified contractor is recommended for evaluation and repair as needed.



3. Exterior

3.1.2 Wood siding

Wood siding was missing/damaged. Wood siding was in contact with roof. A qualified contractor is recommended for evaluation and repair as needed.



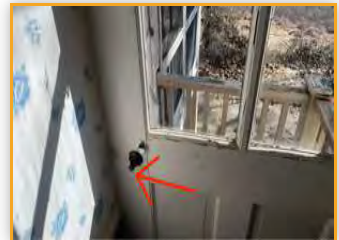
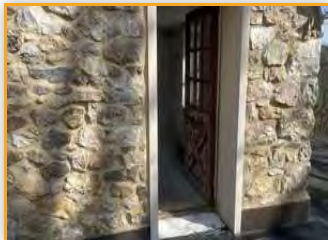
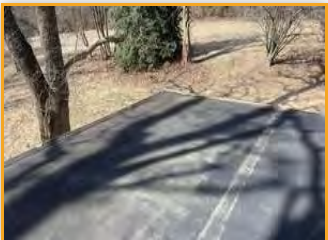
3.3.1 Large gaps

Large gaps were present at soffit causing concern for moisture/pest entry. A qualified contractor is recommended for repair.



3.6.1 No guardrails/door/knob

Guardrails were not present around roof that can be accessible from door. Door was heavily damaged and knob was missing. Knob was missing. A qualified contractor is recommended for evaluation and repair as needed.



3.7.2 Broken glass

Broken glass was present at multiple windows and doors. A qualified contractor is recommended for evaluation and repair as needed.



3.8.1 Missing Covers/Wires

Exterior outlet(s) did not have covers and were exposed to elements. Wires were exposed at porch ceiling. A qualified contractor is recommended for further evaluation and repair.



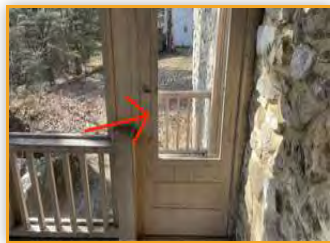
3.14.3 Missing

Gauge was missing. Recommend repair.



3.15.2 Settlement/door

Porch showed signs of settling away from the residence. Door did not function at porch. Recommend evacuation by a qualified contractor.



4. Roof

4.1.1 Roof

Roof/roof materials were heavily damaged or missing at various locations. Roof was heavily worn. Holes were present. Drip edge was not installed at areas. A qualified contractor is recommended for evaluation of roofs and repair as needed.



4.4.1 Chimneys

Flashing was loose/damaged at chimneys. Chimney crown was heavily deteriorated. A qualified contractor is recommended for evaluation and repair as needed.



5. Attic

5.2.1 Rafters

Rafters showed signs of pulling away. Rafters were cut/alterd. Recommend evaluation by a qualified contractor.



5.7.1 Moisture (Elevated)

There were indications of moisture penetration made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Daylight was visible from inside attic at various locations. A qualified contractor is recommended for evaluation and repair as needed.



5.8.1 Unprotected Wire Splices

There were unprotected wiring splices in the attic. Recommend the wiring be properly enclosed by a licensed electrician.



7. Heating

7.1.1 Heavy Corrosion/Staining

Heavy corrosion/staining was present at boiler in basement. A qualified hvac technician is recommended for evaluation and repair as needed.



8. Electrical

8.2.2 Heavy Corrosion

Heavy corrosion was present inside electrical panel box in detached garage including at the breaker contacts. A licensed electrician is recommended for evaluation and repair as needed.



Location: DETACHED GARAGE

8.5.1 Double Taps

Double taps were present at single pole breakers. A licensed electrician is recommended to evaluate for correction.



Location: DETACHED GARAGE



Location: OUTBUILDING

8.5.2 Exposed Wiring

Exposed wiring was present in basement area above fusebox panel. A licensed electrician is recommended for evaluation and repair as needed.

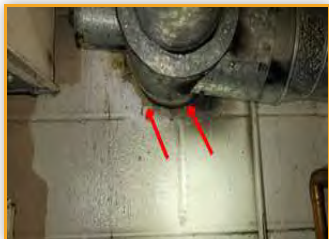


Location: BASEMENT

9. Plumbing

9.2.1 Not Sealed at Chimney Entry Point

Flue pipe was not sealed at entry point into wall/chimney and may allow carbon monoxide back into the house.



9.3.1 Disconnected

Main water line in basement area was disconnected. A qualified plumber is recommended for evaluation and repair as needed.



10. Kitchen

10.1.1 Disconnected

Drain lines for kitchen sink/garbage disposal were disconnected at the time of inspection. A qualified plumber is recommended for evaluation and repair as needed.



11. Bathrooms

11.2.1 Damaged

Tiles were damaged/loose in shower enclosures. A qualified contractor is recommended for repair as needed.



13. Interior

13.1.2 Handrail did not extend full length/Extremely Loose

Handrail did not extend the full length of stairs. Guardrails were extremely loose. A qualified contractor is recommended for evaluation and correction.



13.1.3 Large openings

Large openings were present at loft area causing concern for potential falling hazards for children. Client should consider repair/upgrading for safety purposes.



13.2.1 Heavy Sagging/Wood Rot

Ceiling was heavily sagging at areas. Wood beams in kitchen area were rotted. A qualified contractor is recommended for evaluation and repair as needed.



Location: 3RD FLOOR



Location: KITCHEN

13.3.2 Moisture (Elevated)/Wood Rot

There were indications of moisture entry made evident by staining/wood rot at areas throughout residence. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.



13.4.1 Heavily Damaged/Unlevel/Gaps

Flooring was heavily damaged/unlevel/had gaps present at areas throughout the residence. A qualified contractor is recommended for evaluation and repair as needed.



13.5.2 Windows (Multiple Defects)

1. WINDOW FELL FREELY

Window would not stay open and fell freely when tested. A qualified contractor is recommended for evaluation and repair.

2. DID NOT OPEN

Window(s) did not open when tested. A qualified contractor is recommended for evaluation and repair.



Location: LEFT SIDE



Location: LEFT SIDE

13.6.1 Would not open

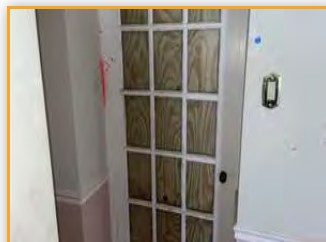
Multiple doors would not open. Unable to inspect.



Location: 3RD FLOOR



Location: 2ND FLOOR



Location: 1ST FLOOR



Location: 1ST FLOOR

13.7.1 Unprotected Wire Splices

There were unprotected wiring splices present. Recommend the wiring be properly enclosed by a licensed electrician.



14. Fireplace

14.3.2 Did not function

Dampers did not function at chimneys at the middle and left side of the residence on the 1st floor. A qualified contractor is recommended for repair.



15. Garage

15.1.2 Missing/Heavily Damaged

Left side garage door was missing. Right side garage door was heavily damaged and could not be fully opened/closed when tested. A qualified contractor is recommended for evaluation and repair as needed.



15.2.1 Heavy Rot//Termite Damage/Detached

Wood around the exterior of the garage including the fascia/soffit areas had heavy wood rot/termite damage present. Siding was heavily damaged/detached at areas. A qualified contractor is recommended for evaluation and repair as needed.



15.3.1 Missing Drip Edge/Heavy Rot/Damage

Drip edge material was missing around garage roof. This was causing concern for moisture intrusion/damage over time. Wood roof material was heavily rotted/damaged/falling apart at areas. A qualified contractor is recommended for evaluation and repair as needed.



15.5.1 Heavy Wood Rot/Damage/Large Gaps

Heavy wood rot/damage/large gaps were present at areas inside detached garage with light visible from the outside. A qualified contractor is recommended for evaluation and repair as needed.



15.6.1 Moisture (Elevated)

There were indications of moisture entry made evident by staining throughout garage. Moisture readings were taken and were elevated at the time of inspection. Unable to determine condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.



15.8.2 Broken Glass

Window was broken. A qualified contractor is recommended for evaluation and repair.



15.9.1 Heavy Corrosion/Damage

Exterior service door to garage had heavy corrosion/damage present. A qualified contractor is recommended for evaluation and repair as needed.



16. Structure

16.3.1 Damaged

Heavy damage was present at floor joists. A contractor is recommended for evaluation and repair as needed.



16.10.1 Moisture: Staining/High Readings

There were indications of moisture penetration made evident by staining and high moisture readings in basement and crawlspace. When there is high moisture present, further evaluation by a qualified contractor is recommended.



MINOR/MAINTENANCE

1. Outbuilding/Barn

1.2.2 Vegetation

Vegetation was in contact and tree limbs were overhanging. Recommend trimming.



1.3.3 Debris/gutters

Debris was present. Recommend removing. Unable to determine underlying conditions. Gutters were detached/missing.



1.4.2 Hanging

Insulation was hanging at areas.



1.5.2 Microbial Growth

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



3. Exterior

3.1.1 Siding (Multiple Defects)

1. SPRAY FOAM

Spray foam was present at areas and will need ongoing maintenance. Unable to determine underlying conditions.

2. KICKOUT FLASHING

Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .

3. MINOR CRACKING (BRICKS AND/OR STONES)

Minor cracking was present at bricks and/or stones. Recommend monitoring.

4. WORN CAULK

Caulk/mortar were worn at areas. Recommend monitoring/re sealing as needed.

5. DAMAGED SIDING

Damaged siding was present at exterior of residence.

6. LOOSE SIDING

The siding was loose in areas. Recommend securing.



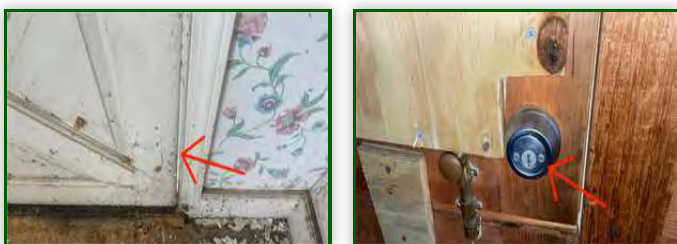
3.6.2 Doors (Multiple Defects)

1. WEATHER STRIPPING

The weather strip was damaged around the door; it did not seal properly and light was visible around the door.

2. INTERIOR KEYED LOCKS

Interior keyed locks are not recommended on entry doors. Locks should have hand operated latch. Recommend replacing keyed locks with a hand operated latch for ease of exit in the event of an emergency.



3.10.1 Driveway And Walkways (Multiple Defects)

1. WALKWAY RAISED

Walkway had raised areas which may pose a tripping hazard.

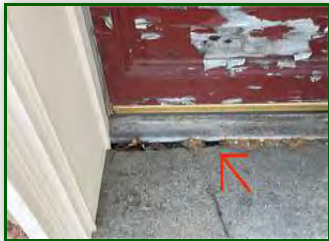
2. WALKWAY CRACKING

Settlement cracking was present in walkway. Recommend monitoring.



3.11.1 Gap

Gap was present at front step. Recommend sealing/repair. Brick was missing.



3.12.1 Grading, Drainage And Vegetation Findings (Multiple Defects)

1. VEGETATION IN CONTACT

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.

2. TREE LIMBS OVER ROOF

Tree limbs were over-hanging the roof. Recommend trimming limbs back to prevent potential damage to the roof.



3.14.1 Corrosion

Corrosion was present at fuel tanks. Recommend monitoring.



3.15.1 Porch

Ceiling was damaged. Balusters were loose.



4. Roof

4.4.2 Chimney (Multiple Defects)

1. NO FLUE CAP

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.

2. STAIR CRACKS

Stair step cracks were present in chimney.

3. CRACKED MORTAR

Brick mortar was worn and re-pointing may be warranted.

4. CROWN CRACKED

Chimney crown had cracking.



5. Attic

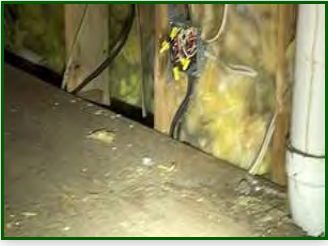
5.1.1 Detached

Access door was damaged/detached.



5.8.2 Junction Boxes Not Covered

Junction box(es) did not have covers in the attic. Recommend installing covers.



6. Cooling

6.1.1 AC system operation (Multiple Defects)

1. CORROSION

Corrosion was present at exterior condenser. Recommend monitoring.

2. FINS DAMAGED

The cooling fins were damaged/flattened on the coils of the outside A/C condensing unit.



6.2.1 Torn insulation

Refrigerant lines had torn insulation.



7. Heating

7.2.1 Damaged

Covers for baseboard heating were damaged. Recommend repair.



8. Electrical

8.2.1 Cabinet/Cover/Labels(Multiple Defects)

1. OPEN KNOCK OUT HOLE

Open "Knock-out" hole was present, recommend manufacturer's approved "blank-out" cap to close off opening

2. SCREWS MISSING

Screws were missing for panel cover.



9. Plumbing

9.1.1 No Expansion Tank Installed

Expansion tank was not installed at water heater. Client should consider having an expansion tank installed to bring water heater up to today's standards.



9.4.1 Surface Corrosion

There was evidence of surface corrosion and past leakage at the exposed and accessible supply piping. Although no current leaks were noted unless specified, this piping should be monitored for leakage and repaired if necessary.



9.4.2 Missing

Valve handle for supply line was missing in basement.



10. Kitchen

10.2.1 Damaged

Cabinets were damaged at areas in kitchen.



11. Bathrooms

11.1.1 Corrosion

Corrosion was present at supply valves. Recommend monitoring.



11.3.1 Corrosion at valve

Corrosion was present at valve. Recommend monitoring.



12. Laundry

12.4.1 Plastic Vent

Plastic dryer vent was present/damaged. Client should consider consulting a contractor before use.



13. Interior

13.1.1 Ladder Effect

Ladder effect was present. Client should consider upgrading to a different configuration to prevent children from climbing.



13.3.1 Microbial growth

Microbial growth was visible at areas throughout residence. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



13.4.2 Floor(Multiple Defects)

1. RODENT DROPPINGS

Rodent droppings were present at areas throughout residence. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.

2. SQUEAKY FLOOR

The floor squeaked when walked on, typically caused by movement at sub floor from loose/missing fasteners.



13.5.1 Hard to open

Window(s) had hard operation when tested.



13.6.2 Doors (Multiple Defects)

1. RUBBED AT FRAME

Door(s) rubbed at frame when tested.

2. NOT LATCHING

Latches did not engage the strike plates when doors were closed.

3. DOOR DAMAGED

Door was damaged.

4. MISSING/DETACHED

Door(s) was missing and/or detached.



13.7.2 Covers missing/broken

Cover plates were missing/broken at outlets or switches. Outlet was not secured.



13.7.3 Missing

Light fixtures were missing covers at areas.



14. Fireplace

14.2.1 Firebox (Multiple Defects)

1. DIRTY

The fireplace fireboxes and flues were dirty, recommended cleaning.

2. CRACKING

Firebox surround had cracks, recommend repair.

3. DOORS

Doors were detached/loose.



14.3.1 Corrosion

Corrosion was present at dampers.



15. Garage

15.4.1 Missing covers/Open junction boxes

Cover plates were not installed at outlets or switches. Junction boxes were not covered.



15.6.2 Microbial Growth

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



15.7.1 Typical cracks

Typical cracking was present.



16. Structure

16.5.1 Damaged

Subfloor was damaged at areas. No issues were present resulting from this condition at the time of inspection.



16.7.1 Mortar

Mortar was deteriorated at areas. Re pointing may be warranted.



16.9.1 Open junction boxes

Open junction boxes were present. Recommend covering for protection.



NI NOT INSPECTED

3. Exterior

3.4.1 Downspouts Draining to Extensions

Downspouts were draining to extension underground. Inspection of underground components is beyond scope of the inspection. It is recommended to have above ground drainage for monitoring and servicing.



3.7.1 Boarded up

Multiple windows/doors were boarded up.



3.13.1 Not present

Meter was not present.



3.14.2 Empty

Fuel tanks were empty. Inspection was limited.



13. Interior

13.6.1 Would not open

Multiple doors would not open. Unable to inspect.



Location: 3RD FLOOR



Location: 2ND FLOOR



Location: 1ST FLOOR



Location: 1ST FLOOR

15. Garage

15.1.1 No Power/Not Plugged In

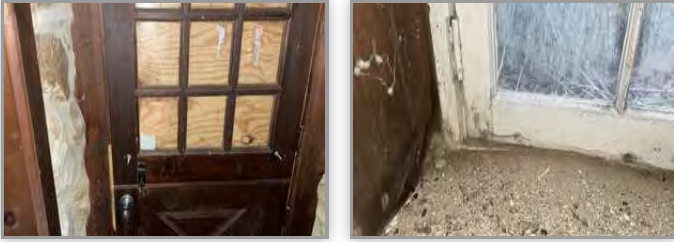
Unable to test operation of mechanized garage door openers due to them not being plugged in/power being off to the residence. Recommended verifying operation prior to settlement if client is concerned.



16. Structure

16.11.1 Boarded up/sealed

Doors and windows were boarded up/sealed shut.



INFORMATION

1. Outbuilding/Barn

1.3.1 Repairs

Repairs were noted.



1.5.5 Disconnected

Boiler was disconnected in outbuilding and no longer being utilized.



2. General Information

2.1.1 Disclaimers/Information

1. ELEVATORS

Elevators are specialized mechanical systems and are beyond the scope of a home inspection. If desired, client may wish to have the elevator system evaluated by a specialist.

2. STORED ITEMS

The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items.

3. MOLD

The inspection does not include reporting on the presence of mold, mildew, fungi, etc. - and/or their possible health issues. If desired, client can have further evaluation by a mold expert.

4. WATER OFF

Water was off at the time of inspection. All items related to the water system, including (but not limited to) supply and drain lines, fixtures, appliances, hose bibs, could not be tested for operation or leaks. As a result, these items will not appear in the report unless otherwise found defective upon visual inspection only.

5. GAS/OIL OFF

Gas/oil was shut off at the time of inspection. All items related to the gas/oil supply system could not be tested for operation or leaks, including (but not limited to) gas/oil lines, gas/oil appliances, and valves. As a result, these items will not appear in the report unless found otherwise defective upon visual-only inspection.

6. ELECTRIC OFF

The electric was not on at the time of inspection. All items related to the electrical system and all items that require electricity to operate could not be tested for operation or otherwise inspected for defects related to functionality. This includes (but is not limited to) items such as appliances, light fixtures, mechanical systems, receptacles, and breakers. As a result, these items will not appear in the report unless otherwise found defective upon visual-only inspection.

7. WATER SOFTENER

Inspecting the operation of water softeners and related components and pipes are beyond the scope of this inspection. Recommend contacting a water treatment company if further evaluation is desired.

8. Electrical

8.1.1 Electrical Information and Disclaimers

1. ELECTRICAL INFORMATION AND DISCLAIMERS

Be advised that all electrical equipment has a finite life of approximately 40-years, after which all components should be evaluated. We are not electricians and in accordance with the standards of practice we may only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. We use a standard electrical tester to check a sample of outlets. Furniture, cabinets, stored items, etc. were not moved to test outlets.

Any electrical repairs or upgrades should be made by a licensed electrician. It is recommended to have periodic inspection and maintenance on aluminum wiring by a licensed electrician. Testing of smoke detectors or alarms, timers, low voltage circuits such as door bells, security, and pet containment systems are beyond the scope of this inspection. If not already installed smoke detectors are recommended to be located in each bedroom and one per floor level. Smoke detectors typically have a life expectancy of 10 years and should be replaced as they near this period. Recommend testing GFCI's, AFCI's and smoke detectors monthly. Recommend grounded and GFI protected outlets be installed at all exterior, kitchen, wet bar, garage and unfinished basement outlet locations. Be advised that as of 2002, AFCI devices were required on bedroom circuits. Older homes can be updated with such devices. Recommend tripping main breaker and circuit breakers 1-2 times a year for preventive maintenance.

2. FEDERAL PACIFIC

A Federal Pacific labeled panel was present. There is significant information that suggests that panels and circuit breakers of this manufacturer have a high rate of failure. The failures are not readily visible or apparent without dismantling the panel box which is beyond the scope of inspection. Inspection of electrical panel by a licensed electrician is recommended.



8.4.1 Fuses

Advisory note: Fuses were present in the electrical distribution panels and were in common usage until the mid 1950s. Fuses, although inherently safer than circuit breakers, may allow replacement of a properly sized fuse with one which is too large. This can result in an unsafe circuit overload. Recommend an electrician evaluate the fuses and wiring.



8.5.3 Approved Double Tap (Square D)

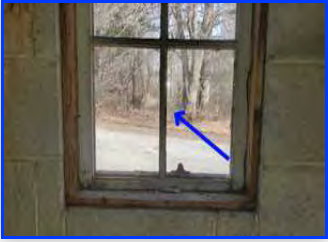
Two branch circuits were present at single pole breaker. However, this breaker was designed to accommodate two branch circuits.



15. Garage

15.8.1 Unable To Be Opened

Windows in detached garage were unable to be opened.



16. Structure

16.3.2 Repairs

Repairs were noted.



16.7.2 Sealed

Previously used opening was sealed.



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OUTBUILDING/BARN IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



OUTBUILDING/BARN MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Outbuilding	Manual	Exposed framing
Wall type(s)	Floor type(s)	
Exposed Framing	Earth, Wood	

OUTBUILDING/BARN SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
1.1 Barn/Garage Door(s)					✓	1	View Comments
1.2 Exterior Surface				✓	✓	2	View Comments
1.3 Roof	■					3	View Comments
1.4 Ceiling				✓	✓	3	View Comments
1.5 Walls				✓	✓	5	View Comments
1.6 Floors					✓	1	View Comments
1.7 Windows					✓	1	View Comments
1.8 Exterior Door	■					0	
1.9 Foundation					✓	1	View Comments
1.10 Stairs					✓	1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

1.1.1 Heavy Damage/Wood Rot

M Major

Heavy damage/wood rot was present at outbuilding doors. Garage doors in basement area would not open when testing. A qualified contractor is recommended for evaluation and repair as needed.



1.2.1 Damage/wood rot

Major

Heavy wood rot/damage was present at various locations around barn. Large portions of siding were missing. A qualified contractor is recommended for evaluation and repair as needed.



1.2.2 Vegetation

Minor/Maintenance

Vegetation was in contact and tree limbs were overhanging. Recommend trimming.



1.3.1 Repairs

Information

Repairs were noted.



1.3.2 Damaged/worn

M Major

Roof coverings were heavily damaged/worn with moisture intrusion present inside. Heavy wood rot was present at sheathing. Drip edge was missing. A qualified contractor is recommended for evaluation of roof and repair as needed.



1.3.3 Debris/gutters

m Minor/Maintenance

Debris was present. Recommend removing. Unable to determine underlying conditions. Gutters were detached/missing.



1.4.1 Bowing

M Major

Some framing members were bowing in outbuilding. A qualified contractor is recommended for evaluation and repair as needed.



1.4.2 Hanging

m Minor/Maintenance

Insulation was hanging at areas.



1.4.3 Heavily damaged

M Major

Multiple rafters/beams were heavily damaged. A qualified contractor is recommended for evaluation and repair as needed.



1.5.1 Staining (Elevated Moisture Readings)/Vegetation

M Major

Staining was present at areas throughout outbuilding with elevated moisture readings present. Vegetation was present and growing inside the building. A qualified contractor is recommended for evaluation and repair as needed.



1.5.2 Microbial Growth

m Minor/Maintenance

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



1.5.3 Not Installed/Loose

M Major

Handrail was not installed for staircase in outbuilding. Staircase was slightly loose when walked. A qualified contractor is recommended for evaluation and repair as needed.



1.5.4 Blocks

M Major

Blocks were heavily damaged/loose with large cracking present. A qualified contractor is recommended for evaluation and repair as needed.



1.5.5 Disconnected

i Information

Boiler was disconnected in outbuilding and no longer being utilized.



1.6.1 Soft Spots/Large Gaps

M Major

Soft spots were present at areas of flooring in outbuilding. Large gaps were present in floor creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



1.7.1 Broken glass

M Major

Broken glass was present at various windows/doors. A qualified contractor is recommended for evaluation and repair as needed.



1.9.1 Foundation

M Major

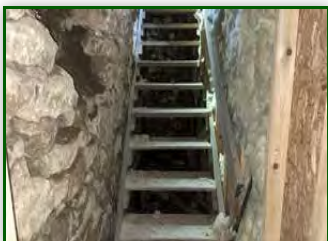
Stones were missing at various locations. Heavy damage was present at beams. Bowing was present at stone foundation wall. Posts were leaning. Posts were damaged/no longer in contact with beams. Sagging/damage were present at steel beams. A licensed structural engineer is recommended for evaluation and repair as needed.



1.10.1 Damaged/loose

M Major

Stairs were damaged and treads were loose/detached. A qualified contractor is recommended for evaluation and repair as needed.



GENERAL INFORMATION LIMITATION

Disclaimers/Information

1. ELEVATORS

Elevators are specialized mechanical systems and are beyond the scope of a home inspection. If desired, client may wish to have the elevator system evaluated by a specialist.

2. STORED ITEMS

The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items.

3. MOLD

The inspection does not include reporting on the presence of mold, mildew, fungi, etc. - and/or their possible health issues. If desired, client can have further evaluation by a mold expert.

4. WATER OFF

Water was off at the time of inspection. All items related to the water system, including (but not limited to) supply and drain lines, fixtures, appliances, hose bibs, could not be tested for operation or leaks. As a result, these items will not appear in the report unless otherwise found defective upon visual inspection only.

5. GAS/OIL OFF

Gas/oil was shut off at the time of inspection. All items related to the gas/oil supply system could not be tested for operation or leaks, including (but not limited to) gas/oil lines, gas/oil appliances, and valves. As a result, these items will not appear in the report unless found otherwise defective upon visual-only inspection.

6. ELECTRIC OFF

The electric was not on at the time of inspection. All items related to the electrical system and all items that require electricity to operate could not be tested for operation or otherwise inspected for defects related to functionality. This includes (but is not limited to) items such as appliances, light fixtures, mechanical systems, receptacles, and breakers. As a result, these items will not appear in the report unless otherwise found defective upon visual-only inspection.

7. WATER SOFTENER

Inspecting the operation of water softeners and related components and pipes are beyond the scope of this inspection. Recommend contacting a water treatment company if further evaluation is desired.

EXTERIOR IMPORTANT INFORMATION

Exterior Disclaimer

This inspection does not attempt to determine drainage performance of the site including surface drains and the condition of underground piping; including roof drainage, municipal water and sewer service piping or septic systems. Minor cracks are typical in walks, driveways, patios, porches and foundations and most do not represent a structural concern. All concrete slabs experience some degree of settlement. Be advised that siding materials with a southern exposure usually age at a faster rate and siding with a northern exposure can be prone to decay from moisture. Exterior drainage conditions should be monitored annually. Soil along the foundation should direct water away from the home by gravity flow at a pitch of 1" per foot for a distance of ten feet. Likewise, downspouts should have elbows and splashblocks/extensions to drain water away from the foundation. Maintain a 1-2 foot clearance between vegetation & siding. A safe handrail is recommended at every stairway.

Detection of the presence of concealed moisture, mold or wood decay present behind exterior finishes is beyond the scope of this inspection. Broken seals at windows may not be visible during an inspection depending on conditions.

Pictures

Exterior Pictures



EXTERIOR MATERIAL

Siding/Trim Material

Wood, Stone

Soffit Material

Wood

Fascia Material

Wood



Section Items	IN	NP	NI	MI	MA	Comments	
3.1 Siding				✓	✓	2	View Comments
3.2 Fascia						0	
3.3 Soffits					✓	1	View Comments
3.4 Downspouts						1	View Comments
3.5 Trim						0	
3.6 Doors				✓	✓	2	View Comments
3.7 Windows			✓		✓	2	View Comments
3.8 Electrical					✓	1	View Comments
3.9 Vents						0	
3.10 Driveway And Walkways				✓		1	View Comments
3.11 Steps/Stoops				✓		1	View Comments
3.12 Grading, Drainage And Vegetation Findings				✓		1	View Comments
3.13 Electric Service		✓				1	View Comments
3.14 Fuel Tank				✓	✓	3	View Comments
3.15 Porch				✓	✓	2	View Comments

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COMMENTS

3.1.1 Siding (Multiple Defects)



Minor/Maintenance

1. SPRAY FOAM

Spray foam was present at areas and will need ongoing maintenance. Unable to determine underlying conditions.

2. KICKOUT FLASHING

Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .

3. MINOR CRACKING (BRICKS AND/OR STONES)

Minor cracking was present at bricks and/or stones. Recommend monitoring.

4. WORN CAULK

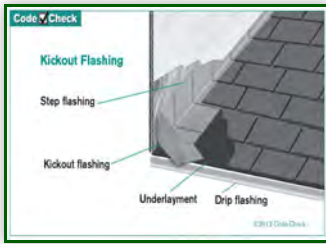
Caulk/mortar were worn at areas. Recommend monitoring/re sealing as needed.

5. DAMAGED SIDING

Damaged siding was present at exterior of residence.

6. LOOSE SIDING

The siding was loose in areas. Recommend securing.



3.1.2 Wood siding



Major

Wood siding was missing/damaged. Wood siding was in contact with roof. A qualified contractor is recommended for evaluation and repair as needed.



3.3.1 Large gaps

M Major

Large gaps were present at soffit causing concern for moisture/pest entry. A qualified contractor is recommended for repair.



3.4.1 Downspouts Draining to Extensions

NI Not Inspected

Downspouts were draining to extension underground. Inspection of underground components is beyond scope of the inspection. It is recommended to have above ground drainage for monitoring and servicing.



3.6.1 No guardrails/door/knob

Major

Guardrails were not present around roof that can be accessible from door. Door was heavily damaged and knob was missing. Knob was missing. A qualified contractor is recommended for evaluation and repair as needed.



3.6.2 Doors (Multiple Defects)

Minor/Maintenance

1. WEATHER STRIPPING

The weather strip was damaged around the door; it did not seal properly and light was visible around the door.

2. INTERIOR KEYED LOCKS

Interior keyed locks are not recommended on entry doors. Locks should have hand operated latch. Recommend replacing keyed locks with a hand operated latch for ease of exit in the event of an emergency.



3.7.1 Boarded up

NI Not Inspected

Multiple windows/doors were boarded up.



3.7.2 Broken glass

M Major

Broken glass was present at multiple windows and doors. A qualified contractor is recommended for evaluation and repair as needed.



3.8.1 Missing Covers/Wires

M Major

Exterior outlet(s) did not have covers and were exposed to elements. Wires were exposed at porch ceiling. A qualified contractor is recommended for further evaluation and repair.



3.10.1 Driveway And Walkways (Multiple Defects)



Minor/Maintenance

1. WALKWAY RAISED

Walkway had raised areas which may pose a tripping hazard.

2. WALKWAY CRACKING

Settlement cracking was present in walkway. Recommend monitoring.

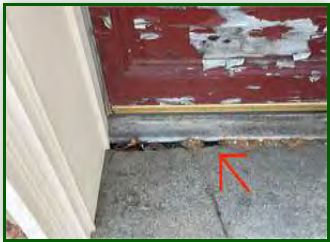


3.11.1 Gap



Minor/Maintenance

Gap was present at front step. Recommend sealing/repair. Brick was missing.



3.12.1 Grading, Drainage And Vegetation Findings (Multiple Defects)



Minor/Maintenance

1. VEGETATION IN CONTACT

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.

2. TREE LIMBS OVER ROOF

Tree limbs were over-hanging the roof. Recommend trimming limbs back to prevent potential damage to the roof.



3.13.1 Not present

NI Not Inspected

Meter was not present.



3.14.1 Corrosion



Minor/Maintenance

Corrosion was present at fuel tanks. Recommend monitoring.



3.14.2 Empty



Not Inspected

Fuel tanks were empty. Inspection was limited.



3.14.3 Missing




Major

Gauge was missing. Recommend repair.



3.15.1 Porch

 Minor/Maintenance

Ceiling was damaged. Balusters were loose.



3.15.2 Settlement/door

 Major

Porch showed signs of settling away from the residence. Door did not function at porch. Recommend evacuation by a qualified contractor.



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ROOF IMPORTANT INFORMATION

Roof/Attic Disclaimer

Home inspectors are not professional roofers. Feel free to hire a professional roofer prior to closing. We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the visible flashing, skylights, chimneys, and roof penetrations. We are not required to inspect antennae, solar panels, interiors of flues or chimneys which are not readily accessible and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes.

It is virtually impossible to detect a leak except as it is occurring or by specific water test, which is beyond the scope of the inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

It is recommended all chimney and fireplace flues be cleaned and inspected annually by a qualified chimney sweep.

3-tab asphalt roof coverings have an approximate 20 year life expectancy and architectural asphalt coverings have an approximate 30 year life expectancy. Asphalt is the most common roof covering in our area. Rubber membranes (Flat or rolled roof coverings) are typically between 15-20 years for life expectancy while metal roofs are approximately 40 years. All life expectancy ranges are approximate and there is no warranty or guarantee expressed or implied.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspection or repair issues as it relates to the comments in this inspection report.

A visual observation of the chimney and flue within the scope of a standard home inspection, may not detect defects beyond our limited view (12 - 18 inches) or where soot has accumulated. A more thorough inspection can be performed by a specialist.

Attic: The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, general state of repair, leakage, and venting. Where walking in an unfinished attic can result in damage to the ceiling, inspection may be limited to the access opening only.

If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance.

Pictures

Roof Pictures



ROOF MATERIAL

Roof Approximate Age	Roof Access	Roof Type
30+ Years, Roof is existing beyond life expectancy	Drone	Flat, Gable
Roof-covering material	Drainage system description	Chimney/flue material
Wood , Asphalt Shingle, Rolled Roofing	Gutters and Downspouts installed	Brick, Clay

ROOF SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
4.1 Roof Material					✓	1 View Comments
4.2 Roof drainage system/Gutters						0
4.3 Plumbing and Combustion Vents						0
4.4 Chimney					✓	2 View Comments

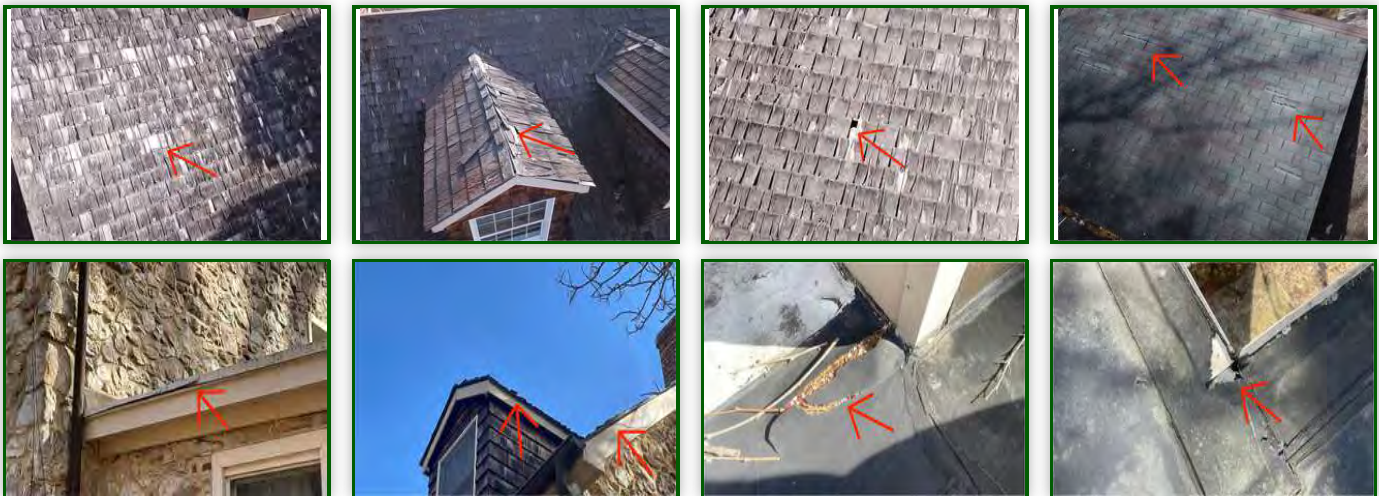
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COMMENTS

4.1.1 Roof

M Major

Roof/roof materials were heavily damaged or missing at various locations. Roof was heavily worn. Holes were present. Drip edge was not installed at areas. A qualified contractor is recommended for evaluation of roofs and repair as needed.



4.4.1 Chimneys

Major

Flashing was loose/damaged at chimneys. Chimney crown was heavily deteriorated. A qualified contractor is recommended for evaluation and repair as needed.



4.4.2 Chimney (Multiple Defects)

Minor/Maintenance

1. NO FLUE CAP

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.

2. STAIR CRACKS

Stair step cracks were present in chimney.

3. CRACKED MORTAR

Brick mortar was worn and re-pointing may be warranted.

4. CROWN CRACKED

Chimney crown had cracking.



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ATTIC IMPORTANT INFORMATION

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If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Attic Pictures



ATTIC MATERIAL

Attic Access Location	Method Used To Observe The Attic	Roof Structure
2nd floor	Walked	Rafter
Attic Insulation Type	Attic Ventilation System	
Batt, Fiberglass	Ridge Vents, Soffit Vents	




Section Items	IN	NP	NI	MI	MA	Comments	
5.1 Attic Access				✓		1	View Comments
5.2 Framing					✓	1	View Comments
5.3 Sheathing						0	
5.4 Insulation						0	
5.5 Ventilation						0	
5.6 Ducts/Fan Terms/Flues						0	
5.7 Moisture Intrusion					✓	1	View Comments
5.8 Electrical				✓	✓	2	View Comments

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COMMENTS

5.1.1 Detached

 Minor/Maintenance

Access door was damaged/detached.



5.2.1 Rafters

 Major

Rafters showed signs of pulling away. Rafters were cut/altered. Recommend evaluation by a qualified contractor.



Location: RIGHT SIDE



Location: RIGHT SIDE

5.7.1 Moisture (Elevated)

M Major

There were indications of moisture penetration made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Daylight was visible from inside attic at various locations. A qualified contractor is recommended for evaluation and repair as needed.



5.8.1 Unprotected Wire Splices

M Major

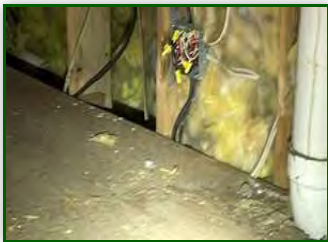
There were unprotected wiring splices in the attic. Recommend the wiring be properly enclosed by a licensed electrician.



5.8.2 Junction Boxes Not Covered

M Minor/Maintenance

Junction box(es) did not have covers in the attic. Recommend installing covers.



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COOLING IMPORTANT INFORMATION

Cooling Information and Disclaimers

Home inspectors are generalists and not HVAC contractors. It is not within the scope of a General Home Inspection to determine unit size, SEER rating or if the evaporator and condenser coil are matched properly on the AC system. If a detailed evaluation is desired an HVAC contractor should be consulted prior to close. Information can be obtained from licensed heating and air conditioning contractors if a more comprehensive inspection is desired.

Life expectancy of central air systems is typically 15-20 years for most manufacturers. This will vary drastically based on maintenance, elements, and manufacturers. No warranty or guarantee is expressed or implied.

Mechanical equipment tested for functional operation at time of inspection only. This inspection covers only the visible components of the air conditioning system. Items the inspector cannot see, such as drains, and distribution inside walls, floors and underground are beyond the scope of this inspection. The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. Safety devices are not tested by the inspector. The inspector is NOT EQUIPPED TO INSPECT concealed portions of evaporator and condensing coils, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. Inspection does not determine balancing or sizing of system-the uniformity of the supply of conditioned air to the various parts of the structure is not calculated and is beyond scope of the inspection. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Annual cleaning and servicing recommended for best performance and life expectancy. Air conditioners should be kept clean and free of debris. Dirty air conditioners and those with restricted air flow because of fin damage, vegetation, etc. can wear out quickly. Winter covers can accelerate corrosion and should not be used unless approved by the manufacturer.

AC Pictures

AC Pictures



Location: BASEMENT

2.4 Filter

COOLING MATERIAL

AC System Manufacturer	AC System age	AC System Capacity
Carrier	1991, AC system has exceeded service life	3 tons
AC System(s) Energy Source		
Electric 220 Volt		



Section Items	IN	NP	NI	MI	MA	Comments	
6.1 AC system operation				✓		1	View Comments
6.2 Refrigerant Lines				✓		1	View Comments
6.3 Condensate Removal						0	



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COMMENTS

6.1.1 AC system operation (Multiple Defects)

 Minor/Maintenance

1. CORROSION


Corrosion was present at exterior condenser. Recommend monitoring.

2. FINS DAMAGED

The cooling fins were damaged/flattened on the coils of the outside A/C condensing unit.



6.2.1 Torn insulation

 Minor/Maintenance

Refrigerant lines had torn insulation.



HEATING IMPORTANT INFORMATION

Heating Information and Disclaimers

Home inspectors are generalists and not HVAC contractors. It is not within the scope of a General Home Inspection to determine unit size or BTU rating. If a detailed evaluation is desired, an HVAC contractor should be consulted prior to close. Life expectancy on average for heating systems: Hot air furnace 20-25 years, heat pump 20 years, boilers 40 years. This will vary drastically based on maintenance, elements, and manufacturers. No warranty or guarantee is expressed or implied.

Mechanical equipment tested for functional operation at time of inspection only. This inspection covers only the visible components of the air conditioning system. Items the inspector cannot see, such as drains, and distribution inside walls, floors and underground are beyond the scope of this inspection. The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. Safety devices are not tested by the inspector. The inspector is NOT EQUIPPED TO INSPECT furnace HEAT EXCHANGERS for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. Inspection does not determine balancing or sizing of system-the uniformity of the supply of conditioned air to the various parts of the structure is not calculated and is beyond scope of the inspection. Annual cleaning and servicing recommended for best performance and life expectancy. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy. If a boiler is present, The TPRV (temperature pressure relief valve) is not tested due to the possibility of the valve leaking after it has been opened. Be advised that gas burning appliances can produce carbon monoxide. Determining the presence of and/or testing carbon monoxide detectors is beyond the scope of this inspection.

Heating Pictures

Heating System Pictures



HEATING MATERIAL

Heating System Type	Heating System Manufacturer	Heating System Age
Boiler	Burnham	1998
Heating System Capacity	Heating System Energy Source	Heating System Distribution
1.35 GPH	Oil	Baseboard



Section Items	IN	NP	NI	MI	MA	Comments	
7.1 Heating system operation					✓	1	View Comments
7.2 Heating System Distribution				✓		1	View Comments
7.3 Flue pipe(s)						0	
7.4 Filter(s)						0	

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

7.1.1 Heavy Corrosion/Staining

M Major

Heavy corrosion/staining was present at boiler in basement. A qualified hvac technician is recommended for evaluation and repair as needed.



7.2.1 Damaged

m Minor/Maintenance

Covers for baseboard heating were damaged. Recommend repair.



ELECTRICAL IMPORTANT INFORMATION

Electrical Information and Disclaimers

1. ELECTRICAL INFORMATION AND DISCLAIMERS

Be advised that all electrical equipment has a finite life of approximately 40-years, after which all components should be evaluated. We are not electricians and in accordance with the standards of practice we may only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. We use a standard electrical tester to check a sample of outlets. Furniture, cabinets, stored items, etc. were not moved to test outlets.

Any electrical repairs or upgrades should be made by a licensed electrician. It is recommended to have periodic inspection and maintenance on aluminum wiring by a licensed electrician. Testing of smoke detectors or alarms, timers, low voltage circuits such as door bells, security, and pet containment systems are beyond the scope of this inspection. If not already installed smoke detectors are recommended to be located in each bedroom and one per floor level. Smoke detectors typically have a life expectancy of 10 years and should be replaced as they near this period. Recommend testing GFCI's, AFCI's and smoke detectors monthly. Recommend grounded and GFI protected outlets be installed at all exterior, kitchen, wet bar, garage and unfinished basement outlet locations. Be advised that as of 2002, AFCI devices were required on bedroom circuits. Older homes can be updated with such devices. Recommend tripping main breaker and circuit breakers 1-2 times a year for preventive maintenance.

2. FEDERAL PACIFIC

A Federal Pacific labeled panel was present. There is significant information that suggests that panels and circuit breakers of this manufacturer have a high rate of failure. The failures are not readily visible or apparent without dismantling the panel box which is beyond the scope of inspection. Inspection of electrical panel by a licensed electrician is recommended.



Electrical Pictures



Location: DETACHED GARAGE

2.1 A



Location: DETACHED GARAGE

2.2 A



Location: 3RD FLOOR

2.3 B



Location: 3RD FLOOR

2.4 B



Location: BASEMENT

2.5 C

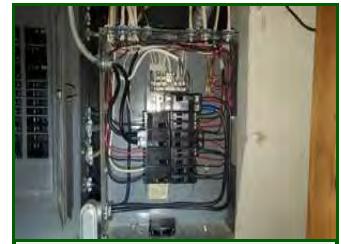


Location: BASEMENT

2.6 D



2.7 E



2.8 E



2.9 F



2.10 F



Location: OUTBUILDING

2.11 G



Location: OUTBUILDING

2.12 G

ELECTRICAL MATERIAL

Panel Location	Manufacturer	Main Breaker Size
Basement, Garage, 3rd Floor	Square D, General Electric, Federal Pacific	100 amps, Sub panel
Service Disconnect Location	Service Disconnect Type	Overcurrent Protection Device
At Service Panel, 400 Amp Shutoff In Basement	Breaker, Fuse Block	Breakers
Is The Panel Bonded?	Volts	120 VAC Branch Circuits
Yes	110-240 VAC	Copper
240 VAC Branch Circuits	Aluminum Wiring	Ground
Aluminum, Copper	Service Line And 240 VAC Circuits	Plumbing Ground




Section Items	IN	NP	NI	MI	MA	Comments	
8.1 Service Disconnect						0	
8.2 Cabinet/Cover/Labels				✓	✓	2	View Comments
8.3 Ground/Bonding						0	
8.4 Breakers/Fuses						1	View Comments
8.5 Wiring					✓	3	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

8.2.1 Cabinet/Cover/Labels(Multiple Defects)

 Minor/Maintenance

1. OPEN KNOCK OUT HOLE

Open "Knock-out" hole was present, recommend manufacturer's approved "blank-out" cap to close off opening

2. SCREWS MISSING

Screws were missing for panel cover.



8.2.2 Heavy Corrosion

 Major

Heavy corrosion was present inside electrical panel box in detached garage including at the breaker contacts. A licensed electrician is recommended for evaluation and repair as needed.



Location: DETACHED GARAGE

Information

Advisory note: Fuses were present in the electrical distribution panels and were in common usage until the mid 1950s. Fuses, although inherently safer than circuit breakers, may allow replacement of a properly sized fuse with one which is too large. This can result in an unsafe circuit overload. Recommend an electrician evaluate the fuses and wiring.



8.5.1 Double Taps

M Major

Double taps were present at single pole breakers. A licensed electrician is recommended to evaluate for correction.



Location: DETACHED GARAGE



Location: OUTBUILDING

8.5.2 Exposed Wiring

M Major

Exposed wiring was present in basement area above fusebox panel. A licensed electrician is recommended for evaluation and repair as needed.



Location: BASEMENT

8.5.3 Approved Double Tap (Square D)

i Information

Two branch circuits were present at single pole breaker. However, this breaker was designed to accommodate two branch circuits.



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PLUMBING IMPORTANT INFORMATION

Plumbing Disclaimer

A plumbing system consists of the domestic water supply lines, drain, waste and vent lines and gas lines. Underground piping and piping concealed under floors and behind walls such as water supply and waste are excluded from this inspection as they are not visible. Water conditioning, filtering systems, fire and lawn sprinklers, spas, pools, and on-site disposal or water supply systems are not within the scope of this inspection. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking.

Water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible and functional drainage at fixtures. Flow and/or pressure testing on the plumbing system is beyond the scope of this inspection. Pressure testing is not performed on gas lines as it requires specialized equipment/certification - it is recommended to have a pressure test performed prior to occupancy.

Our review of water heaters includes the tank, water and gas connections, electrical connections, venting and safety valves. Water heater tested for functional operation at time of inspection only. Generally speaking life expectancy for electric hot water heaters is 10-15 years and gas units are 12-20 years depending on manufacturer, maintenance and other determining factors. The TPRV at the water heater was not tested due to the possibility of the valve leaking after it has been opened. If not installed client may want to consider installing an overflow pan with drain under the hot water heater. No guarantee or warranty is expressed or implied. If water heater is operating beyond designed life it should be understood it may need replacement in near future. Draining hot water yearly can help extend the life of a hot water heater tank. It is recommended a licensed, qualified plumber perform the draining. The hidden nature of piping and venting prevents inspection of every pipe, joint, vent and connection. Be advised that gas burning appliances can produce carbon monoxide. Determining the presence of and/or testing carbon monoxide detectors is beyond the scope of this inspection. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Plumbing Pictures



Location: BASEMENT

2.3 Main water shut off

PLUMBING MATERIAL

Water Heater Location	Water Heater Energy Source	Water Heater Manufacturer
Basement	Oil	Bock
Water Heater Age	Water Heater Capacity	Main Water Supply Pipe
1997, Water heater is existing beyond its service life	70+ gallons	Black Poly Pipe
Water Distribution Pipes	Drain Waste and Vent Pipe Materials	Gas/Oil Pipe Material
Copper	Polyvinyl Chloride (PVC), Copper	Copper




Section Items	IN	NP	NI	MI	MA	Comments	
9.1 Water Heater				✓		1	View Comments
9.2 Flue pipe					✓	1	View Comments
9.3 Main Service Line					✓	1	View Comments
9.4 Supply Lines						2	View Comments
9.5 Drain and Vent pipes						0	
9.6 Gas/oil lines						0	

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COMMENTS

9.1.1 No Expansion Tank Installed

 Minor/Maintenance

Expansion tank was not installed at water heater. Client should consider having an expansion tank installed to bring water heater up to todays standards.



9.2.1 Not Sealed at Chimney Entry Point

 Major

Flue pipe was not sealed at entry point into wall/chimney and may allow carbon monoxide back into the house.



9.3.1 Disconnected

M Major

Main water line in basement area was disconnected. A qualified plumber is recommended for evaluation and repair as needed.



9.4.1 Surface Corrosion

m Minor/Maintenance

There was evidence of surface corrosion and past leakage at the exposed and accessible supply piping. Although no current leaks were noted unless specified, this piping should be monitored for leakage and repaired if necessary.



9.4.2 Missing

m Minor/Maintenance

Valve handle for supply line was missing in basement.



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KITCHEN IMPORTANT INFORMATION

Kitchen Information and Disclaimers

Appliances are tested for basic functional operation at time of inspection only. No life expectancy is expressed or implied. Appliances can not be run through a full cycle during a limited visual home inspection. Self cleaning features on ovens were not tested. The dishwashers ability to wash dishes was not tested. Ice makers are considered an upgrade and testing ice makers is not within scope of this inspection. Counter top appliances and portable appliances are not within scope of the inspection. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. Individuals have been injured when sitting on or standing on these doors.

Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at anytime, including immediately after the inspection. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

KITCHEN MATERIAL

Countertop	Cabinetry	Kitchen Sink Type(s)
Granite/Quartz	Wood	Porcelain
Cooking Appliances		
Gas		

KITCHEN SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
10.1 Fixtures, Plumbing, And Drains					✓	1	View Comments
10.2 Cabinets And Counters				✓		1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

10.1.1 Disconnected

M Major

Drain lines for kitchen sink/garbage disposal were disconnected at the time of inspection. A qualified plumber is recommended for evaluation and repair as needed.



10.2.1 Damaged

m Minor/Maintenance

Cabinets were damaged at areas in kitchen.



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BATHROOMS IMPORTANT INFORMATION

Bathroom Information and Disclaimers

No warranty against leaks in tile, surrounds or piping is expressed or implied. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Plumbing pipes and fixtures should be checked just before closing and then regularly during occupancy.

Fixture overflow drains are not tested. Cabinets are not emptied during inspection. If a jetted tub is present, the tub was filled and operated to check intake and jets. Pump and supply lines were not completely accessible. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

BATHROOMS MATERIAL

Exhaust Vent

Window

BATHROOMS SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
11.1 Sink(s)				✓		1 View Comments
11.2 Bath/Shower Fixtures					✓	1 View Comments
11.3 Toilet						1 View Comments



IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

11.1.1 Corrosion

Minor/Maintenance

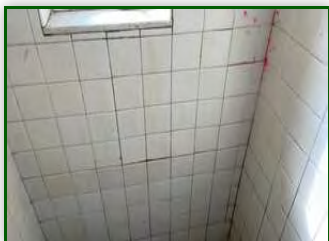
Corrosion was present at supply valves. Recommend monitoring.



11.2.1 Damaged

Major

Tiles were damaged/loose in shower enclosures. A qualified contractor is recommended for repair as needed.



11.3.1 Corrosion at valve



Minor/Maintenance

Corrosion was present at valve. Recommend monitoring.



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LAUNDRY IMPORTANT INFORMATION

Laundry Information and Disclaimers

Laundry areas/rooms are visually inspected. Due to their hidden nature, inspection of appliance connections, hookups, or venting are not visible. Appliances are tested for functional operation at time of inspection only. No life expectancy is expressed or implied. Appliances can not be run through a full cycle during a limited visual home inspection. Testing the washer and dryer is done as a courtesy only. Modern washers and dryers may have sensors for operation and will need clothing to test operation - inspectors will not add clothes to test operation. If there are clothes in the washer it will not be operated. If washer is not present the wall box can only be inspected visually. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at anytime, including immediately after the inspection. Inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Laundry Pictures



LAUNDRY MATERIAL

Dryer Power

Electric

Cloths Dryer Vent Material

Plastic

Appliances Present

None




Section Items	IN	NP	NI	MI	MA	Comments	
12.1 Electrical						0	
12.2 Washer						0	
12.3 Dryer						0	
12.4 Dryer Vent						1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

12.4.1 Plastic Vent

 Minor/Maintenance

Plastic dryer vent was present/damaged. Client should consider consulting a contractor before use.



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INTERIOR IMPORTANT INFORMATION

Interior Information and Disclaimers

Pictures are a courtesy to help document rooms and conditions at time of inspection.

The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Interior Pictures



INTERIOR MATERIAL


Walls and Ceilings	Floor Covering Materials	Interior Doors
Drywall, Plaster, Paneling	Carpet, Wood	Wood
Windows	Smoke Detector(s)	
Wood, Non-opening, Single Hung	Present with some removed	



Section Items	IN	NP	NI	MI	MA	Comments	
13.1 Stairs & Railings				✓	✓	3	View Comments
13.2 Ceilings					✓	1	View Comments
13.3 Walls				✓	✓	2	View Comments
13.4 Floor				✓	✓	2	View Comments
13.5 Windows				✓	✓	2	View Comments
13.6 Doors				✓	✓	2	View Comments
13.7 Electrical				✓		3	View Comments

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13.1.1 Ladder Effect

 Minor/Maintenance

Ladder effect was present. Client should consider upgrading to a different configuration to prevent children from climbing.



13.1.2 Handrail did not extend full length/Extremely Loose

 Major

Handrail did not extend the full length of stairs. Guardrails were extremely loose. A qualified contractor is recommended for evaluation and correction.



13.1.3 Large openings

 Major

Large openings were present at loft area causing concern for potential falling hazards for children. Client should consider repair/upgrading for safety purposes.



13.2.1 Heavy Sagging/Wood Rot

M Major

Ceiling was heavily sagging at areas. Wood beams in kitchen area were rotted. A qualified contractor is recommended for evaluation and repair as needed.



Location: 3RD FLOOR



Location: KITCHEN

13.3.1 Microbial growth

m Minor/Maintenance

Microbial growth was visible at areas throughout residence. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



13.3.2 Moisture (Elevated)/Wood Rot

M Major

There were indications of moisture entry made evident by staining/wood rot at areas throughout residence. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.



13.4.1 Heavily Damaged/Unlevel/Gaps

Major

Flooring was heavily damaged/unlevel/had gaps present at areas throughout the residence. A qualified contractor is recommended for evaluation and repair as needed.



13.4.2 Floor(Multiple Defects)

Minor/Maintenance

1. RODENT DROPPINGS


Rodent droppings were present at areas throughout residence. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.

2. SQUEAKY FLOOR

The floor squeaked when walked on, typically caused by movement at sub floor from loose/missing fasteners.



13.5.1 Hard to open

 Minor/Maintenance

Window(s) had hard operation when tested.



13.5.2 Windows (Multiple Defects)

 Major

1. WINDOW FELL FREELY

Window would not stay open and fell freely when tested. A qualified contractor is recommended for evaluation and repair.

2. DID NOT OPEN

Window(s) did not open when tested. A qualified contractor is recommended for evaluation and repair.



Location: LEFT SIDE



Location: LEFT SIDE

13.6.1 Would not open

M Major **NI** Not Inspected

Multiple doors would not open. Unable to inspect.



Location: 3RD FLOOR



Location: 2ND FLOOR



Location: 1ST FLOOR



Location: 1ST FLOOR

13.6.2 Doors (Multiple Defects)

M Minor/Maintenance

1. RUBBED AT FRAME

Door(s) rubbed at frame when tested.

2. NOT LATCHING

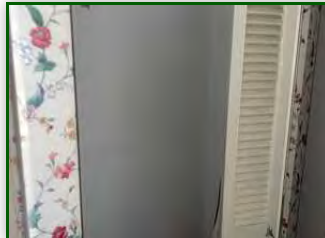
Latches did not engage the strike plates when doors were closed.

3. DOOR DAMAGED

Door was damaged.

4. MISSING/DETACHED

Door(s) was missing and/or detached.



13.7.1 Unprotected Wire Splices

M Major

There were unprotected wiring splices present. Recommend the wiring be properly enclosed by a licensed electrician.



13.7.2 Covers missing/broken

m Minor/Maintenance

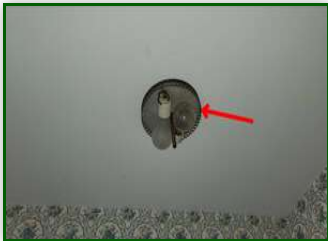
Cover plates were missing/broken at outlets or switches. Outlet was not secured.



13.7.3 Missing

m Minor/Maintenance

Light fixtures were missing covers at areas.



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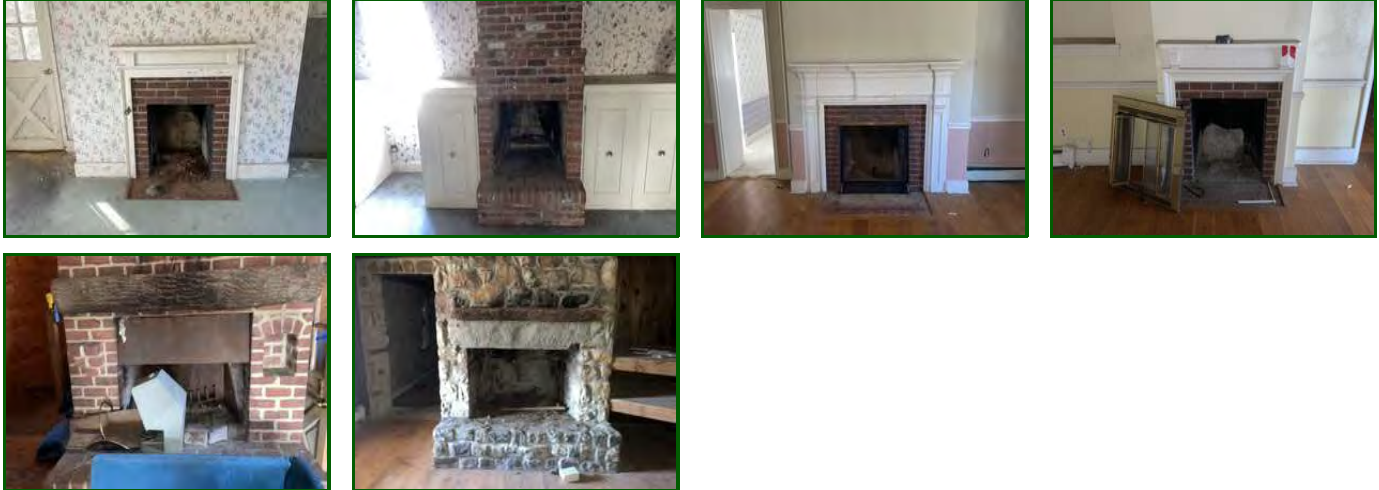
FIREPLACE IMPORTANT INFORMATION

Fireplace Information and Disclaimers

The inspection is limited to the visible portions of the fireplace flue. Drop light, mirrors, and smoke testing are not a part of the inspection. If further investigation is necessary, a qualified professional chimney sweep is recommended. All fireplaces should be cleaned and inspected on a regular basis. Wood is not burned to test wood burning units.

Pictures

Fireplace Pictures



FIREPLACE MATERIAL

Fireplace type

Wood burning

FIREPLACE SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
14.1 Fireplace operation						0
14.2 Firebox				✓		1 View Comments
14.3 Damper				✓	✓	2 View Comments
14.4 Hearth						0
14.5 Flue						0

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

14.2.1 Firebox (Multiple Defects)



Minor/Maintenance

1. DIRTY

The fireplace fireboxes and flues were dirty, recommended cleaning.

2. CRACKING

Firebox surround had cracks, recommend repair.

3. DOORS

Doors were detached/loose.



14.3.1 Corrosion



Minor/Maintenance

Corrosion was present at dampers.



14.3.2 Did not function



Major

Dampers did not function at chimneys at the middle and left side of the residence on the 1st floor. A qualified contractor is recommended for repair.



GARAGE IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



GARAGE MATERIAL

Garage/Carport Type Size	Door Operation	Ceiling type(s)
Detached, Two car	Manual	Exposed framing
Wall type(s)	Floor type(s)	
Block Walls, Exposed Framing	Concrete	



Section Items	IN	NP	NI	MI	MA	Comments	
15.1 Garage Door(s)			✓		✓	2	View Comments
15.2 Exterior Surface					✓	1	View Comments
15.3 Roof					✓	1	View Comments
15.4 Electrical				✓		1	View Comments
15.5 Ceiling					✓	1	View Comments
15.6 Walls				✓	✓	2	View Comments
15.7 Floors				✓		1	View Comments
15.8 Windows					✓	2	View Comments
15.9 Exterior Door					✓	1	View Comments

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COMMENTS

15.1.1 No Power/Not Plugged In

NI Not Inspected

Unable to test operation of mechanized garage door openers due to them not being plugged in/power being off to the residence. Recommended verifying operation prior to settlement if client is concerned.



15.1.2 Missing/Heavily Damaged

M Major

Left side garage door was missing. Right side garage door was heavily damaged and could not be fully opened/closed when tested. A qualified contractor is recommended for evaluation and repair as needed.



15.2.1 Heavy Rot//Termite Damage/Detached

M Major

Wood around the exterior of the garage including the fascia/soffit areas had heavy wood rot/termite damage present. Siding was heavily damaged/detached at areas. A qualified contractor is recommended for evaluation and repair as needed.



15.3.1 Missing Drip Edge/Heavy Rot/Damage

M Major

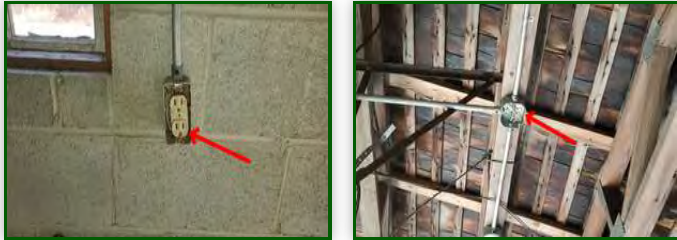
Drip edge material was missing around garage roof. This was causing concern for moisture intrusion/damage over time. Wood roof material was heavily rotted/damaged/falling apart at areas. A qualified contractor is recommended for evaluation and repair as needed.



15.4.1 Missing covers/Open junction boxes

m Minor/Maintenance

Cover plates were not installed at outlets or switches. Junction boxes were not covered.



15.5.1 Heavy Wood Rot/Damage/Large Gaps

M Major

Heavy wood rot/damage/large gaps were present at areas inside detached garage with light visible from the outside. A qualified contractor is recommended for evaluation and repair as needed.



15.6.1 Moisture (Elevated)

Major

There were indications of moisture entry made evident by staining throughout garage. Moisture readings were taken and were elevated at the time of inspection. Unable to determine condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.



15.6.2 Microbial Growth

Minor/Maintenance

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



15.7.1 Typical cracks

Minor/Maintenance

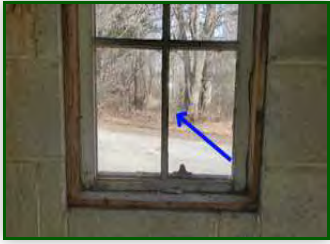
Typical cracking was present.



15.8.1 Unable To Be Opened

Information

Windows in detached garage were unable to be opened.



15.8.2 Broken Glass

Major

Window was broken. A qualified contractor is recommended for evaluation and repair.



15.9.1 Heavy Corrosion/Damage

Major

Exterior service door to garage had heavy corrosion/damage present. A qualified contractor is recommended for evaluation and repair as needed.



[REPORT SUMMARY](#)

[1. OUTBUILDING/BARN](#)

[2. GENERAL INFORMATION](#)

[3. EXTERIOR](#)

[4. ROOF](#)

[5. ATTIC](#)

[6. COOLING](#)

[7. HEATING](#)

[8. ELECTRICAL](#)

[9. PLUMBING](#)

[10. KITCHEN](#)

[11. BATHROOMS](#)

[12. LAUNDRY](#)

[13. INTERIOR](#)

[14. FIREPLACE](#)

[15. GARAGE](#)

[16. STRUCTURE](#)

STRUCTURE IMPORTANT INFORMATION

Structure Information and Disclaimers

In accordance with our standards of practice, a home inspection identifies foundation types and looks for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. Floor coverings often prevent recognition of cracks or settlement in all but the most severe cases. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Be sure to check these areas again during the final walk through.

During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. Ceiling tiles and insulation are not removed.

Slab foundations have no access beneath, therefore the only review that can be made is from visible and accessible portions at the exterior / interior. Homes built with a slab on grade construction may have heating ducts, plumbing, gas and electrical lines running beneath the slab. As it is impossible to determine the condition of these items by a visual inspection, they are specifically excluded from the scope of this inspection.

A dry basement or crawl space cannot be guaranteed because they are both a hole in the ground that is vulnerable to infiltration when exposed to prolonged rain, ground saturation, changes in hydrostatic pressure and fluctuation in the water table. All exterior grades should allow for surface and roof water to flow away from the foundation. Block, stone and brick foundations are prone to absorb ground moisture.

Mold or mildew is beyond the scope of a standard home inspection. If there are any indications or suspicions of moisture penetration present a mold test and/or evaluation from a mold professional is recommended.

Pictures

Structure Pictures



STRUCTURE MATERIAL

Foundation type	Method used to inspect structure	Joist/beams
Basement, Crawl Space	Walked, Crawled	Wood, Unable to view - finishing material
Piers/Posts	Bearing Walls	Ventilation Type
Unable to view - finishing materials, Supporting walls, Wood, Stone	Block, Stone	Open to basement



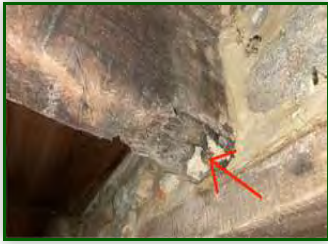
Section Items	IN	NP	NI	MI	MA	Comments	
16.1 Crawl Space Access						0	
16.2 Basement Stairs/Railings						0	
16.3 Joists/Beams					✓	2	View Comments
16.4 Piers/Posts						0	
16.5 Subfloor				✓		1	View Comments
16.6 Differential Movement						0	
16.7 Foundation						2	View Comments
16.8 Insulation/Ventilation						0	
16.9 Electrical				✓		1	View Comments
16.10 Moisture Penetration					✓	1	View Comments
16.11 Windows/doors			✓			1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

16.3.1 Damaged

 Major

Heavy damage was present at floor joists. A contractor is recommended for evaluation and repair as needed.




16.3.2 Repairs

 Information

Repairs were noted.



16.5.1 Damaged

 Minor/Maintenance

Subfloor was damaged at areas. No issues were present resulting from this condition at the time of inspection.



16.7.1 Mortar

Minor/Maintenance

Mortar was deteriorated at areas. Re pointing may be warranted.



16.7.2 Sealed

Information

Previously used opening was sealed.



16.9.1 Open junction boxes

Minor/Maintenance

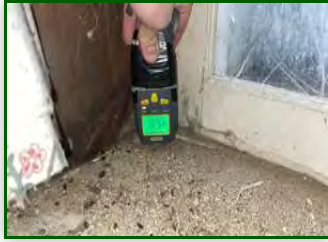
Open junction boxes were present. Recommend covering for protection.



16.10.1 Moisture: Staining/High Readings

M Major

There were indications of moisture penetration made evident by staining and high moisture readings in basement and crawlspace. When there is high moisture present, further evaluation by a qualified contractor is recommended.



16.11.1 Boarded up/sealed

NI Not Inspected

Doors and windows were boarded up/sealed shut.



CLOSING STATEMENT

Pre-Closing Walkthrough & Other Information

This report was written exclusively for our Client. It is not transferable to other parties. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report and call us if you have any questions. We are always attempting to improve quality of our service and our report.

PRE-CLOSING WALK-THROUGH

The walk-through prior to closing is the time for the Client to inspect the property. Conditions can change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. The Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases our company of all responsibility. The Client assumes responsibility for all known defects after settlement.

The following are recommendations for the pre-closing walk-through of your new house. Consider hiring a certified home inspector to assist you.

1. Check the heating and cooling system. Turn the thermostat to heat mode and turn the temperature setting up. Confirm that the heating system is running and making heat. Turn the thermostat to off and wait 20 minutes. Turn the thermostat to cool mode and turn the temperature setting down. Confirm the condenser is spinning and the system is making cool air. The cooling system should not be checked if the temperature is below 60 degrees. You should not operate a heat pump in the heating mode when it is over 75 degrees outside.
2. Operate all appliances.
3. Run water at all fixtures and flush toilets.
4. Operate all exterior doors, windows and locks.
5. Test smoke and carbon monoxide detectors.
6. Ask for all remote controls to any garage door openers, fans, gas fireplaces , etc.
7. Inspect areas that may have been restricted at the time of the inspection.
8. Ask seller questions about anything that was not covered during the home inspection.
9. Ask seller about prior infestation treatment and warranties that may be transferable.
10. Read seller's disclosure.

SINCERELY,

PRO-SPECT INSPECTION SERVICES DE

Wood Destroying Insect Inspection Report Notice: Please read important consumer information on page 2

Section I. General Information Inspection Company, Address & Phone Pro-Spect Inspection Services DE 1277 S. Governors Ave. Dover, Delaware 19904 302-381-0110	Company's Business Lic. No DE#2009604266	Date of Inspection 02/27/2023
Address of Property Inspected 1035 Creek Road, Krapf House Newark, Delaware 19711		

Inspector's Name, Signature & Certification, Registration, or Lic. # Shawn Hemmert, #19-328, 	Structure(s) Inspected Residence, Garage, Barn
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Section II. Inspection Findings This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

- A. No Visible** evidence of wood destroying insects was observed
- B. Visible** evidence of wood destroying insects was observed as follows:
 - 1. Live insects (description and location): _____
 - 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): Shelter tubes in barn
 - 3. Visible damage from wood destroying insects was noted as follows (description and location): Termite damage in basement, at garage and at barn. Powder post beetle damage in basement. Carpenter bee damage at exterior.

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Section III. Recommendations

No treatment recommended: (Explain if Box B in Section II is checked) _____

Recommend treatment for the control of Termites, powder post beetles, and carpenter bees unless documentation can be provided stating treatment has previously been applied.

Section IV. Obstructions and Inaccessible Areas The following areas of the structure(s) inspected were obstructed or inaccessible: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Basement <u>1,3,4,6,9,11,13,24</u> <input checked="" type="checkbox"/> Crawlspace <u>5,7,11,13,24</u> <input checked="" type="checkbox"/> Main Level <u>1,3,4,6,8,9,11,13,24</u> <input checked="" type="checkbox"/> Attic <u>4,5,11,13,24</u> <input checked="" type="checkbox"/> Garage <u>11,13,24</u> <input checked="" type="checkbox"/> Exterior <u>13,17</u> <input type="checkbox"/> Porch <u>1,3,4,11,13</u> <input type="checkbox"/> Addition _____ <input checked="" type="checkbox"/> Other <u>6,11,13,7,24,16</u> 	The inspector may write out obstructions or use the following optional key: <table style="width:100%; border: none;"> <tr> <td>1.Fixed ceiling</td> <td>15.Standing water</td> </tr> <tr> <td>2.Suspended ceiling</td> <td>16.Dense vegetation</td> </tr> <tr> <td>3.Fixed wall covering</td> <td>17.Exterior siding</td> </tr> <tr> <td>4.Floor covering</td> <td>18.Window well covers</td> </tr> <tr> <td>5.Insulation</td> <td>19.Wood pile</td> </tr> <tr> <td>6.Cabinets or shelving</td> <td>20.Snow</td> </tr> <tr> <td>7.Stored items</td> <td>21.Unsafe conditions</td> </tr> <tr> <td>8.Furnishings</td> <td>22.Rigid foam board</td> </tr> <tr> <td>9.Appliances</td> <td>23.Synthetic stucco</td> </tr> <tr> <td>10.No access or entry</td> <td>24.Duct work, plumbing, and/or wiring</td> </tr> <tr> <td>11.Limited Access</td> <td>25.Spray foam insulation</td> </tr> <tr> <td>12.No access beneath</td> <td>26.Equipment</td> </tr> <tr> <td>13.Only visual access</td> <td></td> </tr> <tr> <td>14.Cluttered condition</td> <td></td> </tr> </table>	1.Fixed ceiling	15.Standing water	2.Suspended ceiling	16.Dense vegetation	3.Fixed wall covering	17.Exterior siding	4.Floor covering	18.Window well covers	5.Insulation	19.Wood pile	6.Cabinets or shelving	20.Snow	7.Stored items	21.Unsafe conditions	8.Furnishings	22.Rigid foam board	9.Appliances	23.Synthetic stucco	10.No access or entry	24.Duct work, plumbing, and/or wiring	11.Limited Access	25.Spray foam insulation	12.No access beneath	26.Equipment	13.Only visual access		14.Cluttered condition	
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Section V. Additional Comments and Attachments (these are an integral part of the report) _____

Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer. X	Signature of Buyer The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported. X
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Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. **For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.** This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection **This shall not be construed as a 90-day warranty.** There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
- Treatment Recommendation Guidelines Regarding Subterranean Termites:** Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.
For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.
- Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

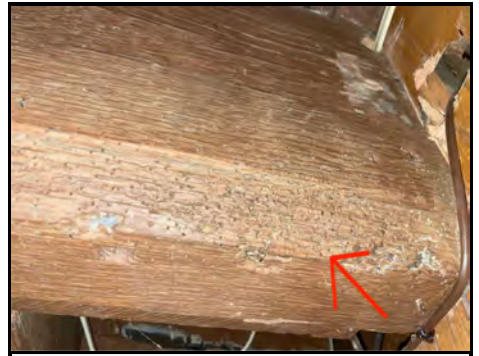
Photos & Attachments



Carpenter bee damage



Termite damage



Powder post beetle damage



Termite damage



Termite damage