



INSPECTION REPORT



Client Name

White Clay Creek State Park

Inspection Report

951 Pleasant Hill Rd Lamborn Estates , Newark, Delaware 19711

Report ID

022823SH40710

Inspection Date

February 28, 2023 at 09:00 AM

Inspector Name

Shawn Hemmert, Andrew Rash

INTRODUCTION

PROPERTY & INSPECTION INFORMATION

Full Address 951 Pleasant Hill Rd Lamborn Estates , Newark, Delaware, 19711	Square Footage 6100	Standards Of Practice (SOP) Delaware
Attending the Inspection Inspector Only, Maintenance, Maintenance	Occupancy Vacant-Empty	Type Of Building Single Family
Temperature During Inspection 40-49	Weather During Inspection Light Rain	Soil Conditions Wet
Electric On	Gas/Oil On	Water On

REPORT INTRODUCTION

We are proud of our service, and trust you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every problem. Also because our inspection is a visual, non-invasive inspection, defects could exist that were not visible. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current. This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report, and call us if you have any questions. We are always striving for improvement to better serve the public. You are advised to seek two professional opinions and acquire estimates of repair to any defects, comments, improvements or recommendation mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers, or roofers.

Standards of Practice

Delaware SOPs link: https://dprfiles.delaware.gov/homeinspector/Ethics_and_Standards.pdf





























NACHI SOPS Link: <https://www.nachi.org/sop.htm>

Maryland SOPs:










<https://www.mdahi.org/Resources/Documents/HOME%20INSPECTOR%20MINIMUM%20STANDARDS%20OF%20PRACTICE%20-%20MARYLAND.pdf>

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COMMENT KEY OR DEFINITION OF RECOMMENDATIONS

#	Image	Name	Description
1.		Inspected(IN)	Functional with no obvious visual signs of defect and appeared to be functioning as intended allowing for normal wear and tear.
2.		Not Present(NP)	Item was unable to be inspected for safety reasons or due to lack of power, was inaccessible, or disconnected at time of inspection. Therefore, no representations can be made as to whether or not the component is functional.
3.		Not Inspected(NI)	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
4.		Minor/Maintenance(MI)	Item may warrant repair or servicing to improve operation and/or life expectancy. Monitoring is recommended even if item was functioning during the inspection. Further evaluation or servicing may be needed by a qualified licensed contractor. You should plan or budget for additional expenses.
5.		Major(MA)	This item or system is not performing its intended function or is totally inoperable or is damaged in a way to make it unsafe and usually will require some level of repair or replacement to restore it to a serviceable condition. Further evaluation is needed by a qualified licensed contractor (recommend at least 2 estimates) prior to settlement is strongly recommended. In addition, it is recommended that any further defects found be corrected as necessary to ensure proper operation of the item or system.
6.		Major	
7.		Minor/Maintenance	
8.		Not Inspected	
9.		Information	Information

REPORT SUMMARY

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[2. 2/3 CAR GARAGES](#)

[3. 2 CAR GARAGE/WORKSHOP](#)

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MAJOR

1. Shed

1.5.1 Hole

Hole was present at ceiling causing concern for moisture intrusion. Recommend repair.



1.6.1 Moisture

Staining was present. Moisture readings were taken and were elevated at the time of inspection indicating moisture intrusion. A qualified contractor is recommended for repair.



1.8.1 Large cracking

Large cracking was present. A qualified contractor is recommended for evaluation and repair as needed.



2. 2/3 car garages

2.3.2 Hole

Hole was present at roof. A qualified contractor is recommended for repair.



2.4.1 No power

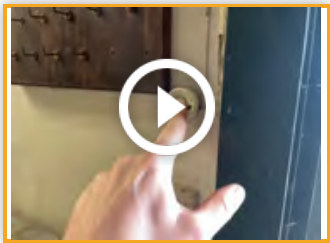
Multiple outlets did not have power. A licensed electrician is recommended for repair.



3. 2 car garage/workshop

3.1.1 Did not function

Left garage door did not function when tested. A qualified contractor is recommended for repair or replacement as needed.



3.5.1 Staining (wet)

Staining was present in attic. Moisture readings were taken and elevated at time of inspection. A qualified contractor is recommended for evaluation and repair



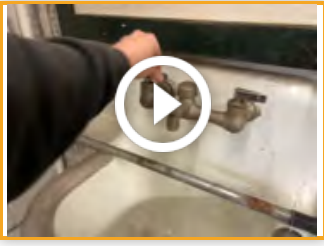
3.6.1 Moisture

Staining/high moisture readings were present in 2 car garage/workshop. A qualified contractor is recommended for evaluation and repair.



3.9.1 No water

Water was not present at workshop/2 car garage. A qualified plumber is recommended for evaluation.



4. Studio Garage

4.2.1 Heavy Wood Rot/Damage/Exposed

Heavy wood rot/damage was present at areas around the exterior. Wood was exposed at the exterior. A qualified contractor is recommended for evaluation and repair as needed.



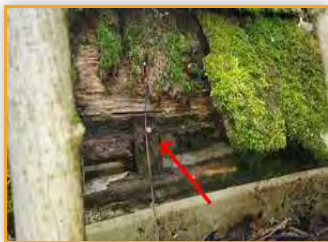
4.2.3 Heavy Carpenter Bee Damage

Heavy carpenter bee damage was present at areas of rear carport overhang. A qualified contractor is recommended for evaluation and repair as needed.



4.3.1 Heavy Damage/Large Gaps/Wood Rot/Tree Limbs and Siding In Contact

Shingles had heavy damage/wood rot/large gaps present at areas causing concern for moisture intrusion and pest entry. Tree limbs/siding were in contact with roof. A qualified contractor is recommended for evaluation and repair as needed.



4.4.1 No Power

Several outlets in lower office area did not have power at the time of inspection. All breakers/switches/gfci's that were accessible were set to the on position. A licensed electrician is recommended for evaluation and repair as needed.



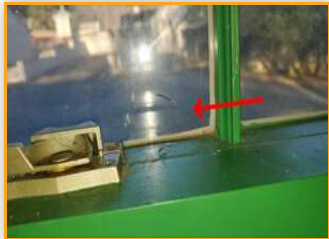
4.6.1 Heavy Termite Damage

Heavy termite damage was present at wall in lower office area/wood beam going across foyer. A qualified contractor is recommended for evaluation and repair as needed.



4.8.1 Not Opening/Broken Glass/Unable To Lock

Window would not open when tested. Window had broken glass. Was unable to lock window on ground floor. A qualified contractor is recommended for evaluation and repair as needed.



4.8.2 Water/Active Moisture

Water/Active moisture was present around skylight window in lower office area. A qualified contractor is recommended for evaluation and repair as needed.



4.9.1 Heavy Wood Rot

Heavy wood rot was present at doors. A qualified contractor is recommended for evaluation and repair as needed.



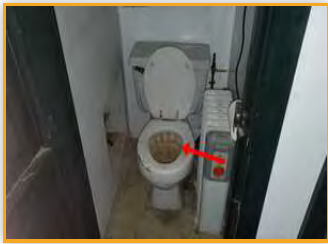
4.10.1 Short-Cycling

Wall heater in studio garage was short-cycling at the time of inspection. Heater should continue to run until thermostat set temperature is met. A qualified hvac technician is recommended for evaluation and repair as needed.



4.11.1 Not Functioning

Toilet was not functioning at the time of inspection. A qualified plumber is recommended for evaluation and repair as needed.



4.14.1 Open/Daylight Visible/Elevated Moisture Readings

Gap was present in attic area with daylight visible from the exterior. Staining was present at areas in attic with elevated moisture readings present. A qualified contractor is recommended for evaluation and repair as needed.



5. Small Animal Barn

5.1.1 Heavily Damaged/Rotted

Door was heavily damaged/rotted. A qualified contractor is recommended for evaluation and repair as needed.



5.2.1 Heavy Wood Rot

Heavy wood rot was present at areas around the exterior. A qualified contractor is recommended for evaluation and repair as needed.



5.3.1 Siding/Gaps

Wood siding was in contact with roof causing concern for accelerated deterioration/moisture intrusion. Gaps were present causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



5.6.2 Staining (Elevated Moisture Readings)

Staining was noted at areas with elevated moisture readings present. A qualified contractor is recommended for evaluation and repair as needed.



5.8.1 Unable To Be Opened/Secured

Windows in small animal barn were unable to be fully opened/properly secured shut. A qualified contractor is recommended for evaluation and repair as needed.



5.11.1 Heavy Termite Damage

Heavy termite damage was present at wood post/framing members in small animal barn. A qualified contractor is recommended for evaluation and repair as needed.



5.12.1 Staining (Elevated Moisture Readings)

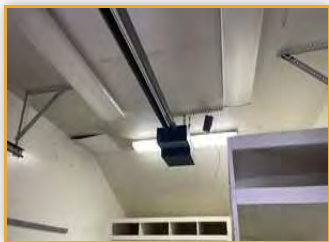
Staining was present in attic area of the small animal barn. Moisture readings were taken and were elevated at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.



6. Horse Stables

6.1.1 Did not function

Middle bay garage door opener did not function. A qualified contractor is recommended for repair or replacement as needed.



6.2.2 Rot/damage

Heavy rot/damage was present around single horse stable. Wood siding was in contact with roof at areas. A qualified contractor is recommended for repair.



6.3.2 Missing

Sections of roof were missing. Recommend repair.

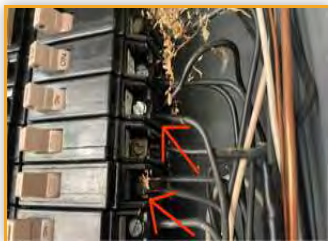


6.4.2 Electrical

Unprotected wire splices were present. Wires were exposed at areas. Switch did not function. Various outlets did not have power. Double tabs were present at breakers at panel. Recommend repair by a licensed electrician.



Location: FRONT



6.6.1 Termite damage

Heavy termite damage was present at wall in single horse stable. A qualified contractor is recommended for evaluation and repair as needed.



6.8.1 Damaged

Window was heavily damaged. A qualified contractor is recommended for repair.



6.9.1 Damaged

Door was heavily damaged. A qualified contractor is recommended for repair.



6.10.1 No water

Water was not present in horse stables. A qualified plumber is recommended for evaluation.



6.11.1 Horizontal cracking

Horizontal cracking was present in chicken coop. Recommend evaluation by a licensed structural engineer.



6.12.2 Did not function

Heat pump did not function properly when attempting to test. A qualified HVAC technician is recommended for evaluation and repair as needed.



7. Tool Shed

7.2.1 Grade

Grade was above siding causing concern for moisture intrusion/rot. Recommend repair.



7.4.1 Grounds/ neutrals

Grounds/ neutrals were on the same bus bar. Recommend evaluation by a licensed electrician.



8. Boat House

8.4.1 No power

Power was not present at boat house. A licensed electrician is recommended for evaluation and repair as needed.



8.5.1 Staining (wet)

Staining was present on garage ceiling. Moisture readings were taken and elevated at time of inspection. A qualified contractor is recommended for evaluation and repair



9. Greenhouse

9.1.1 Rot/handle/tree

Heavy wood rot was present around green house. Handle was missing at hose bib. Large dead tree was extremely close to building. A qualified contractor is recommended for evaluation and repair as needed.



9.3.1 No power/damaged/wire

Power was not present at multiple outlets/fixtures. Sheathing was heavily damaged at wire. Wires were exposed. A licensed electrician is recommended for evaluation and repair as needed.



9.5.1 Moisture

Staining/high moisture readings were present indicating moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



9.7.1 Broken glass

Broken glass was present at window. A qualified contractor is recommended for evaluation and repair as needed.



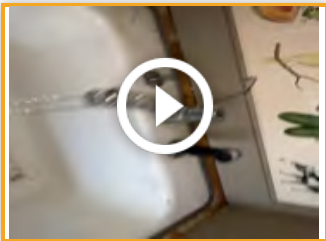
9.9.1 Cracking

Large cracking was present around greenhouse. Recommend evaluation by a qualified contractor.



9.10.1 Plumbing

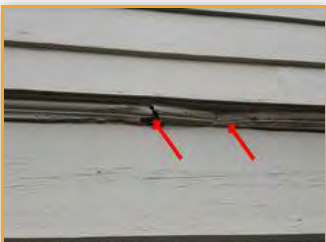
Water pressure was extremely low. Hot water was not present. Multiple leaks were present. A qualified plumber is recommended for evaluation and repair as needed.



10. Lower Garage/Apartment

10.2.1 Wood Rot

Wood rot was present at various areas around exterior of lower garage/apartment outbuilding. A qualified contractor is recommended for evaluation and repair as needed.



10.2.3 Heavily Rotted/Extremely Loose

Handrails to apartment area above lower garage were heavily rotted/extremely loose at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.



10.2.4 Heavy Rot

Heavy rot was present at door/door frame to apartment area. A qualified contractor is recommended for evaluation and repair as needed.



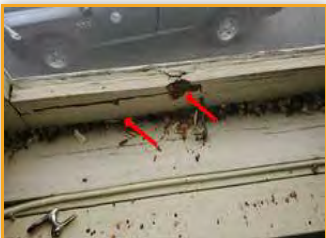
10.3.4 Large Gaps

Large gaps were present at area of roof causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



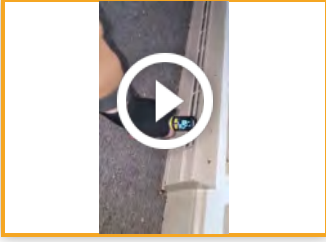
10.8.2 Wood Rot/Broken Glass

Heavy wood rot was present at window in apartment area. Window pane had broken glass. A qualified contractor is recommended for evaluation and repair as needed.



10.11.4 Not Working

Single baseboard in apartment area did not heat when tested. A qualified hvac technician is recommended for evaluation and repair as needed.



10.11.5 Open Registers

Registers were open to garage area that were connected to ductwork in apartment upstairs. Registers should not be open to the garage area that are connected to a livable space. A qualified hvac technician is recommended for evaluation and repair as needed.



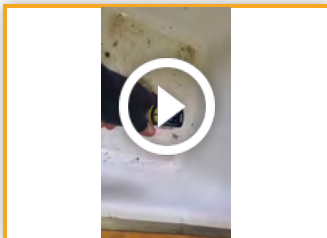
10.12.2 Double Taps

Double taps were present at single pole breakers. A licensed electrician is recommended to evaluate for correction.



10.14.1 Leak/No Hot Water

Sink was leaking from the handle onto the countertop in apartment area. Sink in lower garage area had no hot water present when testing. A qualified plumber is recommended for evaluation and repair as needed.



12. Exterior

12.1.2 Wood rot

Heavy wood rot/damage was present at various locations. A qualified contractor is recommended for evaluation and repair as needed.



12.6.1 Moisture (Elevated)/wood rot

There were indications of moisture entry made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. Wood rot was present at front door. A qualified contractor is recommended for further evaluation and repair as needed.



Location: REAR



Location: FRONT



12.7.1 Broken glass

Window(s) had broken glass. A qualified contractor is recommended for evaluation and repair.



12.8.1 Electrical (Multiple Defects)

1. MISSING COVER

Exterior outlet(s) did not have covers and were exposed to elements. A qualified contractor is recommended for further evaluation and repair.

2. NO POWER

Outlet had no power at the time of inspection with all accessible switches/breakers on and all accessible GFCI outlets reset. A licensed electrician is recommended for evaluation and correction as needed.



Location: FRONT

14. Attic

14.8.1 No power

Outlet had no power at the time of inspection with all accessible switches/breakers on and all accessible GFCI outlets reset. A licensed electrician is recommended for evaluation and correction as needed.



15. Cooling

15.1.2 Detached

Conduit was detached at unit. Recommend repair.



Location: RIGHT SIDE

16. Heating

16.2.1 Not Insulated/did not heat

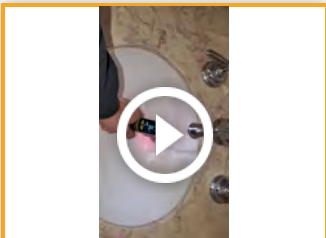
Ductwork was not insulated in an unconditioned space. All ductwork installed in an unconditioned should be insulated. Recommend insulating. Radiator did not heat up in kitchen area. A qualified plumber or HVAC technician is recommended for evaluation.



18. Plumbing

18.1.2 Not Adequate Readings

Was unable to receive adequate hot water readings for plumbing fixtures at various areas throughout residence. A qualified plumber is recommended for further evaluation of plumbing and repair as needed.



Location: LEFT SIDE

18.4.1 Drain Pipe Leak

Drain pipe was leaking. Recommend repair by a licensed plumber.

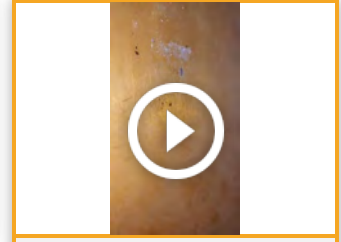
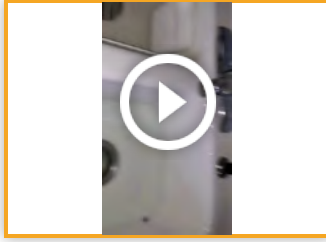


Location: BASEMENT

19. Kitchen

19.2.1 Low Pressure/Heavy Leaking/Clogged

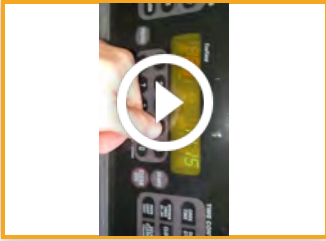
Kitchen sink had low pressure on hot side and no pressure on the cold side in main kitchen. Other kitchen sinks on both floors were leaking underneath with clogged drain lines present. A qualified plumber is recommended for evaluation and repair as needed.



Location: BASEMENT

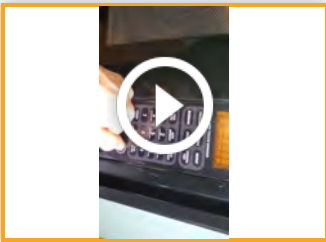
19.4.1 Did not function

Burner(s) did not function when tested. A qualified contractor is recommended for repair if needed.



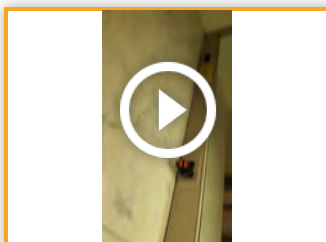
19.5.1 Did not Function

Microwave did not function when tested. Recommend repair/replacement as needed.



19.7.1 Exposed Live Wires

Exposed live wires were present underneath multiple kitchen sinks. A qualified contractor is recommended for evaluation and repair as needed.



20. Bathrooms

20.2.2 Heavy Leaking/No Pressure/Unable To Turn

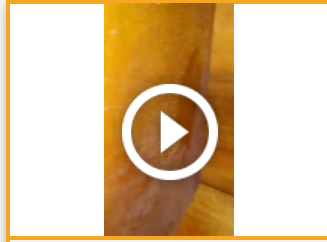
Multiple sinks leaked throughout the residence, including from the handles onto the countertop/underneath the sink into the cabinet areas and from supply valves. Multiple sinks had little to no pressure and were unable to be opened any further from the valves. A qualified plumber is recommended for evaluation and repair as needed.



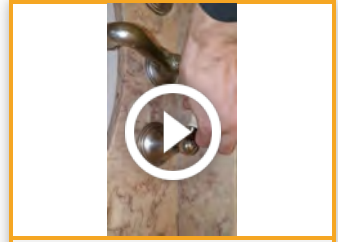
Location: 2ND FLOOR



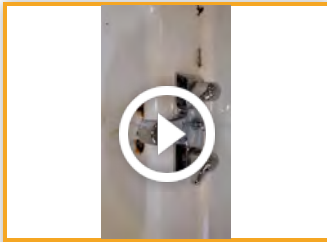
Location: 2ND FLOOR



Location: 2ND FLOOR



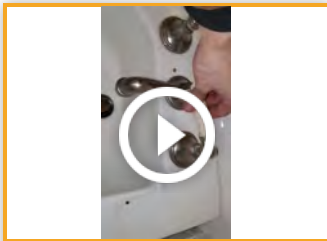
Location: 2ND FLOOR



Location: 2ND FLOOR

20.2.3 No Cold Water Pressure

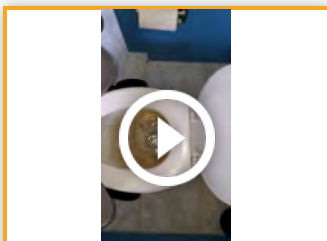
No cold water pressure was present at any fixtures in 2nd floor right side hallway bathroom. A qualified plumber is recommended for evaluation and repair as needed.



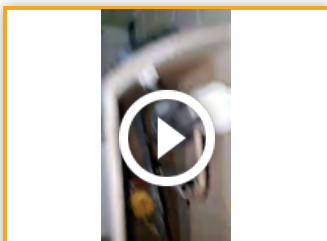
Location: 2ND FLOOR

20.4.3 Extremely Loose/Not Flushing

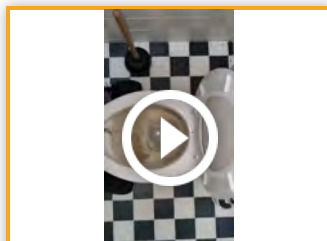
Toilets were extremely loose at the floor. Toilets would not fill properly/flush at all when testing. A licensed plumber is recommended for further evaluation and repair as needed.



Location: 2ND FLOOR



Location: 2ND FLOOR



Location: 2ND FLOOR



Location: BASEMENT

22. Interior

22.5.1 Windows(Multiple Defects)

1. WINDOWS FELL FREELY/WOULD NOT OPEN

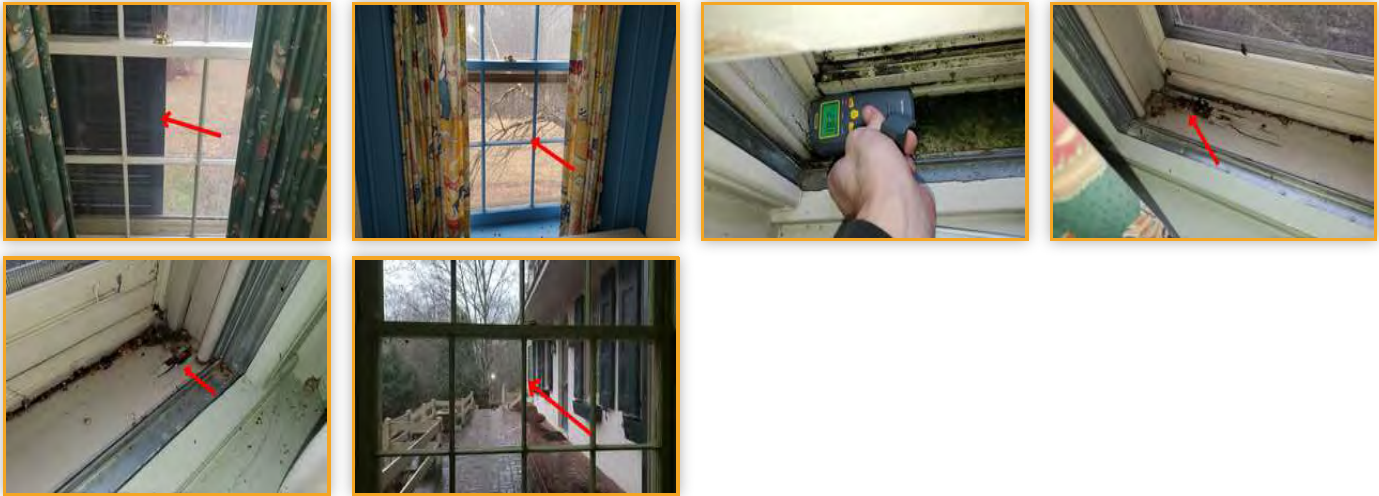
Multiple windows throughout residence would not stay open and fell freely when tested. Window would not open when tested. A qualified contractor is recommended for evaluation and repair.

2. MOISTURE (ELEVATED)

There were indications of moisture, made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.

3. HEAVY ROT

Heavy wood rot was present at multiple windows throughout residence. A qualified contractor is recommended for evaluation and repair.



22.8.1 Not at brackets

Smoke detectors were missing at mounts, recommend installing smoke detectors at each mounting bracket.



23. Fireplace

23.2.2 Moisture

Staining/high moisture readings were present at fireplace in front right bedroom indicating moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



23.3.1 Did not function

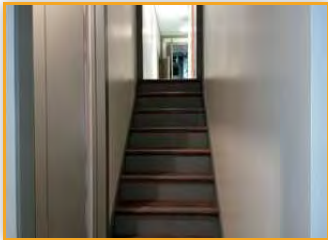
Damper did not function properly at fireplace in kitchen area. A qualified contractor is recommended for repair.



24. Structure

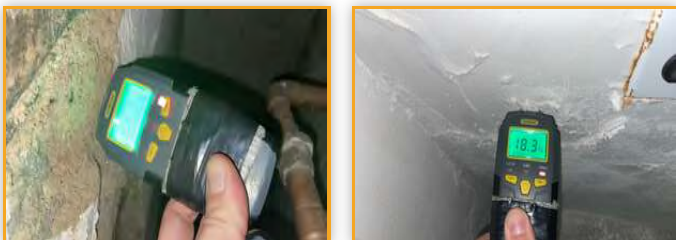
24.2.1 No handrails

Handrails were not installed at the steps. A qualified contractor is recommended for evaluation and correction.



24.9.2 Moisture: Staining/High Readings

There were indications of moisture penetration made evident by staining and high moisture readings. When there is high moisture present, further evaluation by a qualified contractor is recommended.



24.10.1 Leaks

Leaks were present at sewage ejector. A qualified contractor is recommended for evaluation and repair as needed. Was unable to verify operation.



MINOR/MAINTENANCE

1. Shed

1.3.1 Roof

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed. Drip edge was not installed at detached buildings, may not be required for this type of shingle. Recommend consulting a qualified contractor for more information if client desires. Evaluation may be warranted.



2. 2/3 car garages

2.1.1 Sensors/had to hold buttons to shut doors

Sensors were not installed at garage door. Had to hold buttons to close doors.



2.3.1 Roof

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed.



2.5.1 Staining (Dry)

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



2.6.1 Staining

Staining was present. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



2.9.1 Cover

Cover was detached.



3. 2 car garage/workshop

3.1.2 Sensors

Sensors were not installed at garage door.



3.2.1 Exterior

Gable vent was damaged.



3.3.1 Roof

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed.



4. Studio Garage

4.1.1 No sensors

Garage door did not have photoelectric sensors for automatic reverse system



4.2.2 Exterior (Multiple Defects)

1. Kickout flashing was missing at areas. Client may want to consider installing.
2. Downspouts were draining at the foundation.



4.3.2 Roof (Multiple Defects)

1. Debris was present in gutter/gutters were damaged.
2. Shingles were not laying flat at areas.
3. Moss growth was present at areas which can accelerate deterioration.
4. Shingle wear was present.



4.4.2 Missing covers/Loose

Cover plates were not installed at outlets or switches. Outlet were loose, recommend securing.



4.7.1 Unlevel Floor

Floor was unlevel throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



4.10.2 Gaps/Not Sealed

Refrigerant lines had gaps in the insulation. Entry point was not sealed.



4.10.3 Uneven flow/Staining

There was a noticeable difference in temperature and airflow at the registers when tested. Balancing ductwork is beyond scope of this inspection, if desired recommend evaluation by a qualified HVAC contractor. Staining was present at heat pump in attic recommend monitoring.



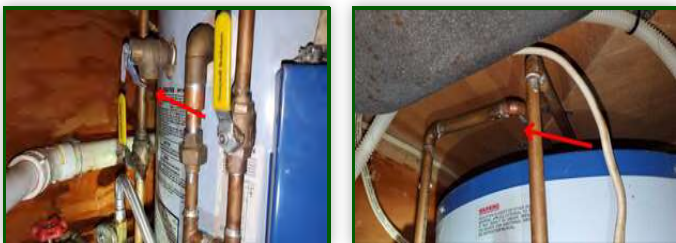
4.12.1 Corrosion

Corrosion was present at areas underneath kitchen sink. Recommend monitoring.



4.13.2 Missing/Not Installed

Water heater was missing tprv discharge pipe. Expansion tank was not installed. Recommend repair.



4.14.2 Compressed/Droppings/Microbial Growth

Insulation was compressed at areas, this affects the R-value. Rodent droppings/snake-skins were present in attic area. Recommend consulting a qualified exterminator if client is concerned. Microbial growth was visible at areas in attic.



5. Small Animal Barn

5.2.2 Drain At Foundation

Downspouts were draining at the foundation.



5.3.2 Roof (Multiple Defects)

1. Shingle wear was present at areas.
2. Moss growth was present which can accelerate deterioration.
3. Tree limbs overhanging. Recommend cutting back.
4. Shingles were not laying flat at areas.
5. Minor shingle damage was present at areas.



5.6.1 Cracking

Typical settlement cracking was present at areas. Recommend monitoring.



5.10.1 Corrosion

Corrosion was present inside electrical panel box. Recommend monitoring.



5.12.2 Damaged

Gable vent cover was damaged. Recommend repair.



6. Horse Stables

6.1.2 Sensors

Sensors were not present at garage doors. Client should consider installing sensors to improve safety.



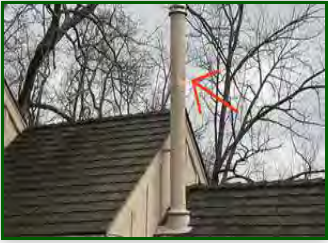
6.2.1 Exterior

Gutter was damaged. Hose bib was not secured. Kick out flashing was not installed.



6.3.1 Roof

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed. Tree limbs were overhanging. Chimney was damaged. Debris was present on roof. Recommend removing.



6.4.1 Screws

Screws were missing at panel in single horse stable.



6.5.1 Staining (Dry)

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



6.10.2 Drain tube

Drain tube was missing at TPRV.



6.11.2 Settlement

Settlement cracking was present. Recommend monitoring.



6.12.1 Vegetation

Vegetation was present around exterior unit. Recommend trimming.



7. Tool Shed

7.1.1 Seals

Seal was damaged. Weather stripping was not installed.



7.3.1 Worn/gutters

Roof was worn. Recommend monitoring. Gutters were not present.



7.5.1 Staining (Dry)

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



8. Boat House

8.7.1 Worn

Deck boards were worn. Recommend monitoring/repair as needed.



9. Greenhouse

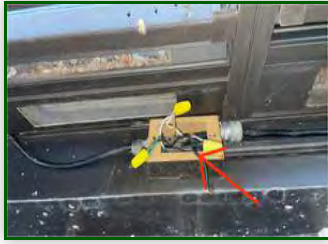
9.1.2 Exterior

Caulk was worn at areas. Recommend monitoring/re sealing as needed. Holes/gaps were present. Recommend sealing.



9.3.2 Corrosion/cover

Corrosion was present at panel. Recommend monitoring. Cover was missing at junction box.



9.7.2 Seals

Glass seals were broken at windows.



9.10.2 Not insulated

Water line for hose bib was not insulated. Recommend insulating or winterizing in winter months.



10. Lower Garage/Apartment

10.1.1 Barn/Garage Door(s)(Multiple Defects)

1. NO SENSORS

Garage door did not have photoelectric sensors for automatic reverse system

2. GAPS AT DOOR

Gaps were present at garage door



10.2.2 Chipped Paint/Entry Points Not Sealed/Vegetation

Chipped/peeling paint was present at areas. Recommend repainting. Entry points were not sealed. Recommend sealing. Vegetation was in contact with siding. Recommend clearing.



10.3.1 Not Installed

Downspouts/gutters were not installed. Client may want to consider installing.



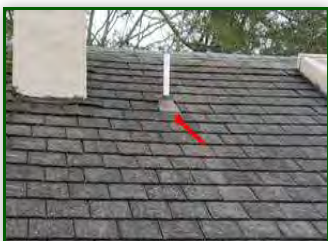
10.3.2 Tree Limbs Overhanging/Moss Growth/Wear/Not Laying Flat/Damaged Shingles

Tree limbs were overhanging roof, recommend cutting back. Moss growth was present on roof, this can accelerate deterioration. Shingles had wear/minor damage present. Shingles were not laying flat at areas, however, no issues were present resulting from this condition at time of inspection.



10.3.3 Not Secured

Bottom portion of plumbing vent flange was not secured to roof. Recommend securing.



10.4.1 Bad bulb

Light did not turn on when tested, suspected bad bulb. Recommend replacing bulb and recommend verifying fixture operates.



10.5.1 Staining (Dry)

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



10.6.1 Microbial Growth/Staining

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered. Staining was present at walls, however, moisture readings were taken and were not elevated at the time of inspection.



10.7.1 Dead Rodent

Dead rodent was present. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.



10.8.1 Staining (Dry)

Staining was present at apartment skylights. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



10.10.1 No Expansion Tank Installed/Missing

Expansion tank was not installed at water heater. Client should consider having an expansion tank installed to bring water heater up to today's standards. Tprv discharge pipe was missing from water heater. Recommend installing.



10.11.1 Torn insulation

Refrigerant lines had torn insulation.



10.11.2 Fins damaged

The cooling fins were damaged/flattened on the coils of the outside A/C condensing unit.



10.11.3 Staining

Staining and/or corrosion was present. No leaks or moisture intrusion were present when tested at the time of inspection. Recommend monitoring. Servicing may be warranted.



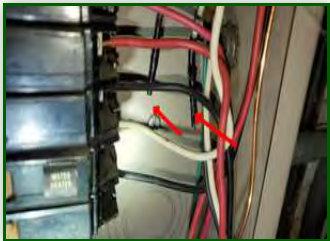
10.12.1 Screws Missing

Screws were missing for electrical panel.



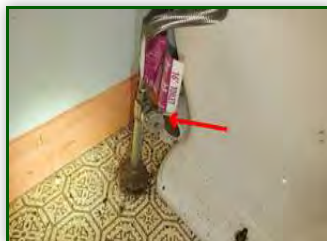
10.12.3 Uncapped wires

Uncapped wiring was noted in panel, recommend capping for protection.



10.14.2 Bathroom/Kitchen(Multiple Defects)

1. Corrosion was present at supply valves underneath sink. Recommend monitoring.
2. Tub stopper didn't work for bathtub.
3. Corrosion was present at toilet shutoff valve. Recommend monitoring.
4. S-trap was present under kitchen sink in lower garage area. Recommend repair.



12. Exterior

12.1.1 Siding (Multiple Defects)

1. KICKOUT FLASHING

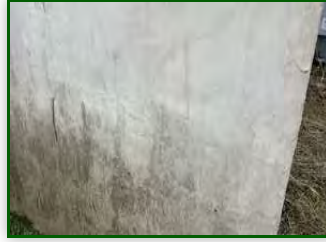
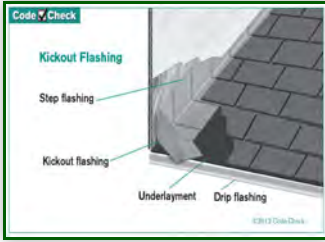
Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .

2. MINOR CRACKING

Minor cracking was present. Recommend monitoring/repair as needed.

3. ENTRY POINTS NOT SEALED

Entry points were not sealed, recommend sealing to prevent moisture intrusion.



12.6.2 Cracked Glass (Minor)

Minor crack was present at door glass



12.9.2 Continued Drip

Hose bib continued to drip after being turned off. Recommend monitoring/repair as needed.



12.12.1 Handrails/treads

Handrails were not installed at areas. Client should consider installing handrails to improve safety. Treads were loose.



12.13.1 Grading, Drainage And Vegetation Findings (Multiple Defects)

1. TREE LIMBS OVER ROOF

Tree limbs were over-hanging the roof. Recommend trimming limbs back to prevent potential damage to the roof.

2. VEGETATION IN CONTACT

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.



12.16.1 Loose/damaged

Handrails were loose. Guardrail was damaged.



13. Roof

13.1.1 Roof Material (Multiple Defects)

1. MOSS GROWTH

Shingles had moss growth. Moss on shingles can retain moisture and accelerate deterioration over a long period of time. Cleaning the roof will help minimize damage.

2. SHINGLE WEAR

The shingles showed wear due to exposure but appeared to be in a condition deemed acceptable for their age unless specified. Recommend monitoring and planning for future maintenance or replacement as needed.

3. GRANULE LOSS

Shingles had granule loss.

4. WORN (FLAT ROOF)

Roof covering was worn. No issues were present resulting from this condition at the time of inspection unless specified. Recommend monitoring/having roof serviced as needed.



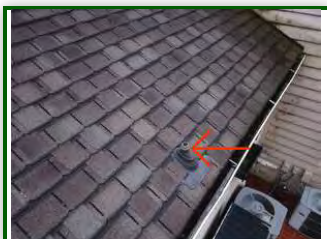
13.2.1 Gutters Not Installed

Gutters were not installed. Recommend installing gutters for proper control of storm water.



13.3.1 Short Plumbing Vent

One or more of the plumbing vents is shorter than required by present standards. This condition makes the vent prone to being blocked by debris or snow. Recommend repair to extend in accordance with present standards.



13.4.1 Chimney (Multiple Defects)

1. MISSING COVER

Cover was missing for chimney clean out.

2. STAIR CRACKS

Stair step cracks were present in chimney.

3. NO FLUE CAP

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.

4. CROWN CRACKED

Chimney crown had cracking.



14. Attic

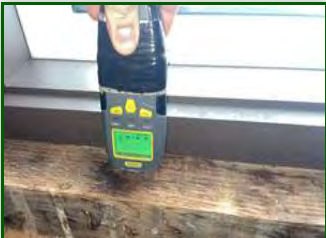
14.7.1 Moisture Intrusion (Multiple Defects)

1. MOISTURE (NOT ELEVATED)

There were indications of previous moisture entry made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.

2. MICROBIAL GROWTH

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



15. Cooling

15.1.1 Corrosion

Corrosion was present at exterior condenser. Recommend monitoring.



15.2.1 Torn insulation

Refrigerant lines had torn insulation.



16. Heating

16.1.1 Staining

Staining and/or corrosion was present at units. No leaks or moisture intrusion were present when tested at the time of inspection. Recommend monitoring. Servicing may be warranted.



16.2.2 Heating System Distribution (Multiple Defects)

1. UNEVEN FLOW

There was a noticeable difference in temperature and airflow at the registers when tested. Balancing ductwork is beyond scope of this inspection, if desired recommend evaluation by a qualified HVAC contractor.

2. MISSING REGISTERS NOTED

Missing registers noted.



16.3.1 Holes

Flue pipe had holes, recommend sealing.



18. Plumbing

18.1.1 Water Heater (Multiple Defects)

1. TPRV NOT WITHIN 6"

TPRV discharge pipe was not within 6 inches of the ground.

2. CORROSION/STAINING

Corrosion/staining was present. No leaks were present at time of inspection. Recommend monitoring



18.3.2 Surface Corrosion

There was evidence of surface corrosion and past leakage at the exposed and accessible supply piping. Although no current leaks were noted unless specified, this piping should be monitored for leakage and repaired if necessary.



19. Kitchen

19.2.2 Corrosion

Corrosion was present underneath sink. Recommend monitoring



20. Bathrooms

20.2.1 Sink(s)(Multiple Defects)

1. CORROSION/DIFFICULTY

Corrosion was present at supply valves. Some handles were difficult to operate. Recommend monitoring/repair as needed.

2. DRAIN STOP NOT FUNCTIONING

Drain stop was not functioning.



20.3.1 Bath/Shower Fixtures(Multiple Defects)

1. SHOWER HEAD LEAK

Shower head leaked at the time of inspection.

2. NEEDS CAULK/GROUT

The tub/shower enclosure needs caulk/grout repair to help prevent water penetration to the underlying materials. Unable to determine condition of underlying materials.



20.4.2 Toilet(Multiple Defects)

1. CORROSION AT VALVE/DAMAGED

Corrosion was present at valve. Recommend monitoring. Toilet seat was damaged. Recommend replacing.

2. LOOSE (NO MOISTURE)

Toilet was loose at floor. No leaks were observed at the time of inspection and moisture was not elevated. Recommend securing.



20.5.1 Noisy Fan

Fan was noisy when tested.



22. Interior

22.1.1 Handrail/Guardrail loose

Handrails and/or guardrails were loose at steps.



22.2.1 Moisture (Not Elevated)

There were indications of previous moisture, made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Unable to determine condition of underlying materials. Recommend monitoring.



22.3.1 Walls (Multiple Defects)

1. DRYWALL REPAIRS

Repairs were noted in drywall surface, no defects were noted. This is reported as a courtesy, and is considered cosmetic in nature.

2. MOISTURE (NOT ELEVATED)

There were indications of previous moisture made evident by staining. Moisture readings were taken and were not elevated at the time of inspection unless specified. Recommend monitoring.

3. DISCOLORATION

Discoloration was present. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.

4. TYPICAL SETTLEMENT

Settlement cracking was present throughout residence. These are usually the result of typical settlement and are cosmetic in nature. Recommend monitoring.



22.4.1 Floor(Multiple Defects)

1. SQUEAKY FLOOR

The floor squeaked when walked on, typically caused by movement at sub floor from loose/missing fasteners.

2. UNLEVEL/DAMAGED FLOOR

Floor was unlevel/damaged throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



22.4.2 Rodent Droppings

Rodent droppings were present at areas throughout the residence. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.



22.5.3 Nesting

Nesting was present inside some window frames. Recommend clearing.



22.7.1 Light not on (Bad Bulb)

Lights did not turn on when tested, suspected bad bulbs. Recommend replacing bulbs and verifying fixtures operate.



23. Fireplace

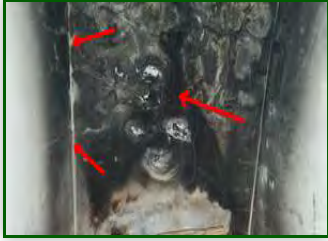
23.2.1 Firebox(Multiple Defects)

1. DIRTY

The fireplace firebox and flue were dirty, recommended cleaning.

2. CRACKING

Firebox surround had cracks, recommend repair



23.2.3 Detached

Metal insert was detached.



24. Structure

24.6.1 Foundation (Multiple Defects)

1. CRACKING

Typical settlement cracking was present. Recommend monitoring.

2. PARGE COAT

Parge coat was damaged at areas.



24.8.1 Open junction boxes

Open junction boxes were present. Recommend covering for protection.



24.9.1 Microbial Growth

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional is recommended.



NI NOT INSPECTED

4. Studio Garage

4.13.1 Water Shut Off/Limited

Water was shutoff to studio garage at the time of inspection. Was unable to test operation of all plumbing fixture in this building. Inspection of water heater was limited due to location.



5. Small Animal Barn

5.12.3 Limited

Was limited on inspection of attic space due in small animal barn due to roof configuration/restrictions. Attic was inspected from the access.



9. Greenhouse

9.12.1 Disconnected

Heating was disconnected in greenhouse.



10. Lower Garage/Apartment

10.13.1 Unable To Inspect

Was unable to inspect majority of attic area above lower garage due to roof configuration/restrictions. Attic was inspected from access.



12. Exterior

12.4.1 Downspouts Draining to Extensions

Downspouts were draining to extension underground at main residence/multiple outbuildings. Inspection of underground components is beyond scope of the inspection. It is recommended to have above ground drainage for monitoring and servicing.



12.7.2 Boarded up

Window access to crawlspace was boarded up. Recommend monitoring/repair as needed.



12.9.1 Off/Winterized

Exterior hose bibs were shut off or winterized at various areas at the time of inspection and could not be tested.



12.15.1 Buried

Fuel tanks were buried.



15. Cooling

15.1.3 AC system operation (Multiple Defects)

1. WINTER: HEAT PUMP MODE

Heat pump: Controls and compressor were operational at time of inspection when the heat pump was tested in heating mode. The cooling mode uses the same components in reverse cycle, the cooling mode was not tested due to outside temperature being below 60 degrees.

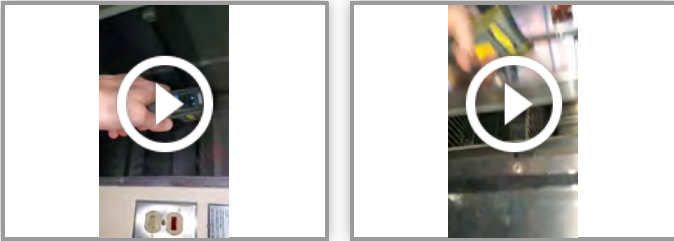
2. WINTER NOT TESTED

To avoid possible compressor damage due to outside temperature below 60 degrees the air conditioning unit was not tested

19. Kitchen

19.9.1 Not Cooling/Turned Off

The mini-fridge/walk-in freezer/freezer were not cooling and appeared to be turned off at the time of inspection. Recommend plugging in and verifying operation prior to settlement if client is concerned.



22. Interior

22.5.2 Unable To Test

Was unable to test operation of window due to height. Recommend verifying operation prior to settlement if client is concerned.



23. Fireplace

23.1.1 Wood burning not inspected

Operation of wood burning stoves/fireplaces are beyond scope of this inspection



23.1.2 Sealed off

Fireplaces were sealed off at areas.



24. Structure

24.1.1 Unable to access

Was unable to access crawlspaces due to size of openings. Crawlspaces were inspected from accesses. Portions of the crawlspace were not visible.



INFORMATION

2. 2/3 car garages

2.9.2 Thermostat

Thermostat in 2 car garage was not being used.



4. Studio Garage

4.2.4 GFCI

GFCI outlets may not have been required when this was built. However, client may want to consider installing gfcis to improve protection.



10. Lower Garage/Apartment

10.4.2 GFCI's may not have been required.

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



11. General Information

11.1.1 Disclaimers/Information

1. MOLD

The inspection does not include reporting on the presence of mold, mildew, fungi, etc. - and/or their possible health issues. If desired, client can have further evaluation by a mold expert.

2. POOL/SPAS

Pools and spas are beyond the scope of this inspection. The pool, spa and equipment were not inspected, if desired recommend contacting a pool contractor for further evaluation.

3. ADDITIONS/REMODEL

Sections of this building may have been added or remodeled. Recommend consultation with the owner to determine if all necessary permits were obtained, inspections performed and final signatures obtained.

4. LANDSCAPE LIGHTING

Low voltage and/or 120 voltage landscape/ambiance lighting systems are beyond scope of this inspection.

5. DOCKS

Docks and bulkheads are specialized structures that are outside the scope of a home inspection. If desired, the client may wish to have the dock or bulkhead evaluated by a specialist.

6. GFCI

GFCI protected outlets were not required when the home was built. Client may want to consider upgradings to GFCI outlets where they are currently required.



12. Exterior

12.8.2 No GFCI Protection (old house)

GFCI protection was not found at all exterior outlets. Although GFCIs may not have been required when the house was built, client may wish to consider installation of GFCI protection to improve safety.



18. Plumbing

18.3.1 Turned Off

Multiple supply line valves to certain fixtures were shutoff when arriving for inspection. These valves were opened for testing.



19. Kitchen

19.1.1 GFCI's May NOT Be Required

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



20. Bathrooms

20.1.1 GFCI's May Not Be Required

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



20.1.2 GFCI's May Not Be Required

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



20.4.1 Handle

Handles had to be held for toilets to flush properly.



[REPORT SUMMARY](#)

[1. SHED](#)

[2. 2/3 CAR GARAGES](#)

[3. 2 CAR GARAGE/WORKSHOP](#)

[4. STUDIO GARAGE](#)

[5. SMALL ANIMAL BARN](#)

[6. HORSE STABLES](#)

[7. TOOL SHED](#)

[8. BOAT HOUSE](#)

[9. GREENHOUSE](#)

[10. LOWER GARAGE/APARTMENT](#)

[11. GENERAL INFORMATION](#)

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[14. ATTIC](#)

[15. COOLING](#)

[16. HEATING](#)

[17. ELECTRICAL](#)

[18. PLUMBING](#)

[19. KITCHEN](#)

[20. BATHROOMS](#)

[21. LAUNDRY](#)

[22. INTERIOR](#)

[23. FIREPLACE](#)

[24. STRUCTURE](#)

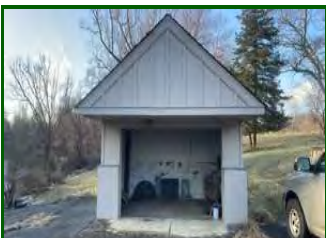
SHED IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



SHED MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Shed	Manual	Exposed framing
Wall type(s)	Floor type(s)	
Block Walls, Wood	Concrete	

SHED SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
1.1 Barn/Garage Door(s)						0
1.2 Exterior Surface						0
1.3 Roof				✓		1 View Comments
1.4 Electrical						0
1.5 Ceiling					✓	1 View Comments
1.6 Walls					✓	1 View Comments
1.7 Floors						0
1.8 Foundation					✓	1 View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

1.3.1 Roof



Minor/Maintenance

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed. Drip edge was not installed at detached buildings, may not be required for this type of shingle. Recommend consulting a qualified contractor for more information if client desires. Evaluation may be warranted.



1.5.1 Hole

M Major

Hole was present at ceiling causing concern for moisture intrusion. Recommend repair.



1.6.1 Moisture

M Major

Staining was present. Moisture readings were taken and were elevated at the time of inspection indicating moisture intrusion. A qualified contractor is recommended for repair.



1.8.1 Large cracking

M Major

Large cracking was present. A qualified contractor is recommended for evaluation and repair as needed.



[REPORT SUMMARY](#)

[1. SHED](#)

[2. 2/3 CAR GARAGES](#)

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[5. SMALL ANIMAL BARN](#)

[6. HORSE STABLES](#)

[7. TOOL SHED](#)

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[21. LAUNDRY](#)

[22. INTERIOR](#)

[23. FIREPLACE](#)

[24. STRUCTURE](#)

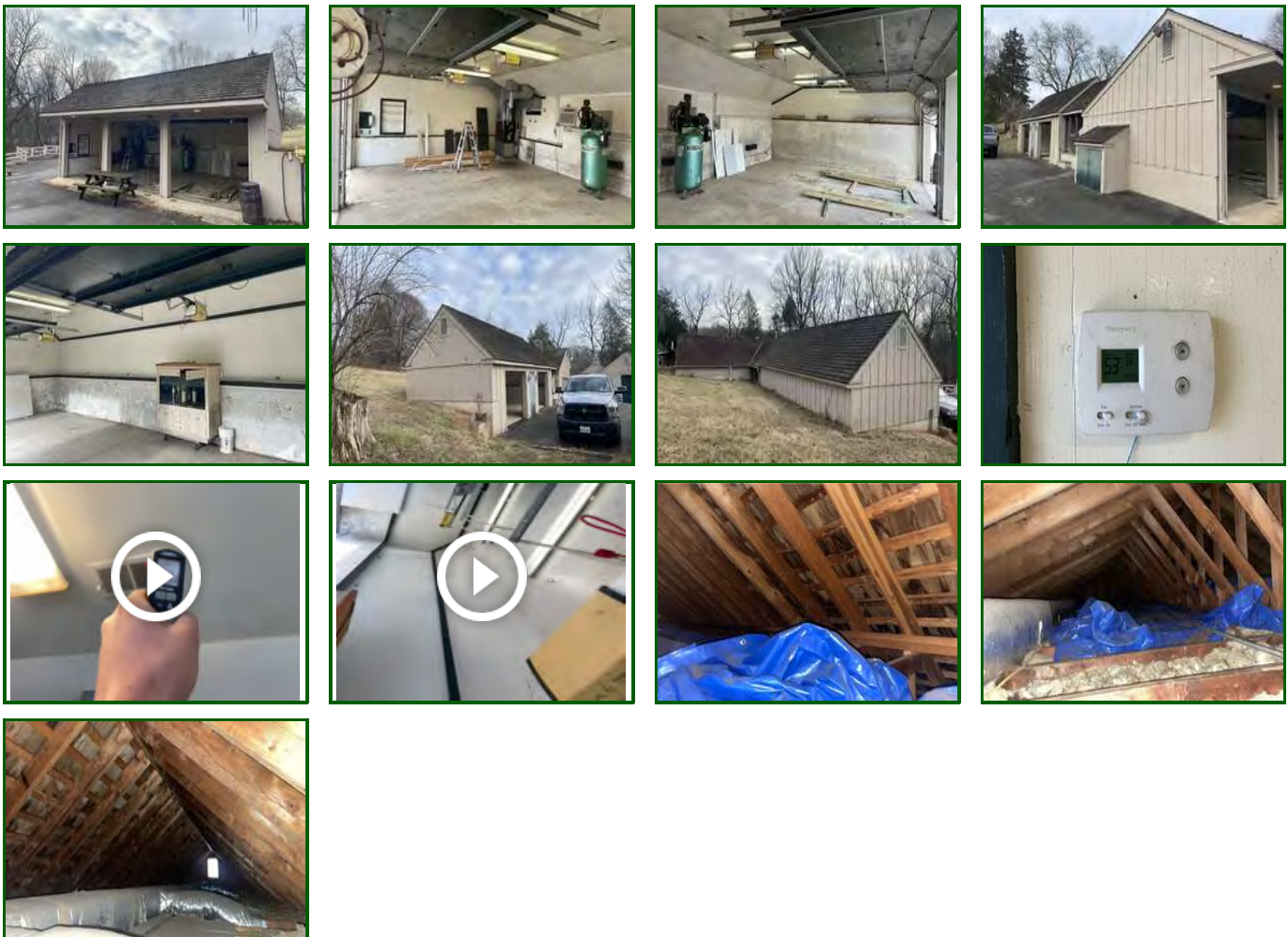
2/3 CAR GARAGES IMPORTANT INFORMATION

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Pictures

Garage Pictures



2/3 CAR GARAGES MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Single car, Three car	Mechanized	Wood
Wall type(s)	Floor type(s)	
Block Walls, Wood	Concrete	

2/3 CAR GARAGES SECTION REPORT




Section Items	IN	NP	NI	MI	MA	Comments	
2.1 Barn/Garage Door(s)				✓		1	View Comments
2.2 Exterior Surface	■					0	
2.3 Roof				✓	✓	2	View Comments
2.4 Electrical					✓	1	View Comments
2.5 Ceiling				✓		1	View Comments
2.6 Walls				✓		1	View Comments
2.7 Floors	■					0	
2.8 Exterior Door	■					0	
2.9 HVAC				✓		2	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS


2.1.1 Sensors/had to hold buttons to shut doors

 Minor/Maintenance

Sensors were not installed at garage door. Had to hold buttons to close doors.



2.3.1 Roof

 Minor/Maintenance

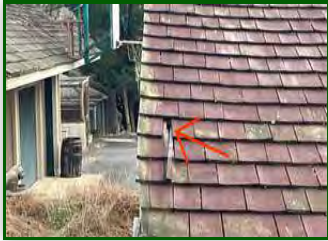
Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed.



2.3.2 Hole

 Major

Hole was present at roof. A qualified contractor is recommended for repair.




2.4.1 No power

 Major

Multiple outlets did not have power. A licensed electrician is recommended for repair.



2.5.1 Staining (Dry)

 Minor/Maintenance

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



2.6.1 Staining

 Minor/Maintenance

Staining was present. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



2.9.1 Cover

Minor/Maintenance

Cover was detached.



2.9.2 Thermostat

Information

Thermostat in 2 car garage was not being used.



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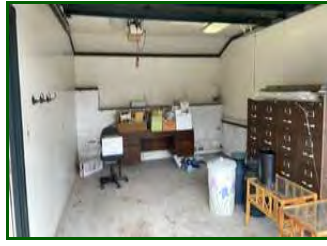
2 CAR GARAGE/WORKSHOP IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



2 CAR GARAGE/WORKSHOP MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Two car	Mechanized	Wood
Wall type(s)	Floor type(s)	
Block Walls, Wood	Concrete	

2 CAR GARAGE/WORKSHOP SECTION REPORT



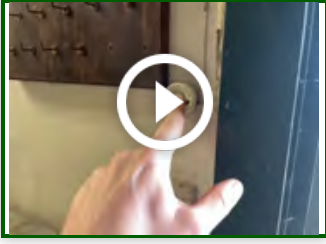
Section Items	IN	NP	NI	MI	MA	Comments	
3.1 Barn/Garage Door(s)				✓	✓	2	View Comments
3.2 Exterior Surface				✓		1	View Comments
3.3 Roof				✓		1	View Comments
3.4 Electrical						0	
3.5 Ceiling					✓	1	View Comments
3.6 Walls					✓	1	View Comments
3.7 Floors						0	
3.8 Exterior Door						0	
3.9 Plumbing					✓	1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,


3.1.1 Did not function

 Major

Left garage door did not function when tested. A qualified contractor is recommended for repair or replacement as needed.




3.1.2 Sensors

 Minor/Maintenance

Sensors were not installed at garage door.



3.2.1 Exterior

 Minor/Maintenance

Gable vent was damaged.



3.3.1 Roof

Minor/Maintenance

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed.



3.5.1 Staining (wet)

Major

Staining was present in attic. Moisture readings were taken and elevated at time of inspection. A qualified contractor is recommended for evaluation and repair



3.6.1 Moisture

Major

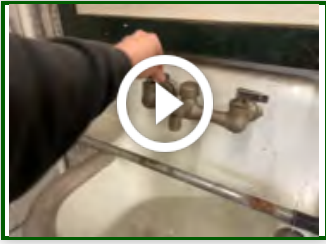
Staining/high moisture readings were present in 2 car garage/workshop. A qualified contractor is recommended for evaluation and repair.



3.9.1 No water

M Major

Water was not present at workshop/2 car garage. A qualified plumber is recommended for evaluation.



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STUDIO GARAGE IMPORTANT INFORMATION

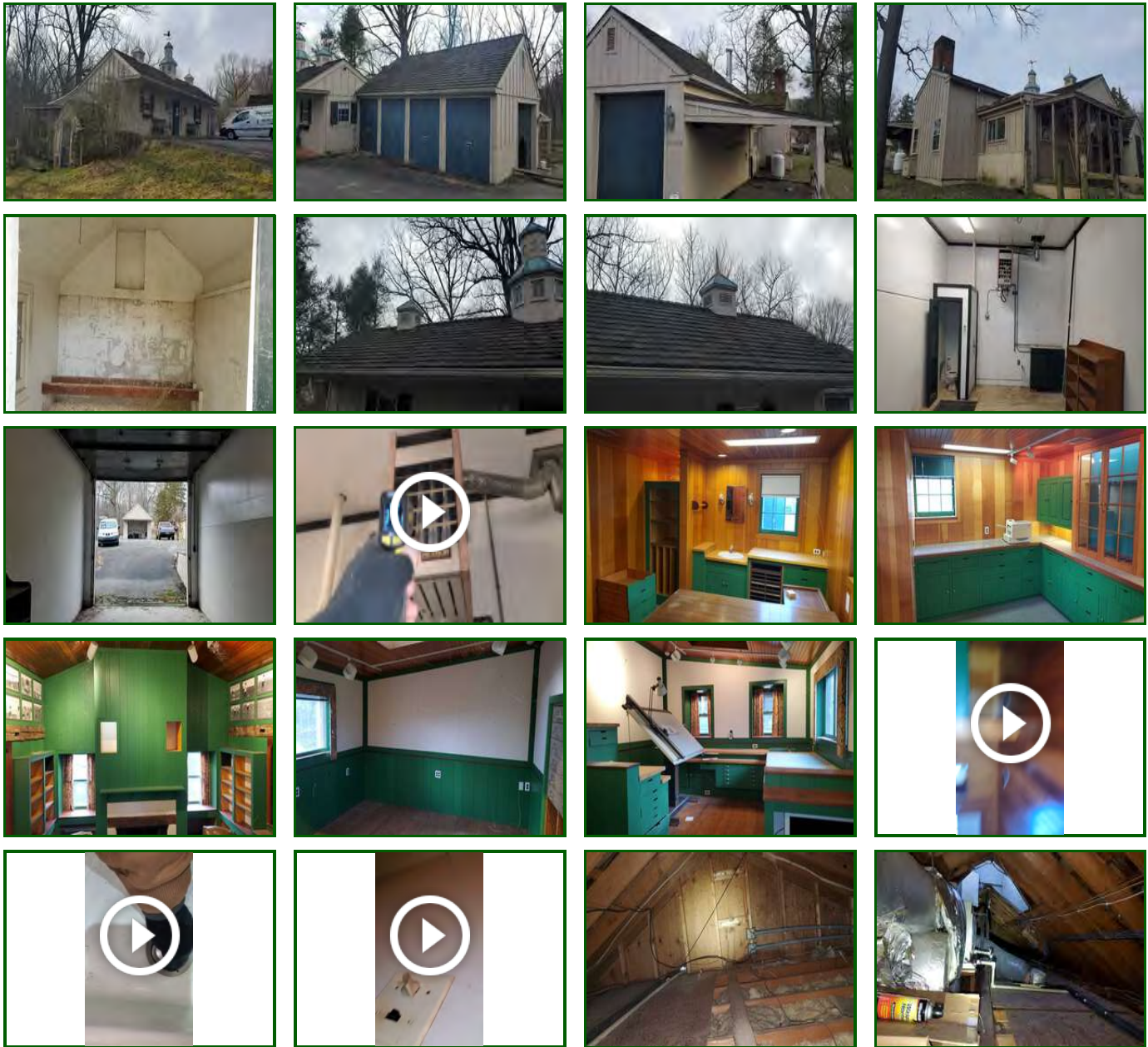
Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures

Garage Pictures



STUDIO GARAGE MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Outbuilding	Mechanized	Drywall, Exposed framing, Wood paneling
Wall type(s)	Floor type(s)	
Drywall, Wood, Plaster	Wood, Tile, Carpet	



Section Items	IN	NP	NI	MI	MA	Comments	
4.1 Barn/Garage Door(s)				✓		1	View Comments
4.2 Exterior Surface				✓	✓	4	View Comments
4.3 Roof				✓	✓	2	View Comments
4.4 Electrical				✓	✓	2	View Comments
4.5 Ceiling	■					0	
4.6 Walls					✓	1	View Comments
4.7 Floors				✓		1	View Comments
4.8 Windows					✓	2	View Comments
4.9 Exterior Door					✓	1	View Comments
4.10 HVAC				✓	✓	3	View Comments
4.11 Bathroom					✓	1	View Comments
4.12 Kitchen				✓		1	View Comments
4.13 Plumbing			✓	✓		2	View Comments
4.14 Attic				✓	✓	2	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

4.1.1 No sensors

 Minor/Maintenance

Garage door did not have photoelectric sensors for automatic reverse system



4.2.1 Heavy Wood Rot/Damage/Exposed

M Major

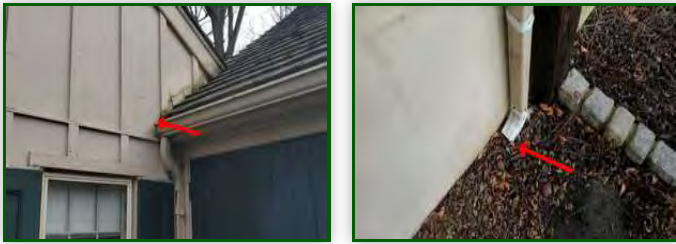
Heavy wood rot/damage was present at areas around the exterior. Wood was exposed at the exterior. A qualified contractor is recommended for evaluation and repair as needed.



4.2.2 Exterior (Multiple Defects)

m Minor/Maintenance

1. Kickout flashing was missing at areas. Client may want to consider installing.
2. Downspouts were draining at the foundation.



4.2.3 Heavy Carpenter Bee Damage

M Major

Heavy carpenter bee damage was present at areas of rear carport overhang. A qualified contractor is recommended for evaluation and repair as needed.



4.2.4 GFCI

Information

GFCI outlets may not have been required when this was built. However, client may want to consider installing gfci's to improve protection.



4.3.1 Heavy Damage/Large Gaps/Wood Rot/Tree Limbs and Siding In Contact

Major

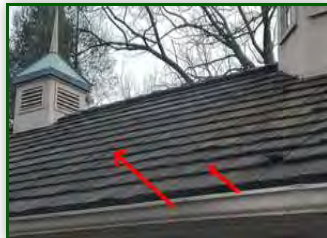
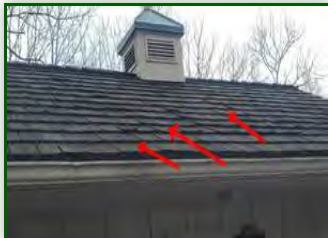
Shingles had heavy damage/wood rot/large gaps present at areas causing concern for moisture intrusion and pest entry. Tree limbs/siding were in contact with roof. A qualified contractor is recommended for evaluation and repair as needed.



4.3.2 Roof (Multiple Defects)

Minor/Maintenance

1. Debris was present in gutter/gutters were damaged.
2. Shingles were not laying flat at areas.
3. Moss growth was present at areas which can accelerate deterioration.
4. Shingle wear was present.



4.4.1 No Power

M Major

Several outlets in lower office area did not have power at the time of inspection. All breakers/switches/gfci's that were accessible were set to the on position. A licensed electrician is recommended for evaluation and repair as needed.



4.4.2 Missing covers/Loose

m Minor/Maintenance

Cover plates were not installed at outlets or switches. Outlet were loose, recommend securing.




4.6.1 Heavy Termite Damage

M Major

Heavy termite damage was present at wall in lower office area/wood beam going across foyer. A qualified contractor is recommended for evaluation and repair as needed.



4.7.1 Unlevel Floor

 Minor/Maintenance

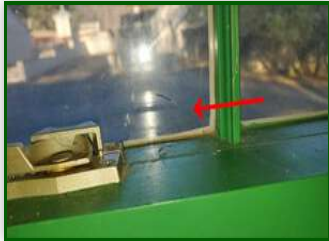
Floor was unlevel throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



4.8.1 Not Opening/Broken Glass/Unable To Lock

 Major

Window would not open when tested. Window had broken glass. Was unable to lock window on ground floor. A qualified contractor is recommended for evaluation and repair as needed.



4.8.2 Water/Active Moisture

 Major

Water/Active moisture was present around skylight window in lower office area. A qualified contractor is recommended for evaluation and repair as needed.



4.9.1 Heavy Wood Rot

M Major

Heavy wood rot was present at doors. A qualified contractor is recommended for evaluation and repair as needed.



4.10.1 Short-Cycling

M Major

Wall heater in studio garage was short-cycling at the time of inspection. Heater should continue to run until thermostat set temperature is met. A qualified hvac technician is recommended for evaluation and repair as needed.



4.10.2 Gaps/Not Sealed

M Minor/Maintenance

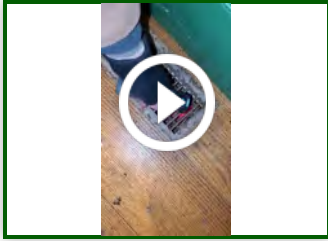
Refrigerant lines had gaps in the insulation. Entry point was not sealed.



4.10.3 Uneven flow/Staining

Minor/Maintenance

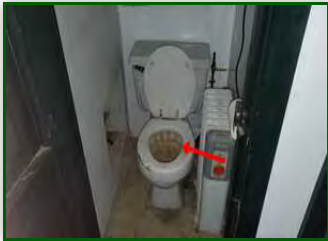
There was a noticeable difference in temperature and airflow at the registers when tested. Balancing ductwork is beyond scope of this inspection, if desired recommend evaluation by a qualified HVAC contractor. Staining was present at heat pump in attic recommend monitoring.



4.11.1 Not Functioning

Major

Toilet was not functioning at the time of inspection. A qualified plumber is recommended for evaluation and repair as needed.




4.12.1 Corrosion

Minor/Maintenance

Corrosion was present at areas underneath kitchen sink. Recommend monitoring.




4.13.1 Water Shut Off/Limited

 Not Inspected

Water was shutoff to studio garage at the time of inspection. Was unable to test operation of all plumbing fixture in this building. Inspection of water hater was limited due to location.



4.13.2 Missing/Not Installed

 Minor/Maintenance

Water heater was missing tprv discharge pipe. Expansion tank was not installed. Recommend repair.



4.14.1 Open/Daylight Visible/Elevated Moisture Readings

M Major

Gap was present in attic area with daylight visible from the exterior. Staining was present at areas in attic with elevated moisture readings present. A qualified contractor is recommended for evaluation and repair as needed.



4.14.2 Compressed/Droppings/Microbial Growth

m Minor/Maintenance

Insulation was compressed at areas, this affects the R-value. Rodent droppings/snake-skins were present in attic area. Recommend consulting a qualified exterminator if client is concerned. Microbial growth was visible at areas in attic.



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SMALL ANIMAL BARN IMPORTANT INFORMATION

Garage Information and Disclaimers

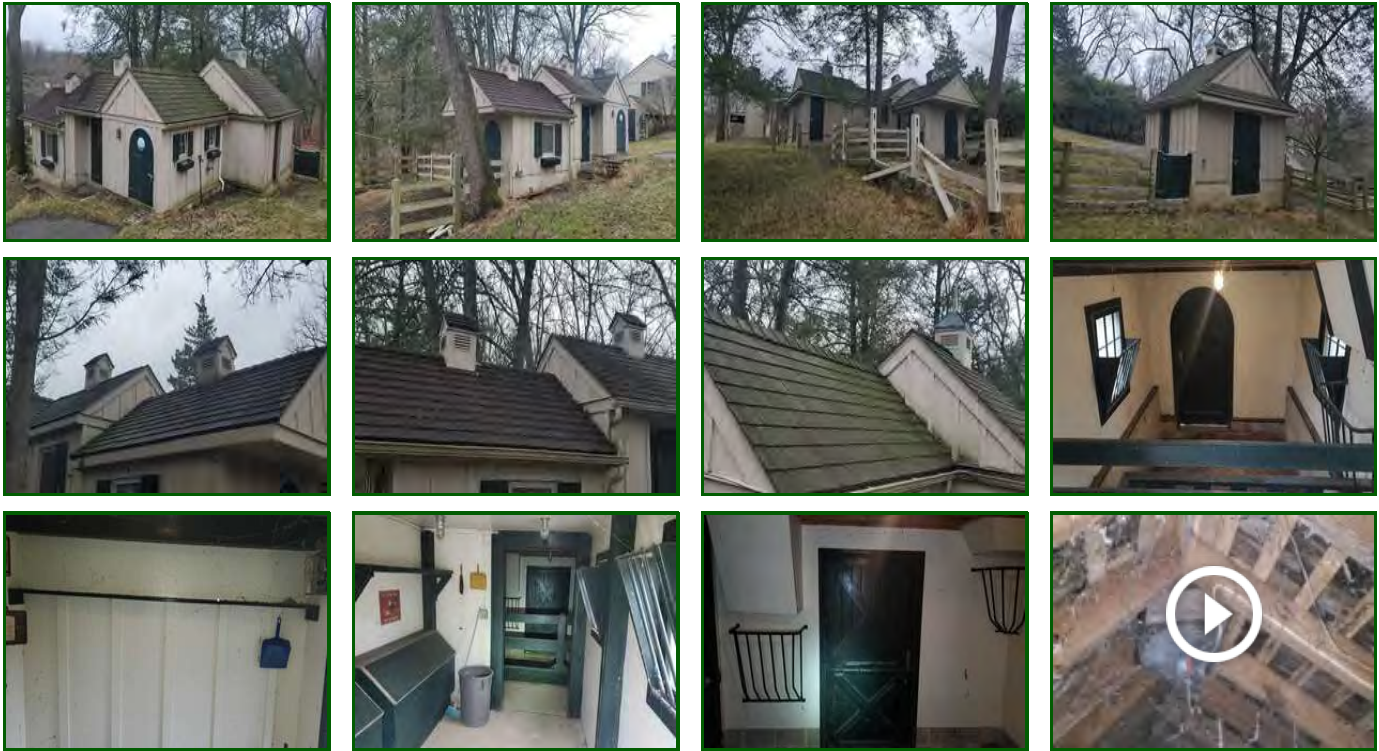
Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures

Pictures

Garage Pictures



SMALL ANIMAL BARN MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Animal Barn	None	Drywall, Exposed framing
Wall type(s)	Floor type(s)	
Drywall, Paneling, Exposed Framing	Earth, Brick	



Section Items	IN	NP	NI	MI	MA	Comments	
5.1 Barn/Garage Door(s)					✓	1	View Comments
5.2 Exterior Surface				✓	✓	2	View Comments
5.3 Roof				✓	✓	2	View Comments
5.4 Electrical	■					0	
5.5 Ceiling	■					0	
5.6 Walls	■			✓	✓	2	View Comments
5.7 Floors	■					0	
5.8 Windows	■				✓	1	View Comments
5.9 Exterior Door	■					0	
5.10 Electric				✓		1	View Comments
5.11 Framing					✓	1	View Comments
5.12 Attic			✓	✓	✓	3	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

5.1.1 Heavily Damaged/Rotted

M Major

Door was heavily damaged/rotted. A qualified contractor is recommended for evaluation and repair as needed.




5.2.1 Heavy Wood Rot

 Major

Heavy wood rot was present at areas around the exterior. A qualified contractor is recommended for evaluation and repair as needed.



5.2.2 Drain At Foundation

 Minor/Maintenance

Downspouts were draining at the foundation.



5.3.1 Siding/Gaps

Major

Wood siding was in contact with roof causing concern for accelerated deterioration/moisture intrusion. Gaps were present causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.




5.3.2 Roof (Multiple Defects)

Minor/Maintenance

1. Shingle wear was present at areas.
2. Moss growth was present which can accelerate deterioration.
3. Tree limbs overhanging. Recommend cutting back.
4. Shingles were not laying flat at areas.
5. Minor shingle damage was present at areas.



5.6.1 Cracking

 Minor/Maintenance

Typical settlement cracking was present at areas. Recommend monitoring.



5.6.2 Staining (Elevated Moisture Readings)

 Major

Staining was noted at areas with elevated moisture readings present. A qualified contractor is recommended for evaluation and repair as needed.



5.8.1 Unable To Be Opened/Secured

 Major

Windows in small animal barn were unable to be fully opened/properly secured shut. A qualified contractor is recommended for evaluation and repair as needed.

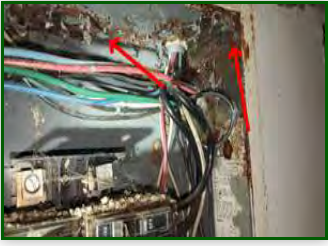


5.10.1 Corrosion



Minor/Maintenance

Corrosion was present inside electrical panel box. Recommend monitoring.



5.11.1 Heavy Termite Damage



Major

Heavy termite damage was present at wood post/framing members in small animal barn. A qualified contractor is recommended for evaluation and repair as needed.



5.12.1 Staining (Elevated Moisture Readings)

M Major

Staining was present in attic area of the small animal barn. Moisture readings were taken and were elevated at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.



5.12.2 Damaged

m Minor/Maintenance

Gable vent cover was damaged. Recommend repair.



5.12.3 Limited

NI Not Inspected

Was limited on inspection of attic space due in small animal barn due to roof configuration/restrictions. Attic was inspected from the access.



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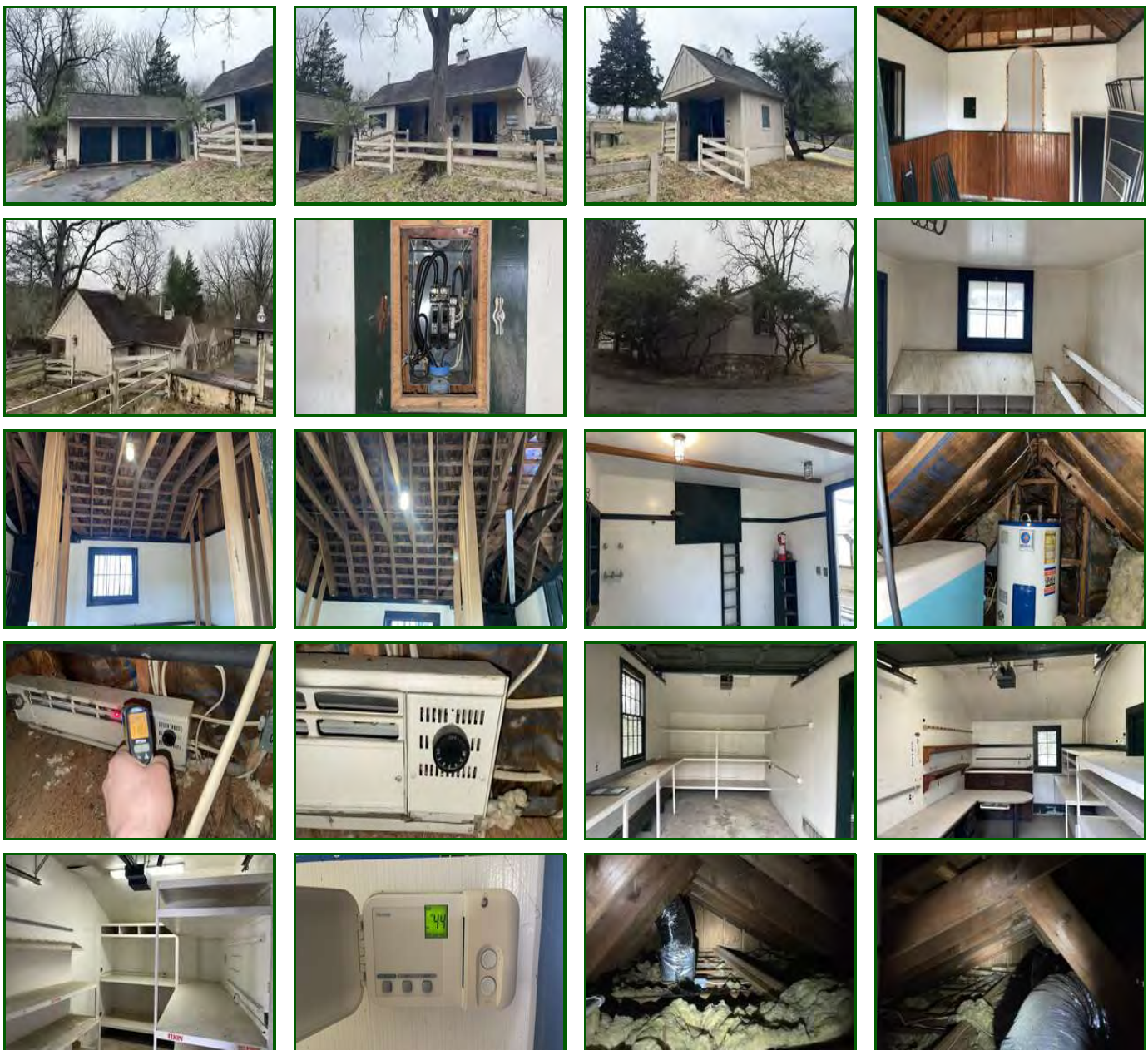
HORSE STABLES IMPORTANT INFORMATION

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Pictures

Garage Pictures



HORSE STABLES MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Outbuilding	Manual	Exposed framing
Wall type(s)	Floor type(s)	
Exposed Framing, Wood	Concrete	

HORSE STABLES SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
6.1 Barn/Garage Door(s)				✓	✓	2	View Comments
6.2 Exterior Surface				✓	✓	2	View Comments
6.3 Roof				✓	✓	2	View Comments
6.4 Electrical				✓	✓	2	View Comments
6.5 Ceiling				✓		1	View Comments
6.6 Walls					✓	1	View Comments
6.7 Floors						0	
6.8 Windows					✓	1	View Comments
6.9 Exterior Door					✓	1	View Comments
6.10 Plumbing				✓	✓	2	View Comments
6.11 Foundation				✓	✓	2	View Comments
6.12 HVAC				✓	✓	2	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,


6.1.1 Did not function

 Major

Middle bay garage door opener did not function. A qualified contractor is recommended for repair or replacement as needed.



6.1.2 Sensors

 Minor/Maintenance

Sensors were not present at garage doors. Client should consider installing sensors to improve safety.



6.2.1 Exterior



Minor/Maintenance

Gutter was damaged. Hose bib was not secured. Kick out flashing was not installed.



6.2.2 Rot/damage



Major

Heavy rot/damage was present around single horse stable. Wood siding was in contact with roof at areas. A qualified contractor is recommended for repair.

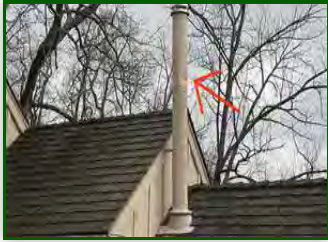


6.3.1 Roof



Minor/Maintenance

Roof was worn. Shingles have curled. Shingles were damaged. Recommend monitoring/repair as needed. Tree limbs were overhanging. Chimney was damaged. Debris was present on roof. Recommend removing.



6.3.2 Missing




Major

Sections of roof were missing. Recommend repair.



6.4.1 Screws

 Minor/Maintenance

Screws were missing at panel in single horse stable.



6.4.2 Electrical

 Major


Unprotected wire splices were present. Wires were exposed at areas. Switch did not function. Various outlets did not have power. Double tabs were present at breakers at panel. Recommend repair by a licensed electrician.



Location: FRONT



6.5.1 Staining (Dry)

 Minor/Maintenance

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



6.6.1 Termite damage

M Major

Heavy termite damage was present at wall in single horse stable. A qualified contractor is recommended for evaluation and repair as needed.



6.8.1 Damaged

M Major

Window was heavily damaged. A qualified contractor is recommended for repair.



6.9.1 Damaged

M Major

Door was heavily damaged. A qualified contractor is recommended for repair.




6.10.1 No water

 Major

Water was not present in horse stables. A qualified plumber is recommended for evaluation.



6.10.2 Drain tube

 Minor/Maintenance

Drain tube was missing at TPRV.




6.11.1 Horizontal cracking

 Major

Horizontal cracking was present in chicken coop. Recommend evaluation by a licensed structural engineer.



6.11.2 Settlement

 Minor/Maintenance

Settlement cracking was present. Recommend monitoring.



6.12.1 Vegetation



Minor/Maintenance

Vegetation was present around exterior unit. Recommend trimming.



6.12.2 Did not function



Major

Heat pump did not function properly when attempting to test. A qualified HVAC technician is recommended for evaluation and repair as needed.



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TOOL SHED IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



TOOL SHED MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Outbuilding	Manual	Exposed framing
Wall type(s)	Floor type(s)	
Pegboard	Concrete	

TOOL SHED SECTION REPORT




Section Items	IN	NP	NI	MI	MA	Comments	
7.1 Barn/Garage Door(s)				✓		1	View Comments
7.2 Exterior Surface					✓	1	View Comments
7.3 Roof				✓		1	View Comments
7.4 Electrical					✓	1	View Comments
7.5 Ceiling				✓		1	View Comments
7.6 Walls						0	
7.7 Floors						0	

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

7.1.1 Seals

 Minor/Maintenance

Seal was damaged. Weather stripping was not installed.




7.2.1 Grade

 Major

Grade was above siding causing concern for moisture intrusion/rot. Recommend repair.



7.3.1 Worn/gutters

 Minor/Maintenance

Roof was worn. Recommend monitoring. Gutters were not present.



7.4.1 Grounds/ neutrals

Major

Grounds/ neutrals were on the same bus bar. Recommend evaluation by a licensed electrician.



7.5.1 Staining (Dry)

Minor/Maintenance

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



REPORT SUMMARY

1. SHED

2. 2/3 CAR GARAGES

3. 2 CAR GARAGE/WORKSHOP

4. STUDIO GARAGE

5. SMALL ANIMAL BARN

6. HORSE STABLES

7. TOOL SHED

8. BOAT HOUSE

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11. GENERAL INFORMATION

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16. HEATING

17. ELECTRICAL

18. PLUMBING

19. KITCHEN

20. BATHROOMS

21. LAUNDRY

22. INTERIOR

23. FIREPLACE

24. STRUCTURE

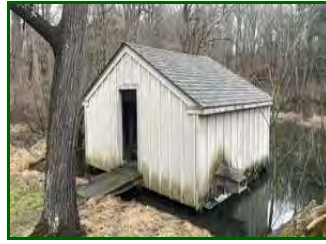
BOAT HOUSE IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



BOAT HOUSE MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Outbuilding	None	Wood
Wall type(s)		
Exposed Framing		

BOAT HOUSE SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
8.1 Barn/Garage Door(s)						0
8.2 Exterior Surface						0
8.3 Roof						0
8.4 Electrical					✓	1 View Comments
8.5 Ceiling					✓	1 View Comments
8.6 Walls						0
8.7 Floors				✓		1 View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

8.4.1 No power

M Major

Power was not present at boat house. A licensed electrician is recommended for evaluation and repair as needed.



8.5.1 Staining (wet)

M Major

Staining was present on garage ceiling. Moisture readings were taken and elevated at time of inspection. A qualified contractor is recommended for evaluation and repair



8.7.1 Worn

m Minor/Maintenance

Deck boards were worn. Recommend monitoring/repair as needed.



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GREENHOUSE IMPORTANT INFORMATION

Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

Pictures

Garage Pictures



GREENHOUSE MATERIAL

Building Type/Size	Ceiling type(s)	Wall type(s)
Detached, Outbuilding	Plaster	Wood, Plaster
Floor type(s)		
Tile		



Section Items	IN	NP	NI	MI	MA	Comments	
9.1 Exterior Surface				✓	✓	2	View Comments
9.2 Roof						0	
9.3 Electrical				✓	✓	2	View Comments
9.4 Ceiling						0	
9.5 Walls					✓	1	View Comments
9.6 Floors						0	
9.7 Windows				✓	✓	2	View Comments
9.8 Exterior Door						0	
9.9 Foundation					✓	1	View Comments
9.10 Plumbing				✓	✓	2	View Comments
9.12 Heating			✓			1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

9.1.1 Rot/handle/tree

M Major

Heavy wood rot was present around green house. Handle was missing at hose bib. Large dead tree was extremely close to building. A qualified contractor is recommended for evaluation and repair as needed.



9.1.2 Exterior

m Minor/Maintenance

Caulk was worn at areas. Recommend monitoring/re sealing as needed. Holes/gaps were present. Recommend sealing.



9.3.1 No power/damaged/wire

M Major

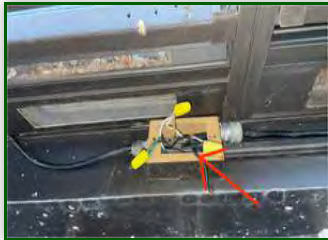
Power was not present at multiple outlets/fixtures. Sheathing was heavily damaged at wire. Wires were exposed. A licensed electrician is recommended for evaluation and repair as needed.



9.3.2 Corrosion/cover

m Minor/Maintenance

Corrosion was present at panel. Recommend monitoring. Cover was missing at junction box.



9.5.1 Moisture

M Major

Staining/high moisture readings were present indicating moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



9.7.1 Broken glass

M Major

Broken glass was present at window. A qualified contractor is recommended for evaluation and repair as needed.



9.7.2 Seals

m Minor/Maintenance

Glass seals were broken at windows.



9.9.1 Cracking

M Major

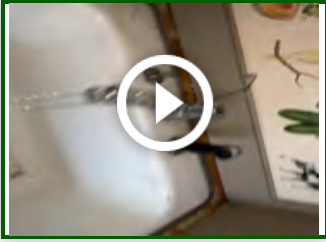
Large cracking was present around greenhouse. Recommend evaluation by a qualified contractor.



9.10.1 Plumbing

M Major

Water pressure was extremely low. Hot water was not present. Multiple leaks were present. A qualified plumber is recommended for evaluation and repair as needed.



9.10.2 Not insulated

m Minor/Maintenance

Water line for hose bib was not insulated. Recommend insulating or winterizing in winter months.



9.12.1 Disconnected

NI Not Inspected

Heating was disconnected in greenhouse.



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LOWER GARAGE/APARTMENT IMPORTANT INFORMATION

Garage Information and Disclaimers

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Pictures

Garage Pictures

Pictures

Garage Pictures



LOWER GARAGE/APARTMENT MATERIAL

Building Type/Size	Door Operation	Ceiling type(s)
Detached, Two car, Garage, Apartment	Mechanized	Drywall, Plaster , Textured
Wall type(s)	Floor type(s)	
Drywall, Paneling, Plaster , Stone	Concrete, Carpet	




Section Items	IN	NP	NI	MI	MA	Comments	
10.1 Barn/Garage Door(s)				✓		1	View Comments
10.2 Exterior Surface				✓	✓	4	View Comments
10.3 Roof				✓	✓	4	View Comments
10.4 Electrical				✓		2	View Comments
10.5 Ceiling				✓		1	View Comments
10.6 Walls				✓		1	View Comments
10.7 Floors				✓		1	View Comments
10.8 Windows				✓		2	View Comments
10.9 Exterior Door				✓		0	View Comments
10.10 Plumbing				✓		1	View Comments
10.11 HVAC				✓	✓	5	View Comments
10.12 Electric				✓	✓	3	View Comments
10.13 Attic			✓			1	View Comments
10.14 Bathroom				✓	✓	2	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

10.1.1 Barn/Garage Door(s)(Multiple Defects)

 Minor/Maintenance

1. NO SENSORS

Garage door did not have photoelectric sensors for automatic reverse system

2. GAPS AT DOOR

Gaps were present at garage door



10.2.1 Wood Rot

M Major

Wood rot was present at various areas around exterior of lower garage/apartment outbuilding. A qualified contractor is recommended for evaluation and repair as needed.



10.2.2 Chipped Paint/Entry Points Not Sealed/Vegetation

m Minor/Maintenance

Chipped/peeling paint was present at areas. Recommend repainting. Entry points were not sealed. Recommend sealing. Vegetation was in contact with siding. Recommend clearing.



10.2.3 Heavily Rotted/Extremely Loose

M Major

Handrails to apartment area above lower garage were heavily rotted/extremely loose at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.




10.2.4 Heavy Rot

 Major

Heavy rot was present at door/door frame to apartment area. A qualified contractor is recommended for evaluation and repair as needed.




10.3.1 Not Installed

 Minor/Maintenance

Downspouts/gutters were not installed. Client may want to consider installing.



10.3.2 Tree Limbs Overhanging/Moss Growth/Wear/Not Laying Flat/Damaged Shingles

 Minor/Maintenance

Tree limbs were overhanging roof, recommend cutting back. Moss growth was present on roof, this can accelerate deterioration. Shingles had wear/minor damage present. Shingles were not laying flat at areas, however, no issues were present resulting from this condition at time of inspection.



10.3.3 Not Secured



Minor/Maintenance

Bottom portion of plumbing vent flange was not secured to roof. Recommend securing.



10.3.4 Large Gaps



Major

Large gaps were present at area of roof causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



10.4.1 Bad bulb



Minor/Maintenance

Light did not turn on when tested, suspected bad bulb. Recommend replacing bulb and recommend verifying fixture operates.



10.4.2 GFCI's may not have been required.



Information

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



10.5.1 Staining (Dry)



Minor/Maintenance

Staining was present on garage ceiling. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring



10.6.1 Microbial Growth/Staining



Minor/Maintenance

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered. Staining was present at walls, however, moisture readings were taken and were not elevated at the time of inspection.



10.7.1 Dead Rodent




Minor/Maintenance

Dead rodent was present. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.



10.8.1 Staining (Dry)

 Minor/Maintenance

Staining was present at apartment skylights. Moisture readings were taken and not elevated at time of inspection. Recommend monitoring




10.8.2 Wood Rot/Broken Glass

 Major

Heavy wood rot was present at window in apartment area. Window pane had broken glass. A qualified contractor is recommended for evaluation and repair as needed.




10.10.1 No Expansion Tank Installed/Missing

 Minor/Maintenance

Expansion tank was not installed at water heater. Client should consider having an expansion tank installed to bring water heater up to today's standards. Tprv discharge pipe was missing from water heater. Recommend installing.




10.11.1 Torn insulation

 Minor/Maintenance

Refrigerant lines had torn insulation.




10.11.2 Fins damaged

 Minor/Maintenance

The cooling fins were damaged/flattened on the coils of the outside A/C condensing unit.



10.11.3 Staining

 Minor/Maintenance

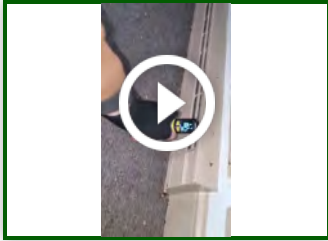
Staining and/or corrosion was present. No leaks or moisture intrusion were present when tested at the time of inspection. Recommend monitoring. Servicing may be warranted.



10.11.4 Not Working

M Major

Single baseboard in apartment area did not heat when tested. A qualified hvac technician is recommended for evaluation and repair as needed.




10.11.5 Open Registers

M Major

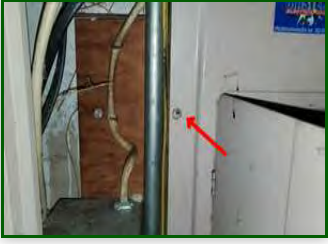
Registers were open to garage area that were connected to ductwork in apartment upstairs. Registers should not be open to the garage area that are connected to a livable space. A qualified hvac technician is recommended for evaluation and repair as needed.



10.12.1 Screws Missing

 Minor/Maintenance

Screws were missing for electrical panel.




10.12.2 Double Taps

 Major

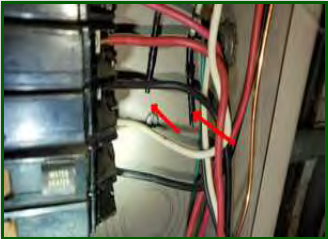
Double taps were present at single pole breakers. A licensed electrician is recommended to evaluate for correction.



10.12.3 Uncapped wires

 Minor/Maintenance

Uncapped wiring was noted in panel, recommend capping for protection.



10.13.1 Unable To Inspect

NI Not Inspected

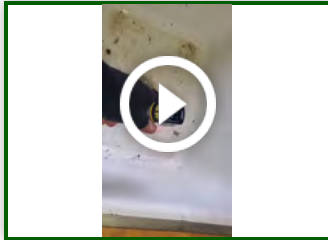
Was unable to inspect majority of attic area above lower garage due to roof configuration/restrictions. Attic was inspected from access.



10.14.1 Leak/No Hot Water

M Major

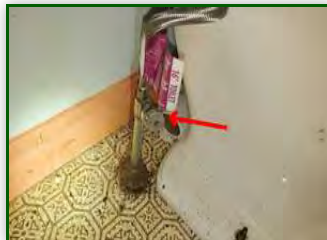
Sink was leaking from the handle onto the countertop in apartment area. Sink in lower garage area had no hot water present when testing. A qualified plumber is recommended for evaluation and repair as needed.



10.14.2 Bathroom/Kitchen(Multiple Defects)

M Minor/Maintenance

1. Corrosion was present at supply valves underneath sink. Recommend monitoring.
2. Tub stopper didn't work for bathtub.
3. Corrosion was present at toilet shutoff valve. Recommend monitoring.
4. S-trap was present under kitchen sink in lower garage area. Recommend repair.



GENERAL INFORMATION IMPORTANT INFORMATION

Thermostat Upon Arrival

A picture was taken of the thermostat upon arrival.

			
Location: 2ND FLOOR HALLWAY	Location: GARAGE	Location: 1ST FLOOR LEFT SIDE	Location: APARTMENT
1.1 59 degrees heat	1.2 58 degrees heat	1.3 62 degrees heat	1.4 54 degrees heat
			
Location: LIVING ROOM	Location: STUDIO GARAGE	Location: 1ST FLOOR MIDDLE	Location: STUDIO GARAGE
1.5 61 degrees heat		1.7 60 degrees heat	1.8 56 degrees heat
			
Location: 1ST FLOOR MIDDLE			
1.9 62 degrees			

Thermostat Upon Departure

A picture was taken of the thermostat upon departure.



Location: GARAGE

2.1 58 degrees heat



Location: 2ND FLOOR HALLWAY

2.2 59 degrees heat



Location: APARTMENT

2.3 54 degrees heat



Location: 1ST FLOOR LEFT SIDE

2.4 62 degrees heat



Location: STUDIO GARAGE

2.5 54 degrees heat



Location: 1ST FLOOR MIDDLE

2.6 60 degrees heat



Location: LIVING ROOM

2.7 61 degrees heat



Location: STUDIO GARAGE

2.8 56 degrees heat



Location: 1ST FLOOR MIDDLE

2.9 62 degrees

Disclaimers/Information

1. MOLD

The inspection does not include reporting on the presence of mold, mildew, fungi, etc. - and/or their possible health issues. If desired, client can have further evaluation by a mold expert.

2. POOL/SPAS

Pools and spas are beyond the scope of this inspection. The pool, spa and equipment were not inspected, if desired recommend contacting a pool contractor for further evaluation.

3. ADDITIONS/REMODEL

Sections of this building may have been added or remodeled. Recommend consultation with the owner to determine if all necessary permits were obtained, inspections performed and final signatures obtained.

4. LANDSCAPE LIGHTING

Low voltage and/or 120 voltage landscape/ambiance lighting systems are beyond scope of this inspection.

5. DOCKS

Docks and bulkheads are specialized structures that are outside the scope of a home inspection. If desired, the client may wish to have the dock or bulkhead evaluated by a specialist.

6. GFCI

GFCI protected outlets were not required when the home was built. Client may want to consider upgradings to GFCI outlets where they are currently required.

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EXTERIOR IMPORTANT INFORMATION

Exterior Disclaimer

This inspection does not attempt to determine drainage performance of the site including surface drains and the condition of underground piping; including roof drainage, municipal water and sewer service piping or septic systems. Minor cracks are typical in walks, driveways, patios, porches and foundations and most do not represent a structural concern. All concrete slabs experience some degree of settlement. Be advised that siding materials with a southern exposure usually age at a faster rate and siding with a northern exposure can be prone to decay from moisture. Exterior drainage conditions should be monitored annually. Soil along the foundation should direct water away from the home by gravity flow at a pitch of 1" per foot for a distance of ten feet. Likewise, downspouts should have elbows and splashblocks/extensions to drain water away from the foundation. Maintain a 1-2 foot clearance between vegetation & siding. A safe handrail is recommended at every stairway.

Detection of the presence of concealed moisture, mold or wood decay present behind exterior finishes is beyond the scope of this inspection. Broken seals at windows may not be visible during an inspection depending on conditions.

Pictures

Exterior Pictures



2.5 Fuel Tank



EXTERIOR MATERIAL


Siding/Trim Material	Soffit Material	Fascia Material
Wood, Parge coat, Stone	Wood	Wood



Section Items	IN	NP	NI	MI	MA	Comments	
12.1 Siding				✓	✓	2	View Comments
12.2 Fascia						0	
12.3 Soffits						0	
12.4 Downspouts						1	View Comments
12.5 Trim						0	
12.6 Doors				✓	✓	2	View Comments
12.7 Windows					✓	2	View Comments
12.8 Electrical					✓	2	View Comments
12.9 Hose bibs			✓			2	View Comments
12.10 Vents						0	
12.11 Driveway And Walkways						0	
12.12 Steps/Stoops				✓		1	View Comments
12.13 Grading, Drainage And Vegetation Findings				✓		1	View Comments
12.14 Electric Service						0	
12.15 Fuel Tank			✓			1	View Comments
12.16 Porch				✓		1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

12.1.1 Siding (Multiple Defects)

 Minor/Maintenance

1. KICKOUT FLASHING

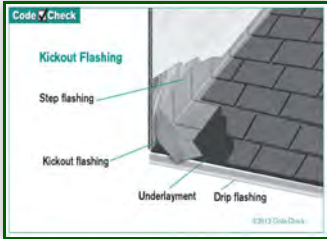
Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .

2. MINOR CRACKING

Minor cracking was present. Recommend monitoring/repair as needed.

3. ENTRY POINTS NOT SEALED

Entry points were not sealed, recommend sealing to prevent moisture intrusion.



12.1.2 Wood rot

 Major

Heavy wood rot/damage was present at various locations. A qualified contractor is recommended for evaluation and repair as needed.



12.4.1 Downspouts Draining to Extensions

NI Not Inspected

Downspouts were draining to extension underground at main residence/multiple outbuildings. Inspection of underground components is beyond scope of the inspection. It is recommended to have above ground drainage for monitoring and servicing.



12.6.1 Moisture (Elevated)/wood rot

M Major

There were indications of moisture entry made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. Wood rot was present at front door. A qualified contractor is recommended for further evaluation and repair as needed.



Location: REAR



Location: FRONT



12.6.2 Cracked Glass (Minor)

M Minor/Maintenance

Minor crack was present at door glass



12.7.1 Broken glass

M Major

Window(s) had broken glass. A qualified contractor is recommended for evaluation and repair.



12.7.2 Boarded up

NI Not Inspected

Window access to crawlspace was boarded up. Recommend monitoring/repair as needed.



12.8.1 Electrical (Multiple Defects)

Major

1. MISSING COVER

Exterior outlet(s) did not have covers and were exposed to elements. A qualified contractor is recommended for further evaluation and repair.

2. NO POWER

Outlet had no power at the time of inspection with all accessible switches/breakers on and all accessible GFCI outlets reset. A licensed electrician is recommended for evaluation and correction as needed.



Location: FRONT


12.8.2 No GFCI Protection (old house)

Information

GFCI protection was not found at all exterior outlets. Although GFCIs may not have been required when the house was built, client may wish to consider installation of GFCI protection to improve safety.




12.9.1 Off/Winterized

 Not Inspected

Exterior hose bibs were shut off or winterized at various areas at the time of inspection and could not be tested.




12.9.2 Continued Drip

 Minor/Maintenance

Hose bib continued to drip after being turned off. Recommend monitoring/repair as needed.




12.12.1 Handrails/treads

 Minor/Maintenance

Handrails were not installed at areas. Client should consider installing handrails to improve safety. Treads were loose.



12.13.1 Grading, Drainage And Vegetation Findings (Multiple Defects)

 Minor/Maintenance

1. TREE LIMBS OVER ROOF


Tree limbs were over-hanging the roof. Recommend trimming limbs back to prevent potential damage to the roof.

2. VEGETATION IN CONTACT

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.




12.15.1 Buried

 Not Inspected

Fuel tanks were buried.



12.16.1 Loose/damaged

 Minor/Maintenance

Handrails were loose. Guardrail was damaged.



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[20. BATHROOMS](#)

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ROOF IMPORTANT INFORMATION

Roof/Attic Disclaimer

Home inspectors are not professional roofers. Feel free to hire a professional roofer prior to closing. We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the visible flashing, skylights, chimneys, and roof penetrations. We are not required to inspect antennae, solar panels, interiors of flues or chimneys which are not readily accessible and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes.

It is virtually impossible to detect a leak except as it is occurring or by specific water test, which is beyond the scope of the inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

It is recommended all chimney and fireplace flues be cleaned and inspected annually by a qualified chimney sweep.

3-tab asphalt roof coverings have an approximate 20 year life expectancy and architectural asphalt coverings have an approximate 30 year life expectancy. Asphalt is the most common roof covering in our area. Rubber membranes (Flat or rolled roof coverings) are typically between 15-20 years for life expectancy while metal roofs are approximately 40 years. All life expectancy ranges are approximate and there is no warranty or guarantee expressed or implied.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspection or repair issues as it relates to the comments in this inspection report.

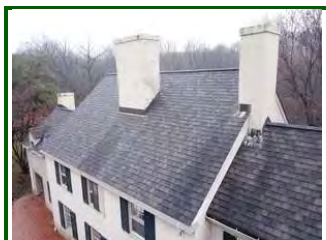
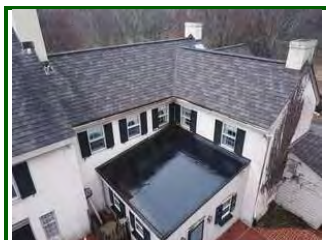
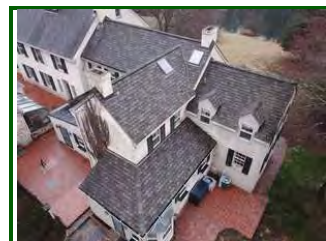
A visual observation of the chimney and flue within the scope of a standard home inspection, may not detect defects beyond our limited view (12 - 18 inches) or where soot has accumulated. A more thorough inspection can be performed by a specialist.

Attic: The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, general state of repair, leakage, and venting. Where walking in an unfinished attic can result in damage to the ceiling, inspection may be limited to the access opening only.

If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance.

Pictures

Roof Pictures



ROOF MATERIAL

Roof Approximate Age	Roof Access	Roof Type
6-10 Years	Ladder At Eaves, Drone	Flat, Gable
Roof-covering material	Drainage system description	Chimney/flue material
Wood , Asphalt Shingle, Rolled Roofing	Partial gutters and downspouts installed, No roof drainage system installed	Clay, Parge coat


ROOF SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
13.1 Roof Material				✓		1	View Comments
13.2 Roof drainage system/Gutters		✓		✓		1	View Comments
13.3 Plumbing and Combustion Vents				✓		1	View Comments
13.4 Chimney				✓		1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

13.1.1 Roof Material (Multiple Defects)

 Minor/Maintenance

1. MOSS GROWTH

Shingles had moss growth. Moss on shingles can retain moisture and accelerate deterioration over a long period of time. Cleaning the roof will help minimize damage.

2. SHINGLE WEAR

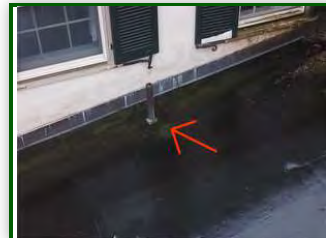
The shingles showed wear due to exposure but appeared to be in a condition deemed acceptable for their age unless specified. Recommend monitoring and planning for future maintenance or replacement as needed.

3. GRANULE LOSS


Shingles had granule loss.

4. WORN (FLAT ROOF)

Roof covering was worn. No issues were present resulting from this condition at the time of inspection unless specified. Recommend monitoring/having roof serviced as needed.



13.2.1 Gutters Not Installed

 Minor/Maintenance

Gutters were not installed. Recommend installing gutters for proper control of storm water.



13.3.1 Short Plumbing Vent

Minor/Maintenance

One or more of the plumbing vents is shorter than required by present standards. This condition makes the vent prone to being blocked by debris or snow. Recommend repair to extend in accordance with present standards.



13.4.1 Chimney (Multiple Defects)

Minor/Maintenance

1. MISSING COVER

Cover was missing for chimney clean out.

2. STAIR CRACKS

Stair step cracks were present in chimney.

3. NO FLUE CAP

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.

4. CROWN CRACKED

Chimney crown had cracking.



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ATTIC IMPORTANT INFORMATION

Roof/Attic Disclaimer

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It is virtually impossible to detect a leak except as it is occurring or by specific water test, which is beyond the scope of the inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

It is recommended all chimney and fireplace flues be cleaned and inspected annually by a qualified chimney sweep.

3-tab asphalt roof coverings have an approximate 20 year life expectancy and architectural asphalt coverings have an approximate 30 year life expectancy. Asphalt is the most common roof covering in our area. Rubber membranes (Flat or rolled roof coverings) are typically between 15-20 years for life expectancy while metal roofs are approximately 40 years. All life expectancy ranges are approximate and there is no warranty or guarantee expressed or implied.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspection or repair issues as it relates to the comments in this inspection report.

A visual observation of the chimney and flue within the scope of a standard home inspection, may not detect defects beyond our limited view (12 - 18 inches) or where soot has accumulated. A more thorough inspection can be performed by a specialist.

Attic: The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, general state of repair, leakage, and venting. Where walking in an unfinished attic can result in damage to the ceiling, inspection may be limited to the access opening only.

If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Attic Pictures



ATTIC MATERIAL

Attic Access Location	Method Used To Observe The Attic	Roof Structure
Hallway, Bedroom	Walked	Rafter
Attic Insulation Type	Attic Ventilation System	
Batt, Fiberglass	Ridge Vents, Windows	




Section Items	IN	NP	NI	MI	MA	Comments	
14.1 Attic Access						0	
14.2 Framing						0	
14.3 Sheathing						0	
14.4 Insulation						0	
14.5 Ventilation						0	
14.6 Ducts/Fan Terms/Flues						0	
14.7 Moisture Intrusion				✓		1	View Comments
14.8 Electrical					✓	1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

14.7.1 Moisture Intrusion (Multiple Defects)

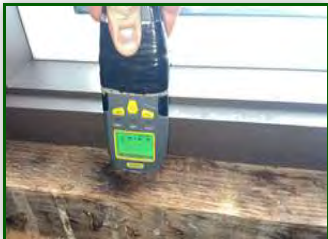
 Minor/Maintenance

1. MOISTURE (NOT ELEVATED)

There were indications of previous moisture entry made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.

2. MICROBIAL GROWTH

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



14.8.1 No power

M Major

Outlet had no power at the time of inspection with all accessible switches/breakers on and all accessible GFCI outlets reset. A licensed electrician is recommended for evaluation and correction as needed.



REPORT SUMMARY	1. SHED	2. 2/3 CAR GARAGES	3. 2 CAR GARAGE/WORKSHOP	4. STUDIO GARAGE	5. SMALL ANIMAL BARN	6. HORSE STABLES		
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15. COOLING	16. HEATING	17. ELECTRICAL	18. PLUMBING	19. KITCHEN	20. BATHROOMS	21. LAUNDRY	22. INTERIOR	23. FIREPLACE
24. STRUCTURE								

COOLING IMPORTANT INFORMATION

Cooling Information and Disclaimers

Home inspectors are generalists and not HVAC contractors. It is not within the scope of a General Home Inspection to determine unit size, SEER rating or if the evaporator and condenser coil are matched properly on the AC system. If a detailed evaluation is desired an HVAC contractor should be consulted prior to close. Information can be obtained from licensed heating and air conditioning contractors if a more comprehensive inspection is desired.

Life expectancy of central air systems is typically 15-20 years for most manufacturers. This will vary drastically based on maintenance, elements, and manufacturers. No warranty or guarantee is expressed or implied.

Mechanical equipment tested for functional operation at time of inspection only. This inspection covers only the visible components of the air conditioning system. Items the inspector cannot see, such as drains, and distribution inside walls, floors and underground are beyond the scope of this inspection. The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. Safety devices are not tested by the inspector. The inspector is NOT EQUIPPED TO INSPECT concealed portions of evaporator and condensing coils, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. Inspection does not determine balancing or sizing of system-the uniformity of the supply of conditioned air to the various parts of the structure is not calculated and is beyond scope of the inspection. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Annual cleaning and servicing recommended for best performance and life expectancy. Air conditioners should be kept clean and free of debris. Dirty air conditioners and those with restricted air flow because of fin damage, vegetation, etc. can wear out quickly. Winter covers can accelerate corrosion and should not be used unless approved by the manufacturer.

AC Pictures

AC Pictures



COOLING MATERIAL

AC System Manufacturer

Carrier, Goodman

AC System age

2011, 2008, 2004, 1998, 1996, AC system has exceeded service life

AC System Capacity

2.5 tons, 3 tons, 3.5 tons

AC System(s) Energy Source

Electric 220 Volt




Section Items	IN	NP	NI	MI	MA	Comments	
15.1 AC system operation				✓	✓	3	View Comments
15.2 Refrigerant Lines				✓		1	View Comments
15.3 Condensate Removal						0	



IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

15.1.1 Corrosion

 Minor/Maintenance

Corrosion was present at exterior condenser. Recommend monitoring.



15.1.2 Detached


 Major

Conduit was detached at unit. Recommend repair.



Location: RIGHT SIDE

15.1.3 AC system operation (Multiple Defects)

 Not Inspected

1. WINTER: HEAT PUMP MODE

Heat pump: Controls and compressor were operational at time of inspection when the heat pump was tested in heating mode. The cooling mode uses the same components in reverse cycle, the cooling mode was not tested due to outside temperature being below 60 degrees.

2. WINTER NOT TESTED

To avoid possible compressor damage due to outside temperature below 60 degrees the air conditioning unit was not tested

15.2.1 Torn insulation



Minor/Maintenance

Refrigerant lines had torn insulation.



REPORT SUMMARY

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HEATING IMPORTANT INFORMATION

Heating Information and Disclaimers

Home inspectors are generalists and not HVAC contractors. It is not within the scope of a General Home Inspection to determine unit size or BTU rating. If a detailed evaluation is desired, an HVAC contractor should be consulted prior to close. Life expectancy on average for heating systems: Hot air furnace 20-25 years, heat pump 20 years, boilers 40 years. This will vary drastically based on maintenance, elements, and manufacturers. No warranty or guarantee is expressed or implied.

Mechanical equipment tested for functional operation at time of inspection only. This inspection covers only the visible components of the air conditioning system. Items the inspector cannot see, such as drains, and distribution inside walls, floors and underground are beyond the scope of this inspection. The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. Safety devices are not tested by the inspector. The inspector is NOT EQUIPPED TO INSPECT furnace HEAT EXCHANGERS for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. Inspection does not determine balancing or sizing of system-the uniformity of the supply of conditioned air to the various parts of the structure is not calculated and is beyond scope of the inspection. Annual cleaning and servicing recommended for best performance and life expectancy. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy. If a boiler is present, The TPRV (temperature pressure relief valve) is not tested due to the possibility of the valve leaking after it has been opened. Be advised that gas burning appliances can produce carbon monoxide. Determining the presence of and/or testing carbon monoxide detectors is beyond the scope of this inspection.

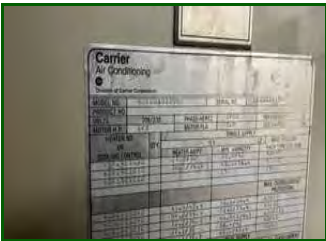
Heating Pictures

Heating System Pictures



Location: ATTIC

2.3 Filter Location



Location: GARAGE

2.10 Filter Location

Location: BASEMENT

2.11 Filter Location



Location: BASEMENT

2.13 Filter Location

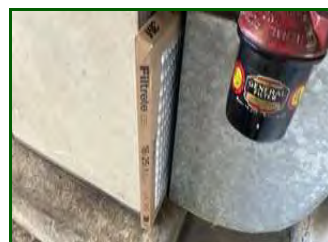


Location: BASEMENT

2.17 Filter Location

Location: HORSE STABLEGARAGE ATTIC

2.20 Filter Location



Location: 3 CAR GARAGE

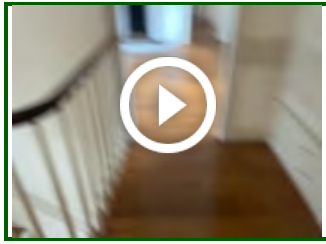
2.23 Filter Location

Heat Temp

Temperature picture for heating system



Location: LOWER GARAGE



Location: APARTMENT



Location: 2ND FLOOR

3.4 EmHeat



Location: LEFT SIDE

3.6 EmHeat



Location: 1ST FLOOR MIDDLE

3.8 EmHeat



Location: RIGHT SIDE

3.10 EmHeat



HEATING MATERIAL

Heating System Type	Heating System Manufacturer	Heating System Age
Heat pump, Boiler, Oil Forced Air, Hydronic	Carrier, Burnham	2015, 1999, 1997, 1992, 1987, 1986, Heating System has exceeded its service life
Heating System Capacity	Heating System Energy Source	Heating System Distribution
2.5 tons, 3 tons, 3.5 tons, 50000+BTU, 100000+BTU, 1.9 GPH	Electric, Oil	Radiator, Metal Duct
Filter Type		
Disposable, Electronic air cleaner		



Section Items	IN	NP	NI	MI	MA	Comments	
16.1 Heating system operation				✓		1	View Comments
16.2 Heating System Distribution				✓	✓	2	View Comments
16.3 Flue pipe(s)				✓		1	View Comments
16.4 Filter(s)						0	

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

16.1.1 Staining



Minor/Maintenance

Staining and/or corrosion was present at units. No leaks or moisture intrusion were present when tested at the time of inspection. Recommend monitoring. Servicing may be warranted.




16.2.1 Not Insulated/did not heat

 Major

Ductwork was not insulated in an unconditioned space. All ductwork installed in an unconditioned should be insulated. Recommend insulating. Radiator did not heat up in kitchen area. A qualified plumber or HVAC technician is recommended for evaluation.



16.2.2 Heating System Distribution (Multiple Defects)

 Minor/Maintenance

1. UNEVEN FLOW


There was a noticeable difference in temperature and airflow at the registers when tested. Balancing ductwork is beyond scope of this inspection, if desired recommend evaluation by a qualified HVAC contractor.

2. MISSING REGISTERS NOTED

Missing registers noted.



16.3.1 Holes

 Minor/Maintenance

Flue pipe had holes, recommend sealing.



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ELECTRICAL IMPORTANT INFORMATION

Electrical Information and Disclaimers

Be advised that all electrical equipment has a finite life of approximately 40-years, after which all components should be evaluated. We are not electricians and in accordance with the standards of practice we may only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. We use a standard electrical tester to check a sample of outlets. Furniture , cabinets, stored items, etc. were not moved to test outlets.

Any electrical repairs or upgrades should be made by a licensed electrician. It is recommended to have periodic inspection and maintenance on aluminum wiring by a licensed electrician. Testing of smoke detectors or alarms, timers, low voltage circuits such as door bells, security, and pet containment systems are beyond the scope of this inspection. If not already installed smoke detectors are recommended to be located in each bedroom and one per floor level. Smoke detectors typically have a life expectancy of 10 years and should be replaced as they near this period. Recommend testing GFCI's, AFCI's and smoke detectors monthly. Recommend grounded and GFI protected outlets be installed at all exterior, kitchen, wet bar, garage and unfinished basement outlet locations. Be advised that as of 2002, AFCI devices were required on bedroom circuits. Older homes can be updated with such devices. Recommend tripping main breaker and circuit breakers 1-2 times a year for preventive maintenance.

Electrical Pictures



Location: LOWER GARAGE

2.1 B



Location: LOWER GARAGE

2.3 B



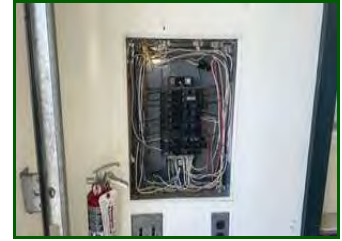
Location: SMALL ANIMAL BARN

2.6 C



Location: SMALL ANIMAL BARN

2.7 C



Location: STUDIO GARAGE

2.9 D



Location: STUDIO GARAGE

2.11 D

ELECTRICAL MATERIAL

Panel Location	Manufacturer	Main Breaker Size
Basement, Garage, Animal Barn, Horse Stables	Cutler Hammer, Square D	100 amps, 200 amps, 60 amp (garage)
Service Disconnect Location	Service Disconnect Type	Overcurrent Protection Device
At Service Panel	Breaker	Breakers
Is The Panel Bonded?	Volts	120 VAC Branch Circuits
Yes	110-240 VAC	Copper
240 VAC Branch Circuits	AFCI Breakers	GFCI Breakers
Aluminum, Copper	Not Present	At GFCI Receptacles and Breakers
Aluminum Wiring	Ground	
240 VAC Circuits	Rod In Ground	



Section Items	IN	NP	NI	MI	MA	Comments
17.1 Service Disconnect						0
17.2 Cabinet/Cover/Labels						0
17.3 Ground/Bonding						0
17.4 Breakers/Fuses						0
17.5 Wiring						0

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PLUMBING IMPORTANT INFORMATION

Plumbing Disclaimer

A plumbing system consists of the domestic water supply lines, drain, waste and vent lines and gas lines. Underground piping and piping concealed under floors and behind walls such as water supply and waste are excluded from this inspection as they are not visible. Water conditioning, filtering systems, fire and lawn sprinklers, spas, pools, and on-site disposal or water supply systems are not within the scope of this inspection. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking.

Water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible and functional drainage at fixtures. Flow and/or pressure testing on the plumbing system is beyond the scope of this inspection. Pressure testing is not performed on gas lines as it requires specialized equipment/certification - it is recommended to have a pressure test performed prior to occupancy.

Our review of water heaters includes the tank, water and gas connections, electrical connections, venting and safety valves. Water heater tested for functional operation at time of inspection only. Generally speaking life expectancy for electric hot water heaters is 10-15 years and gas units are 12-20 years depending on manufacturer, maintenance and other determining factors. The TPRV at the water heater was not tested due to the possibility of the valve leaking after it has been opened. If not installed client may want to consider installing an overflow pan with drain under the hot water heater. No guarantee or warranty is expressed or implied. If water heater is operating beyond designed life it should be understood it may need replacement in near future. Draining hot water yearly can help extend the life of a hot water heater tank. It is recommended a licensed, qualified plumber perform the draining. The hidden nature of piping and venting prevents inspection of every pipe, joint, vent and connection. Be advised that gas burning appliances can produce carbon monoxide. Determining the presence of and/or testing carbon monoxide detectors is beyond the scope of this inspection. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Plumbing Pictures



Location: BASEMENT

2.6 Main water shut off



Hot Water Temp

Water temperature



PLUMBING MATERIAL

Water Heater Location	Water Heater Energy Source	Water Heater Manufacturer
Basement, Kitchen, Horse stables	Electric	Mor-Flo, State
Water Heater Age	Water Heater Capacity	Main Water Supply Pipe
1984, 1982, Water heater is existing beyond its service life, 1995	30+ gallons, 10 gal, 100+ gallons	Copper
Water Distribution Pipes	Drain Waste and Vent Pipe Materials	Gas/Oil Pipe Material
Chlorinated Polyvinyl Chloride (CPVC), Copper	Polyvinyl Chloride (PVC), Cast Iron, Galvanized	Copper



Section Items	IN	NP	NI	MI	MA	Comments	
18.1 Water Heater					✓	2	View Comments
18.2 Main Service Line						0	
18.3 Supply Lines				✓		2	View Comments
18.4 Drain and Vent pipes					✓	1	View Comments
18.5 Gas/oil lines						0	

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

18.1.1 Water Heater (Multiple Defects)



Minor/Maintenance

1. TPRV NOT WITHIN 6"

TPRV discharge pipe was not within 6 inches of the ground.

2. CORROSION/STAINING

Corrosion/staining was present. No leaks were present at time of inspection. Recommend monitoring

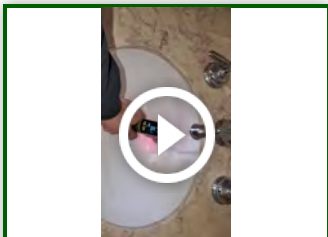


18.1.2 Not Adequate Readings



Major

Was unable to receive adequate hot water readings for plumbing fixtures at various areas throughout residence. A qualified plumber is recommended for further evaluation of plumbing and repair as needed.



Location: LEFT SIDE

18.3.1 Turned Off

Information

Multiple supply line valves to certain fixtures were shutoff when arriving for inspection. These valves were opened for testing.



18.3.2 Surface Corrosion

Minor/Maintenance

There was evidence of surface corrosion and past leakage at the exposed and accessible supply piping. Although no current leaks were noted unless specified, this piping should be monitored for leakage and repaired if necessary.



18.4.1 Drain Pipe Leak

Major

Drain pipe was leaking. Recommend repair by a licensed plumber.



Location: BASEMENT

REPORT SUMMARY

1. SHED

2. 2/3 CAR GARAGES

3. 2 CAR GARAGE/WORKSHOP

4. STUDIO GARAGE

5. SMALL ANIMAL BARN

6. HORSE STABLES

7. TOOL SHED

8. BOAT HOUSE

9. GREENHOUSE

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19. KITCHEN

20. BATHROOMS

21. LAUNDRY

22. INTERIOR

23. FIREPLACE

24. STRUCTURE

KITCHEN IMPORTANT INFORMATION

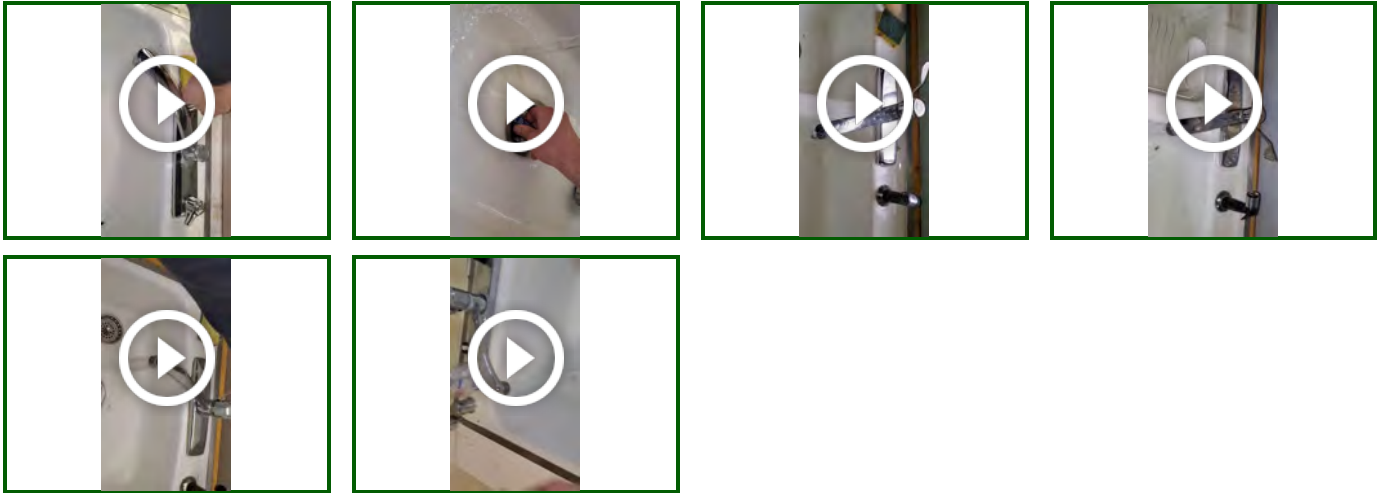
Kitchen Information and Disclaimers

Appliances are tested for basic functional operation at time of inspection only. No life expectancy is expressed or implied. Appliances can not be run through a full cycle during a limited visual home inspection. Self cleaning features on ovens were not tested. The dishwashers ability to wash dishes was not tested. Ice makers are considered an upgrade and testing ice makers is not within scope of this inspection. Counter top appliances and portable appliances are not within scope of the inspection. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. Individuals have been injured when sitting on or standing on these doors.

Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at anytime, including immediately after the inspection. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Kitchen Pictures



KITCHEN MATERIAL

Countertop	Cabinetry	Kitchen Sink Type(s)
Granite/Quartz	Wood	Porcelain
Cooking Appliances		
Gas		




Section Items	IN	NP	NI	MI	MA	Comments
19.1 Electrical						1 View Comments
19.2 Fixtures, Plumbing, And Drains				✓	✓	2 View Comments
19.3 Cabinets And Counters						0
19.4 Cooking Appliances					✓	1 View Comments
19.5 Microwave					✓	1 View Comments
19.6 Range Hood						0
19.7 Garbage Disposal					✓	1 View Comments
19.8 Dishwasher						0
19.9 Refrigerator			✓			1 View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

19.1.1 GFCI's May NOT Be Required

 Information

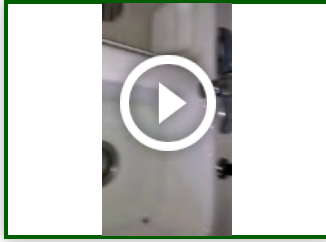
Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



19.2.1 Low Pressure/Heavy Leaking/Clogged

M Major

Kitchen sink had low pressure on hot side and no pressure on the cold side in main kitchen. Other kitchen sinks on both floors were leaking underneath with clogged drain lines present. A qualified plumber is recommended for evaluation and repair as needed.



Location: BASEMENT

19.2.2 Corrosion

m Minor/Maintenance

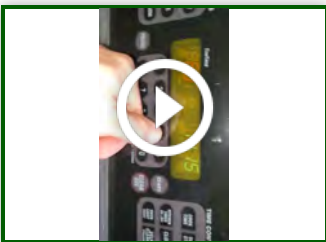
Corrosion was present underneath sink. Recommend monitoring



19.4.1 Did not function

M Major

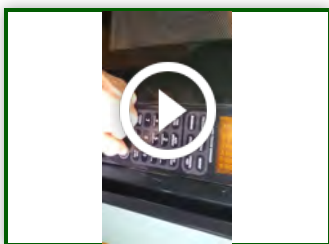
Burner(s) did not function when tested. A qualified contractor is recommended for repair if needed.



19.5.1 Did not Function

M Major

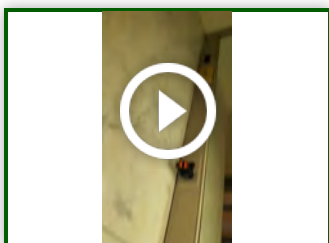
Microwave did not function when tested. Recommend repair/replacement as needed.



19.7.1 Exposed Live Wires

M Major

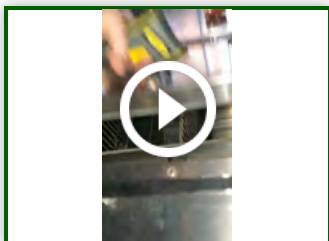
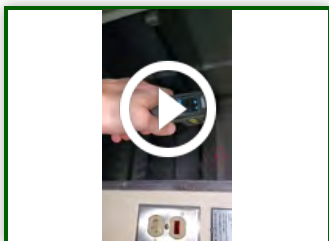
Exposed live wires were present underneath multiple kitchen sinks. A qualified contractor is recommended for evaluation and repair as needed.



19.9.1 Not Cooling/Turned Off

NI Not Inspected

The mini-fridge/walk-in freezer/freezer were not cooling and appeared to be turned off at the time of inspection. Recommend plugging in and verifying operation prior to settlement if client is concerned.



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BATHROOMS IMPORTANT INFORMATION

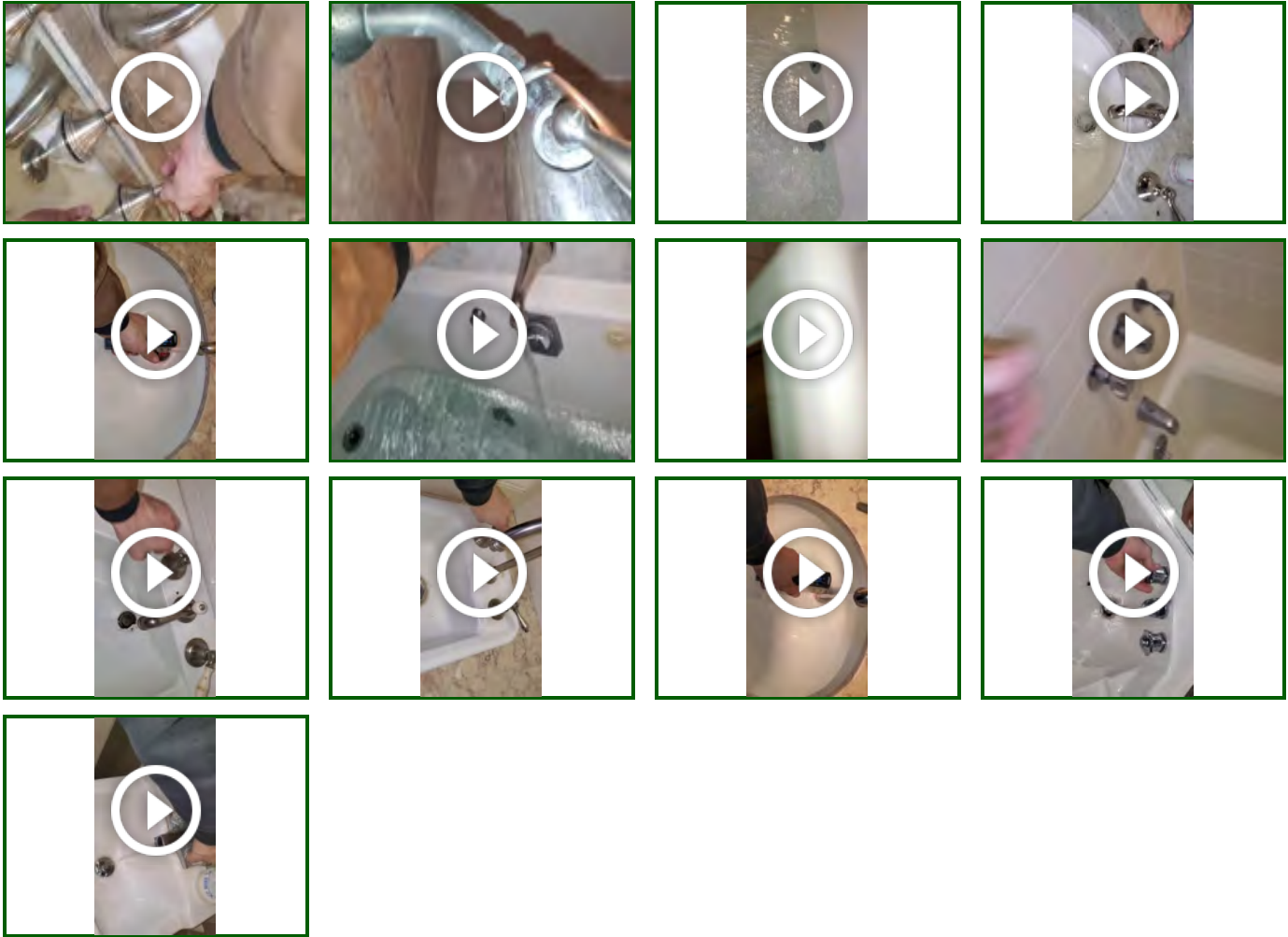
Bathroom Information and Disclaimers

No warranty against leaks in tile, surrounds or piping is expressed or implied. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Plumbing pipes and fixtures should be checked just before closing and then regularly during occupancy.

Fixture overflow drains are not tested. Cabinets are not emptied during inspection. If a jetted tub is present, the tub was filled and operated to check intake and jets. Pump and supply lines were not completely accessible. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Bathroom Pictures



BATHROOMS MATERIAL

Exhaust Vent

Electric, Window



Section Items	IN	NP	NI	MI	MA	Comments	
20.1 Electrical						2	View Comments
20.2 Sink(s)				✓	✓	3	View Comments
20.3 Bath/Shower Fixtures				✓		1	View Comments
20.4 Toilet				✓	✓	3	View Comments
20.5 Ventilation				✓		1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

20.1.1 GFCI's May Not Be Required

Information

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.




20.1.2 GFCI's May Not Be Required

Information

Although GFCI's may not have been required when the house was built, the client may want to consider installing GFCI outlets to improve safety.



20.2.1 Sink(s)(Multiple Defects)

 Minor/Maintenance

1. CORROSION/DIFFICULTY

Corrosion was present at supply valves. Some handles were difficult to operate. Recommend monitoring/repair as needed.

2. DRAIN STOP NOT FUNCTIONING

Drain stop was not functioning.



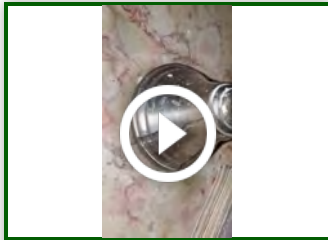
20.2.2 Heavy Leaking/No Pressure/Unable To Turn

 Major

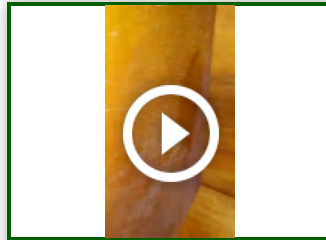
Multiple sinks leaked throughout the residence, including from the handles onto the countertop/underneath the sink into the cabinet areas and from supply valves. Multiple sinks had little to no pressure and were unable to be opened any further from the valves. A qualified plumber is recommended for evaluation and repair as needed.



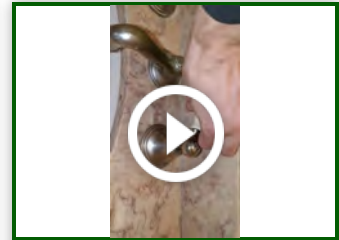
Location: 2ND FLOOR



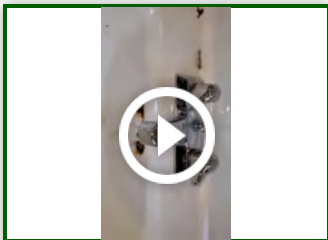
Location: 2ND FLOOR



Location: 2ND FLOOR



Location: 2ND FLOOR

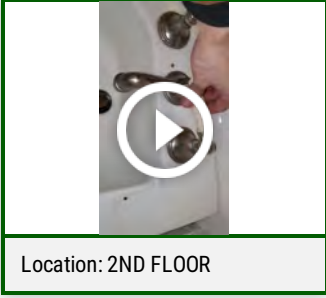


Location: 2ND FLOOR


20.2.3 No Cold Water Pressure

 Major

No cold water pressure was present at any fixtures in 2nd floor right side hallway bathroom. A qualified plumber is recommended for evaluation and repair as needed.



20.3.1 Bath/Shower Fixtures(Multiple Defects)

 Minor/Maintenance

1. SHOWER HEAD LEAK

Shower head leaked at the time of inspection.

2. NEEDS CAULK/GROUT

The tub/shower enclosure needs caulk/grout repair to help prevent water penetration to the underlying materials. Unable to determine condition of underlying materials.



20.4.1 Handle

Information

Handles had to be held for toilets to flush properly.



20.4.2 Toilet(Multiple Defects)

Minor/Maintenance

1. CORROSION AT VALVE/DAMAGED

Corrosion was present at valve. Recommend monitoring. Toilet seat was damaged. Recommend replacing.

2. LOOSE (NO MOISTURE)

Toilet was loose at floor. No leaks were observed at the time of inspection and moisture was not elevated. Recommend securing.



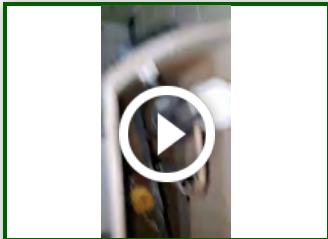
20.4.3 Extremely Loose/Not Flushing

Major

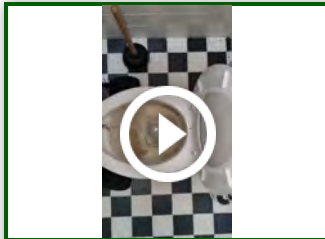
Toilets were extremely loose at the floor. Toilets would not fill properly/flush at all when testing. A licensed plumber is recommended for further evaluation and repair as needed.



Location: 2ND FLOOR



Location: 2ND FLOOR



Location: 2ND FLOOR



Location: BASEMENT

20.5.1 Noisy Fan



Minor/Maintenance

Fan was noisy when tested.



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LAUNDRY IMPORTANT INFORMATION

Laundry Information and Disclaimers

Laundry areas/rooms are visually inspected. Due to their hidden nature, inspection of appliance connections, hookups, or venting are not visible. Appliances are tested for functional operation at time of inspection only. No life expectancy is expressed or implied. Appliances can not be run through a full cycle during a limited visual home inspection. Testing the washer and dryer is done as a courtesy only. Modern washers and dryers may have sensors for operation and will need clothing to test operation - inspectors will not add clothes to test operation. If there are clothes in the washer it will not be operated. If washer is not present the wall box can only be inspected visually. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at anytime, including immediately after the inspection. Inspection does not cover any damage concealed by rugs, carpeting, wall paneling, furniture or fixtures. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Pictures

Laundry Pictures



LAUNDRY MATERIAL

Dryer Power	Cloths Dryer Vent Material	Appliances Present
Electric	Rigid Metal	None

LAUNDRY SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
21.1 Electrical						0	
21.2 Dryer Vent						0	

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INTERIOR IMPORTANT INFORMATION

Interior Information and Disclaimers

Pictures are a courtesy to help document rooms and conditions at time of inspection. The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

Interior Pictures



INTERIOR MATERIAL

<p>Walls and Ceilings</p> <p>Drywall, Plaster, Paneling, Suspended Ceiling, Exposed Framing</p>	<p>Floor Covering Materials</p> <p>Tile, Wood, Vinyl, Concrete</p>	<p>Interior Doors</p> <p>Wood</p>
<p>Windows</p> <p>Wood, Single Hung</p>	<p>Smoke Detector(s)</p> <p>Present with some removed</p>	




Section Items	IN	NP	NI	MI	MA	Comments	
22.1 Stairs & Railings				✓		1	View Comments
22.2 Ceilings				✓		1	View Comments
22.3 Walls				✓		1	View Comments
22.4 Floor				✓		2	View Comments
22.5 Windows			✓	✓	✓	3	View Comments
22.6 Doors						0	
22.7 Electrical				✓		1	View Comments
22.8 Smoke Detectors					✓	1	View Comments

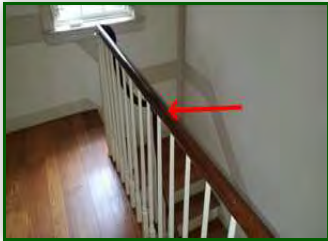
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COMMENTS


22.1.1 Handrail/Guardrail loose

 Minor/Maintenance

Handrails and/or guardrails were loose at steps.



22.2.1 Moisture (Not Elevated)

 Minor/Maintenance

There were indications of previous moisture, made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Unable to determine condition of underlying materials. Recommend monitoring.



22.3.1 Walls (Multiple Defects)



Minor/Maintenance

1. DRYWALL REPAIRS

Repairs were noted in drywall surface, no defects were noted. This is reported as a courtesy, and is considered cosmetic in nature.

2. MOISTURE (NOT ELEVATED)

There were indications of previous moisture made evident by staining. Moisture readings were taken and were not elevated at the time of inspection unless specified. Recommend monitoring.

3. DISCOLORATION

Discoloration was present. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.

4. TYPICAL SETTLEMENT

Settlement cracking was present throughout residence. These are usually the result of typical settlement and are cosmetic in nature. Recommend monitoring.



22.4.1 Floor(Multiple Defects)



Minor/Maintenance

1. SQUEAKY FLOOR

The floor squeaked when walked on, typically caused by movement at sub floor from loose/missing fasteners.

2. UNLEVEL/DAMAGED FLOOR

Floor was unlevel/damaged throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



22.4.2 Rodent Droppings



Minor/Maintenance

Rodent droppings were present at areas throughout the residence. Pest control is beyond the scope of a normal home inspection. Recommend consulting a qualified exterminator if client is concerned.



22.5.1 Windows(Multiple Defects)

M Major

1. WINDOWS FELL FREELY/WOULD NOT OPEN

Multiple windows throughout residence would not stay open and fell freely when tested. Window would not open when tested. A qualified contractor is recommended for evaluation and repair.

2. MOISTURE (ELEVATED)

There were indications of moisture, made evident by staining. Moisture readings were taken and were elevated at the time of inspection. Unable to determine the condition of underlying materials. A qualified contractor is recommended for further evaluation and repair as needed.

3. HEAVY ROT

Heavy wood rot was present at multiple windows throughout residence. A qualified contractor is recommended for evaluation and repair.



22.5.2 Unable To Test

NI Not Inspected

Was unable to test operation of window due to height. Recommend verifying operation prior to settlement if client is concerned.



22.5.3 Nesting

Minor/Maintenance

Nesting was present inside some window frames. Recommend clearing.



22.7.1 Light not on (Bad Bulb)

Minor/Maintenance

Lights did not turn on when tested, suspected bad bulbs. Recommend replacing bulbs and verifying fixtures operate.



22.8.1 Not at brackets

Major

Smoke detectors were missing at mounts, recommend installing smoke detectors at each mounting bracket.



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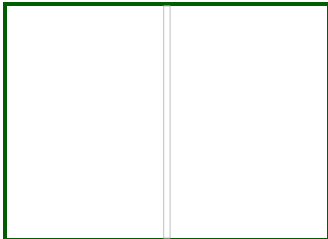
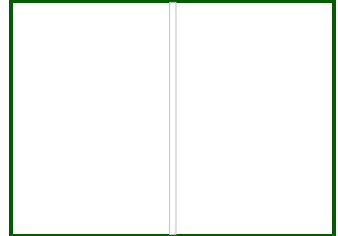
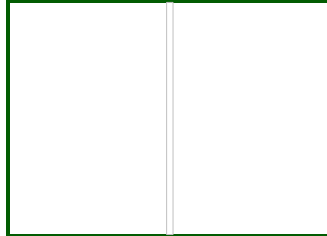
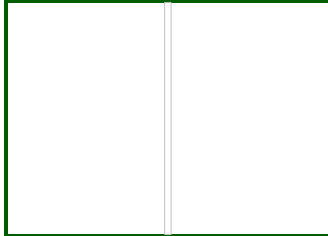
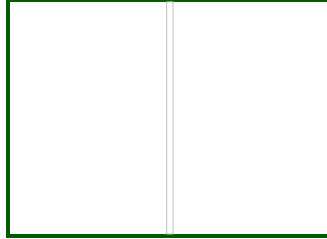
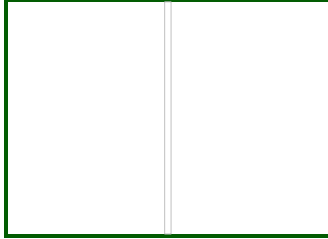
FIREPLACE IMPORTANT INFORMATION

Fireplace Information and Disclaimers

The inspection is limited to the visible portions of the fireplace flue. Drop light, mirrors, and smoke testing are not a part of the inspection. If further investigation is necessary, a qualified professional chimney sweep is recommended. All fireplaces should be cleaned and inspected on a regular basis. Wood is not burned to test wood burning units.

Pictures

Fireplace Pictures



FIREPLACE MATERIAL

Fireplace type

Wood burning



Section Items	IN	NP	NI	MI	MA	Comments	
23.1 Fireplace operation			✓			2	View Comments
23.2 Firebox				✓	✓	3	View Comments
23.3 Damper					✓	1	View Comments
23.4 Hearth						0	
23.5 Flue						0	

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

23.1.1 Wood burning not inspected

NI Not Inspected

Operation of wood burning stoves/fireplaces are beyond scope of this inspection



23.1.2 Sealed off

NI Not Inspected

Fireplaces were sealed off at areas.



23.2.1 Firebox(Multiple Defects)



Minor/Maintenance

1. DIRTY

The fireplace firebox and flue were dirty, recommended cleaning.

2. CRACKING

Firebox surround had cracks, recommend repair



23.2.2 Moisture



Major

Staining/high moisture readings were present at fireplace in front right bedroom indicating moisture intrusion. A qualified contractor is recommended for evaluation and repair as needed.



23.2.3 Detached



Minor/Maintenance

Metal insert was detached.



23.3.1 Did not function

M Major

Damper did not function properly at fireplace in kitchen area. A qualified contractor is recommended for repair.



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STRUCTURE IMPORTANT INFORMATION

Structure Information and Disclaimers

In accordance with our standards of practice, a home inspection identifies foundation types and looks for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. Floor coverings often prevent recognition of cracks or settlement in all but the most severe cases. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Be sure to check these areas again during the final walk through.

During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. Ceiling tiles and insulation are not removed.

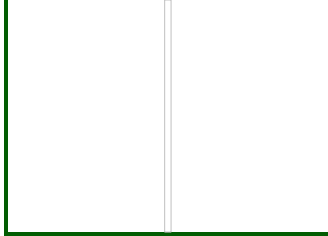
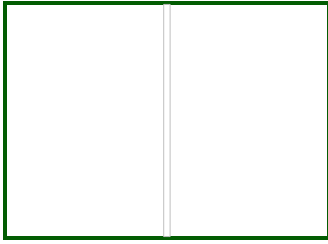
Slab foundations have no access beneath, therefore the only review that can be made is from visible and accessible portions at the exterior / interior. Homes built with a slab on grade construction may have heating ducts, plumbing, gas and electrical lines running beneath the slab. As it is impossible to determine the condition of these items by a visual inspection, they are specifically excluded from the scope of this inspection.

A dry basement or crawl space cannot be guaranteed because they are both a hole in the ground that is vulnerable to infiltration when exposed to prolonged rain, ground saturation, changes in hydrostatic pressure and fluctuation in the water table. All exterior grades should allow for surface and roof water to flow away from the foundation. Block, stone and brick foundations are prone to absorb ground moisture.

Mold or mildew is beyond the scope of a standard home inspection. If there are any indications or suspicions of moisture penetration present a mold test and/or evaluation from a mold professional is recommended.

Pictures

Structure Pictures



STRUCTURE MATERIAL

Foundation type	Method used to inspect structure	Joist/beams
Basement	Walked	Wood, Unable to view - finishing material
Piers/Posts	Bearing Walls	
Unable to view - finishing materials	Block	



Section Items	IN	NP	NI	MI	MA	Comments	
24.1 Crawl Space Access			✓			1	View Comments
24.2 Basement Stairs/Railings					✓	1	View Comments
24.3 Joists/Beams						0	
24.4 Subfloor						0	
24.5 Differential Movement						0	
24.6 Foundation				✓		1	View Comments
24.7 Insulation/Ventilation						0	
24.8 Electrical				✓		1	View Comments
24.9 Moisture Penetration				✓	✓	2	View Comments
24.10 Sewage Ejector Pump					✓	1	View Comments

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

COMMENTS

24.1.1 Unable to access

NI Not Inspected

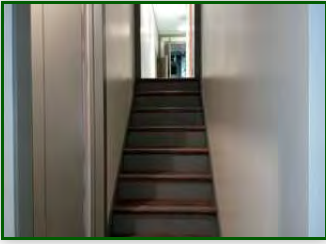
Was unable to access crawlspaces due to size of openings. Crawlspaces were inspected from accesses. Portions of the crawlspace were not visible.




24.2.1 No handrails

 Major

Handrails were not installed at the steps. A qualified contractor is recommended for evaluation and correction.



24.6.1 Foundation (Multiple Defects)

 Minor/Maintenance

1. CRACKING


Typical settlement cracking was present. Recommend monitoring.

2. PARGE COAT

Parge coat was damaged at areas.



24.8.1 Open junction boxes

 Minor/Maintenance

Open junction boxes were present. Recommend covering for protection.



24.9.1 Microbial Growth

 Minor/Maintenance

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional is recommended.



24.9.2 Moisture: Staining/High Readings

 Major

There were indications of moisture penetration made evident by staining and high moisture readings. When there is high moisture present, further evaluation by a qualified contractor is recommended.



24.10.1 Leaks

 Major

Leaks were present at sewage ejector. A qualified contractor is recommended for evaluation and repair as needed. Was unable to verify operation.



CLOSING STATEMENT

Pre-Closing Walkthrough & Other Information

This report was written exclusively for our Client. It is not transferable to other parties. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report and call us if you have any questions. We are always attempting to improve quality of our service and our report.

PRE-CLOSING WALK-THROUGH

The walk-through prior to closing is the time for the Client to inspect the property. Conditions can change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. The Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases our company of all responsibility. The Client assumes responsibility for all known defects after settlement.

The following are recommendations for the pre-closing walk-through of your new house. Consider hiring a certified home inspector to assist you.

1. Check the heating and cooling system. Turn the thermostat to heat mode and turn the temperature setting up. Confirm that the heating system is running and making heat. Turn the thermostat to off and wait 20 minutes. Turn the thermostat to cool mode and turn the temperature setting down. Confirm the condenser is spinning and the system is making cool air. The cooling system should not be checked if the temperature is below 60 degrees. You should not operate a heat pump in the heating mode when it is over 75 degrees outside.
2. Operate all appliances.
3. Run water at all fixtures and flush toilets.
4. Operate all exterior doors, windows and locks.
5. Test smoke and carbon monoxide detectors.
6. Ask for all remote controls to any garage door openers, fans, gas fireplaces , etc.
7. Inspect areas that may have been restricted at the time of the inspection.
8. Ask seller questions about anything that was not covered during the home inspection.
9. Ask seller about prior infestation treatment and warranties that may be transferable.
10. Read seller's disclosure.

SINCERELY,

PRO-SPECT INSPECTION SERVICES DE

Wood Destroying Insect Inspection Report

Notice: Please read important consumer information on page 2

Section I. General Information

Inspection Company, Address & Phone
Pro-Spect Inspection Services DE
1277 S. Governors Ave.
Dover, Delaware 19904
302-381-0110

Company's Business Lic. No

DE#2009604266

Date of Inspection

02/28/2023

Address of Property Inspected

951 Pleasant Hill Rd, Lamborn Estates
Newark, Delaware 19711

Inspector's Name, Signature & Certification, Registration, or Lic. #

Shawn Hemmert, #19-328, 

Structure(s) Inspected

Residence

Section II. Inspection Findings This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

A. No Visible evidence of wood destroying insects was observed

B. Visible evidence of wood destroying insects was observed as follows:

1. Live insects (description and location): _____

2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): _____

3. Visible damage from wood destroying insects was noted as follows (description and location): Termite, powder post beetle, wood boring beetle and carpenter bee damage at detached buildings

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Section III. Recommendations

No treatment recommended: (Explain if Box B in Section II is checked) _____

Recommend treatment for the control of Termites, powder post beetles, wood boring beetles and carpenter bees unless documentation can be provided stating treatment has previously been applied

Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

Basement 1,3,4,5,6,11,13,24,7,2

Crawlspace 10,11

Main Level 1,3,4,6,7,8,9,11,13,24

Attic 1,3,4,5,9,11,13,24

Garage 1,3,4,5,6,7,9,11,13,24

Exterior 11,13,16,17

Porch _____

Addition _____

Other 1,3,5,6,7,8,9,11,13,24,26,4,16,17

The inspector may write out obstructions or use the following optional key:

- | | |
|------------------------|---------------------------------------|
| 1.Fixed ceiling | 15.Standing water |
| 2.Suspended ceiling | 16.Dense vegetation |
| 3.Fixed wall covering | 17.Exterior siding |
| 4.Floor covering | 18.Window well covers |
| 5.Insulation | 19.Wood pile |
| 6.Cabinets or shelving | 20.Snow |
| 7.Stored items | 21.Unsafe conditions |
| 8.Furnishings | 22.Rigid foam board |
| 9.Appliances | 23.Synthetic stucco |
| 10.No access or entry | 24.Duct work, plumbing, and/or wiring |
| 11.Limited Access | 25.Spray foam insulation |
| 12.No access beneath | 26.Equipment |
| 13.Only visual access | |
| 14.Cluttered condition | |

Section V. Additional Comments and Attachments (these are an integral part of the report)

Attachments _____

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. **For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.** This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection **This shall not be construed as a 90-day warranty.** There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
- Treatment Recommendation Guidelines Regarding Subterranean Termites:** Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.
For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.
- Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

Photos & Attachments



Termite damage



Powder post beetle damage



Termite Damage



Carpenter Bee Damage



Wood boring beetle damage



Termite Damage