



## INSPECTION REPORT



Client Name

White Clay Creek State Park

Inspection Report

71 Nine Foot Road Niven House, Newark, Delaware 19711

Report ID

022723SH40712

Inspection Date

February 27, 2023 at 12:00 PM

Inspector Name

Shawn Hemmert, Andrew Rash

# INTRODUCTION

## PROPERTY & INSPECTION INFORMATION

<b>Full Address</b> 71 Nine Foot Road Niven House, Newark, Delaware, 19711	<b>Year Built</b> 1850	<b>Square Footage</b> 2100
<b>Standards Of Practice (SOP)</b> Delaware	<b>Attending the Inspection</b> Contractor	<b>Occupancy</b> Vacant-Empty
<b>Estimated Age</b> 100+ years	<b>Type Of Building</b> Single Family	<b>Temperature During Inspection</b> 30-39
<b>Weather During Inspection</b> Partly Cloudy	<b>Soil Conditions</b> Damp	<b>Electric</b> Off
<b>Gas/Oil</b> Off	<b>Water</b> Off	

## REPORT INTRODUCTION

We are proud of our service, and trust you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every problem. Also because our inspection is a visual, non-invasive inspection, defects could exist that were not visible. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current. This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report, and call us if you have any questions. We are always striving for improvement to better serve the public. You are advised to seek two professional opinions and acquire estimates of repair to any defects, comments, improvements or recommendation mentioned in this report. We recommend that the professional making any repairs inspect the property further, in order to discover and repair related problems that were not identified in the report. We recommend that all repairs, corrections and cost estimates be completed and documented prior to closing or purchasing the property. Feel free to hire other professionals to inspect the property prior to closing, including HVAC professionals, electricians, engineers, or roofers.

### Standards of Practice

Delaware SOPs link: [https://dprfiles.delaware.gov/homeinspector/Ethics\\_and\\_Standards.pdf](https://dprfiles.delaware.gov/homeinspector/Ethics_and_Standards.pdf)



NACHI SOPS Link: <https://www.nachi.org/sop.htm>

### Maryland SOPs:

<https://www.mdahi.org/Resources/Documents/HOME%20INSPECTOR%20MINIMUM%20STANDARDS%20OF%20PRACTICE%20-%20MARYLAND.pdf>










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## COMMENT KEY OR DEFINITION OF RECOMMENDATIONS

#	Image	Name	Description
1.		Inspected(IN)	Functional with no obvious visual signs of defect and appeared to be functioning as intended allowing for normal wear and tear.
2.		Not Present(NP)	Item was unable to be inspected for safety reasons or due to lack of power, was inaccessible, or disconnected at time of inspection. Therefore, no representations can be made as to whether or not the component is functional.
3.		Not Inspected(NI)	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
4.		Minor/Maintenance(MI)	Item may warrant repair or servicing to improve operation and/or life expectancy. Monitoring is recommended even if item was functioning during the inspection. Further evaluation or servicing may be needed by a qualified licensed contractor. You should plan or budget for additional expenses.
5.		Major(MA)	This item or system is not performing its intended function or is totally inoperable or is damaged in a way to make it unsafe and usually will require some level of repair or replacement to restore it to a serviceable condition. Further evaluation is needed by a qualified licensed contractor (recommend at least 2 estimates) prior to settlement is strongly recommended. In addition, it is recommended that any further defects found be corrected as necessary to ensure proper operation of the item or system.
6.		Major	
7.		Minor/Maintenance	
8.		Not Inspected	
9.		Information	Information

REPORT SUMMARY

1. OUTBUILDING/BARN

2. GENERAL INFORMATION

3. EXTERIOR

4. ROOF

5. ATTIC

6. INTERIOR

7. FIREPLACE

8. GARAGE

9. STRUCTURE



**MAJOR**

# 1. Outbuilding/Barn

## 1.1.1 Heavily Damaged

Barn door was heavily damaged/gaps present. A qualified contractor is recommended for evaluation and repair as needed.



## 1.2.1 Heavy wood rot/damage

Heavy wood rot/damage were present at various locations around barn. Heavy erosion was present around barn. A qualified contractor is recommended for evaluation and repair as needed.



## 1.3.1 Roof

Drip edge was not installed. Shingles/roof were heavily damage. Significant sagging was present. Signs of moisture intrusion were present at various locations. A qualified contractor is recommended for evaluation of roof and repair as needed.



## 1.5.1 Wood Rot

Heavy wood rot/damage was present at various locations of the barn. A qualified contractor is recommended for evaluation and repair as needed.



### 1.5.2 Bowed/Heavily Damaged/Leaning/Split/Termite Damage

Framing members/posts were heavily damaged/bowed/split/leaning at multiple areas throughout the barn. Heavy termite damage was present at multiple framing members. A licensed structural engineer is recommended for overall evaluation and repair as needed.



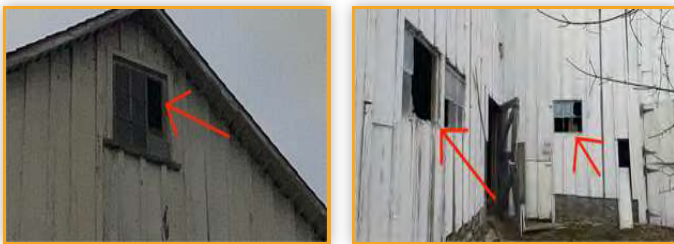
### 1.6.1 Large Gaps/Soft Spots/Heavily Damaged

Large gaps/soft spots were present at areas of flooring in barn. Sections of flooring were heavily damaged/missing creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



### 1.7.1 Broken glass

Broken glass was present at various locations. A qualified contractor is recommended for evaluation and repair as needed.



### 1.8.1 Damaged

Doors were heavily damaged. A qualified contractor is recommended for repair.



### 1.9.1 Damage/gaps

Heavy damage was present at foundation around barn with large gaps present. Recommend evaluation by a licensed structural engineer.



## 3. Exterior

### 3.1.2 Siding(Multiple Defects)

#### 1. LARGE GAPS/WOOD ROT/HEAVY DAMAGE/MISSING

Large gaps/wood rot/heavy damage/missing siding was present at areas of exterior siding. Daylight was visible from inside the residence causing concern for moisture intrusion and pest entry. A qualified contractor is recommended for evaluation and repair as needed.

#### 2. EXPOSED WOOD

Exposed wood was present at areas causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair



### 3.1.3 Bowled

Exterior walls were bowed at areas at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.



### 3.2.1 Heavy Damage/Gaps

Heavy damage/gaps were present at areas of fascia. A qualified contractor is recommended for evaluation and repair as needed.



### 3.2.2 Heavy Carpenter Bee Damage

Heavy carpenter bee damage was present at areas around the exterior. A qualified contractor is recommended for evaluation and repair as needed.



### 3.5.1 Wood rot (major)

Severe wood rot was noted on trim at areas. A qualified contractor is recommended for evaluation and repair.



### 3.6.1 Broken Glass/Secured Shut/Unable To Be Locked

Rear exterior door had broken glass present and was secured shut making it unusable. Side door was unable to be secured shut/locked creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



### 3.7.1 Windows(Multiple Defects)

#### 1. GAPS/WOOD ROT

Gaps/wood rot were present around exterior window frames. A qualified contractor is recommended for evaluation and repair as needed.

#### 2. BROKEN GLASS/DETACHED

Window(s) had broken glass/detached panes. A qualified contractor is recommended for evaluation and repair.



### 3.8.2 Unprotected Wire Splices

Unprotected wire splices were present at the front porch. A licensed electrician is recommended for evaluation and repair as needed.



### 3.10.1 Vent Cover Missing

Vent cover was missing at exterior causing concern for wildlife/moisture entry. A qualified contractor is recommended for evaluation and repair.



### 3.12.1 Heavy Rot/Damage

Heavy wood rot/damage was present at exterior steps. A qualified contractor is recommended for evaluation and repair as needed.



### 3.14.1 Frayed insulation

The service conductors had damaged/frayed insulation, leaving the interior wires exposed. A licensed electrician is recommended for further evaluation and repair as needed.



### 3.16.1 Heavy Wood Rot

Heavy wood rot was present at posts to rear porch overhang. A qualified contractor is recommended for evaluation and repair as needed.



## 4. Roof

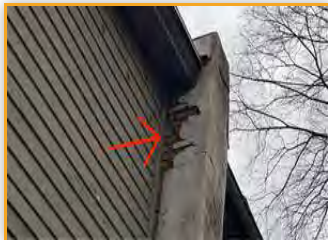
### 4.3.1 Missing

Plumbing vents were missing. A qualified plumber is recommended for repair.



### 4.4.1 Mortar large gaps/open

There were noticeable gaps and large cracking at chimneys. Chimneys were open to 2nd floor. A qualified contractor is recommended for evaluation and repair as needed.



## 5. Attic

### 5.2.1 Twisted

Rafters were twisted in attic. Recommend evaluation by a qualified contractor.



### 5.3.1 Holes/Gaps (Daylight Visible)

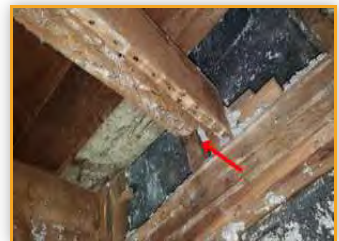
Holes and/or gaps were present with daylight visible from inside attic causing concern for moisture/pest entry points. A qualified contractor is recommended for evaluation and repair.



## 6. Interior

### 6.2.1 Heavily Damaged/Heavy Termite Damage

Top plates/framing members were heavily damaged at areas throughout residence. Heavy termite damage was present at various framing members. A qualified contractor is recommended for evaluation and repair as needed.



### 6.3.2 Not Secured

Wood stud was not secured/attached to framing member. A qualified contractor is recommended for evaluation and repair as needed.



### 6.4.1 Large Gaps

Large gaps were present at areas of floor, this was creating a safety concern. A licensed electrician is recommended for evaluation and repair as needed.



### 6.5.1 Window fell freely/Secured Shut/Heavily Damaged

Window would not stay open and fell freely when tested. Multiple windows were secured shut/heavily damaged and unable to be opened. A qualified contractor is recommended for evaluation and repair.



## 8. Garage

### 8.2.1 Heavily Damaged/Heavy Wood Rot/Missing/Gaps

Wood around the exterior of detached garage was heavily damaged/had heavy rot/gaps present at various areas. Fascia/drip edge was missing at sections of roof. A qualified contractor is recommended for evaluation and repair as needed.



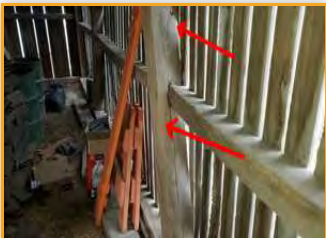
### 8.3.1 Damaged

Rafters were split/damaged in garage. A qualified contractor is recommended for evaluation and repair as needed.



### 8.4.1 Heavily Damaged/Bowed/Split/Termite Damage

Walls/framing members for detached garage were heavily damaged/bowed at areas. Termite damage was present at framing members. Joists were splits. A qualified contractor is recommended for evaluation and repair as needed.



### 8.5.1 Damaged

Floor was heavily damaged in attic causing concern for injury. A qualified contractor is recommended for repair.



### 8.6.1 Broken Glass

Window was broken. A qualified contractor is recommended for evaluation and repair.



## 9. Structure

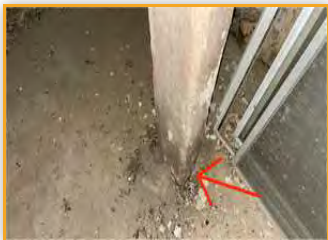
### 9.2.1 No handrail

A handrail was not installed at the steps to multiple staircases. A qualified contractor is recommended for evaluation and correction.



### 9.2.2 Damaged

Posts were damaged underneath stairs. A qualified contractor is recommended for evaluation and repair.



### 9.3.1 Joists/Beams (Multiple Defects)

#### 1. HOLES/GAPS (DAYLIGHT VISIBLE)

Holes and/or gaps were present with daylight visible from inside causing concern for moisture/pest entry points. A qualified contractor is recommended for evaluation and repair.

#### 2. HEAVY DAMAGE

Heavy damage was present at framing members. A qualified contractor is recommended for further evaluation and repair as needed.



### 9.4.1 Missing/damaged

Multiple bricks were missing at pier in basement. Piers were damaged. A qualified contractor is recommended for evaluation and repair as needed.



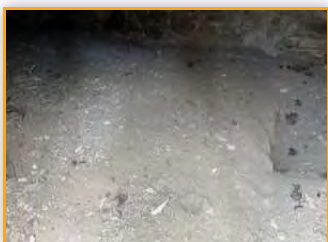
### 9.7.2 Damage/gaps

Heavy damage/large gaps were present causing concern for moisture intrusion. A qualified contractor is recommended for repair.



### 9.9.1 No barrier

No moisture barrier was present in crawl space at time of inspection. Recommend a qualified contractor install a moisture barrier to help control humidity in the crawl space.



### 9.10.1 Moisture: Staining/High Readings

There were indications of moisture penetration made evident by staining and high moisture readings in basement and crawlspaces. When there is high moisture present, further evaluation by a qualified contractor is recommended.



## MINOR/MAINTENANCE

### 1. Outbuilding/Barn

#### 1.5.3 Microbial Growth

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



### 3. Exterior

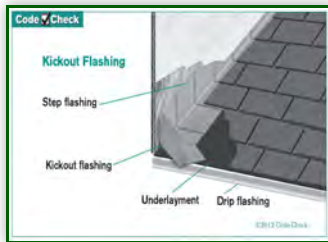
#### 3.1.1 Siding(Multiple Defects)

##### 1. SPRAY FOAM

Spray foam was present at areas and will need ongoing maintenance. Unable to determine underlying conditions.

##### 2. KICKOUT FLASHING

Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .



### 3.4.1 Downspouts(Multiple Defects)

#### 1. DRAINING AT FOUNDATION

Some downspouts were draining at foundation. Recommend adding leaders/extensions to drain water away from foundation.

#### 2. DAMAGED DOWNSPOUT

Downspout was damaged



### 3.5.2 Peeling Paint

Peeling paint was present at various areas around the exterior. Recommend resealing.



### 3.8.1 Damaged

Light fixture was damaged. Recommend repair.



### 3.12.2 Loose Handrail

Handrail was loose at step.



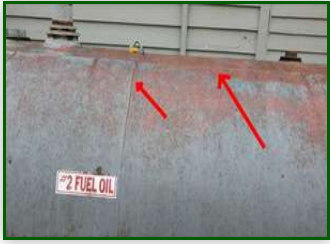
### 3.13.1 Vegetation in Contact

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.



### 3.15.1 Corrosion

Corrosion was present at fuel tank. Recommend monitoring.



## 4. Roof

### 4.1.1 Roof Material (Multiple Defects)

#### 1. MOSS GROWTH

Shingles had moss growth. Moss on shingles can retain moisture and accelerate deterioration over a long period of time. Cleaning the roof will help minimize damage.

#### 2. SHINGLE WEAR

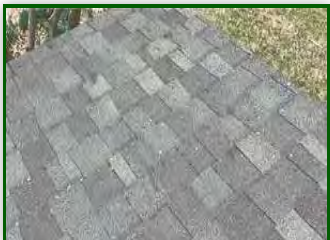
The shingles showed wear due to exposure but appeared to be in a condition deemed acceptable for their age unless specified. Recommend monitoring and planning for future maintenance or replacement as needed.

#### 3. GRANULE LOSS

Shingles had granule loss.

#### 4. TAR/CAULK (MINOR)

Tar and/or caulk were present at areas and will need ongoing maintenance.



#### 4.4.2 No flue cap

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.



## 5. Attic

#### 5.1.1 Guardrails

Guardrails were not installed at attic access. Client should consider installing guardrails to improve safety.



#### 5.3.2 Cracked Sheathing in Attic

Sheathing had cracking visible in the attic, this condition may not adversely affect the roof covering immediately. Recommend repair as needed or when roof is replaced.



#### 5.7.1 Moisture (Not Elevated)

There were indications of previous moisture entry made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



### 5.8.1 Damaged

Floor boards were damaged in attic. Recommend waking with caution/repair as needed.



## 6. Interior

### 6.1.1 Handrail/Guardrail loose

Handrails and/or guardrails were loose at steps.



### 6.3.1 Walls (Multiple Defects)

#### 1. MICROBIAL GROWTH

Microbial growth was visible at areas throughout residence. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.

#### 2. MOISTURE (NOT ELEVATED)

There were indications of previous moisture made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



### 6.4.2 Unlevel Floor

Floor was unlevel throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



### 6.7.1 Electrical(Multiple Defects)

#### 1. COVERS MISSING/BROKEN

Cover plates were missing/broken at outlets or switches. Junction boxes were uncovered at areas throughout residence.

#### 2. LOOSE SWITCH/OUTLET

Switch(es) or outlet(s) loose, recommend securing.



## 7. Fireplace

### 7.2.1 Firebox (Multiple Defects)

#### 1. CORROSION

Corrosion was present.

#### 2. DIRTY

The fireplace firebox and flue were dirty, recommended cleaning.

#### 3. CRACKING

Firebox surround had cracks, recommend repair



## 8. Garage

### 8.3.1 Roof

Shingles were worn. Moss growth was present. Granule loss was present.



## 9. Structure

### 9.3.2 Scorching

Scorching was present in crawlspace. Recommend consulting a qualified contractor for further evaluation if client desires.



### 9.7.1 Foundation(Multiple Defects)

#### 1. PARGE COAT

Parge coat was damaged at areas.

#### 2. CRACKING

Typical settlement cracking was present. Recommend monitoring.



NI NOT INSPECTED

## 1. Outbuilding/Barn

### 1.6.2 Limited

Inspection of barn was limited due to heavily damaged sections of flooring/unsafe conditions.



## 4. Roof

### 4.4.3 Liners

Was unable to verify if liners were installed at chimneys. Recommend consulting a qualified contractor for further evaluation if client desires.



## 7. Fireplace

### 7.1.1 Not present

Insert was not present.



## 9. Structure

### 9.11.1 Boarded up

Door was boarded up.



INFORMATION

## 2. General Information

### 2.1.1 Disclaimers/Information

#### 1. STORED ITEMS

The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items.

#### 2. MOLD

The inspection does not include reporting on the presence of mold, mildew, fungi, etc. - and/or their possible health issues. If desired, client can have further evaluation by a mold expert.

#### 3. WATER OFF

Water was off at the time of inspection. All items related to the water system, including (but not limited to) supply and drain lines, fixtures, appliances, hose bibs, could not be tested for operation or leaks. As a result, these items will not appear in the report unless otherwise found defective upon visual inspection only.

#### 4. GAS/OIL OFF

Gas/oil was shut off at the time of inspection. All items related to the gas/oil supply system could not be tested for operation or leaks, including (but not limited to) gas/oil lines, gas/oil appliances, and valves. As a result, these items will not appear in the report unless found otherwise defective upon visual-only inspection.

#### 5. ELECTRIC OFF

The electric was not on at the time of inspection. All items related to the electrical system and all items that require electricity to operate could not be tested for operation or otherwise inspected for defects related to functionality. This includes (but is not limited to) items such as appliances, light fixtures, mechanical systems, receptacles, and breakers. As a result, these items will not appear in the report unless otherwise found defective upon visual-only inspection.

#### 6. UTILITIES/APPLIANCES

Utilities/appliances were not present including but not limited to water heater, furnace or boiler, a/c, kitchen appliances, plumbing fixtures, etc.

## 5. Attic

### 5.4.1 No Insulation (common for era)

No insulation was visible, even though insulation may have been an upgrade when built insulation is strongly recommended in modern era.



## 7. Fireplace

### 7.1.2 Covered

Fireplace was covered.



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## OUTBUILDING/BARN IMPORTANT INFORMATION

### Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

**Pictures**

**Garage Pictures**



**OUTBUILDING/BARN MATERIAL**

<b>Building Type/Size</b>	<b>Door Operation</b>	<b>Ceiling type(s)</b>
Barn	Manual	Exposed framing
<b>Wall type(s)</b>	<b>Floor type(s)</b>	
Exposed Framing	Wood	



Section Items	IN	NP	NI	MI	MA	Comments	
1.1 Barn/Garage Door(s)					✓	1	<a href="#">View Comments</a>
1.2 Exterior Surface					✓	1	<a href="#">View Comments</a>
1.3 Roof					✓	1	<a href="#">View Comments</a>
1.4 Ceiling						0	
1.5 Walls					✓	3	<a href="#">View Comments</a>
1.6 Floors			✓		✓	2	<a href="#">View Comments</a>
1.7 Windows					✓	1	<a href="#">View Comments</a>
1.8 Exterior Door				✓		1	<a href="#">View Comments</a>
1.9 Foundation					✓	1	<a href="#">View Comments</a>

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

## COMMENTS

### 1.1.1 Heavily Damaged

**M** Major

Barn door was heavily damaged/gaps present. A qualified contractor is recommended for evaluation and repair as needed.



### 1.2.1 Heavy wood rot/damage

**M** Major

Heavy wood rot/damage were present at various locations around barn. Heavy erosion was present around barn. A qualified contractor is recommended for evaluation and repair as needed.



### 1.3.1 Roof

**M** Major

Drip edge was not installed. Shingles/roof were heavily damage. Significant sagging was present. Signs of moisture intrusion were present at various locations. A qualified contractor is recommended for evaluation of roof and repair as needed.



### 1.5.1 Wood Rot

**M** Major

Heavy wood rot/damage was present at various locations of the barn. A qualified contractor is recommended for evaluation and repair as needed.



### 1.5.2 Bowed/Heavily Damaged/Leaning/Split/Termite Damage

#### Major

Framing members/posts were heavily damaged/bowed/split/leaning at multiple areas throughout the barn. Heavy termite damage was present at multiple framing members. A licensed structural engineer is recommended for overall evaluation and repair as needed.



### 1.5.3 Microbial Growth

#### Minor/Maintenance

Microbial growth was visible. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.



### 1.6.1 Large Gaps/Soft Spots/Heavily Damaged

**M** Major

Large gaps/soft spots were present at areas of flooring in barn. Sections of flooring were heavily damaged/missing creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



### 1.6.2 Limited

**NI** Not Inspected

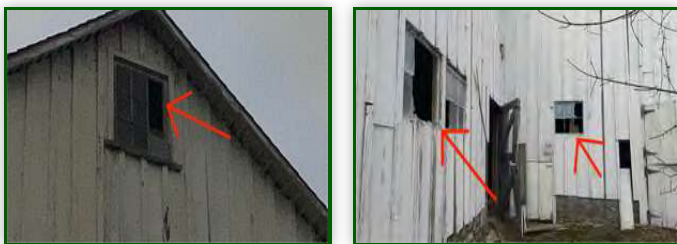
Inspection of barn was limited due to heavily damaged sections of flooring/unsafe conditions.



### 1.7.1 Broken glass

**M** Major

Broken glass was present at various locations. A qualified contractor is recommended for evaluation and repair as needed.



### 1.8.1 Damaged

**M** Major

Doors were heavily damaged. A qualified contractor is recommended for repair.



### 1.9.1 Damage/gaps

**M** Major

Heavy damage was present at foundation around barn with large gaps present. Recommend evaluation by a licensed structural engineer.



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# GENERAL INFORMATION LIMITATION

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## EXTERIOR IMPORTANT INFORMATION

### Exterior Disclaimer

This inspection does not attempt to determine drainage performance of the site including surface drains and the condition of underground piping; including roof drainage, municipal water and sewer service piping or septic systems. Minor cracks are typical in walks, driveways, patios, porches and foundations and most do not represent a structural concern. All concrete slabs experience some degree of settlement. Be advised that siding materials with a southern exposure usually age at a faster rate and siding with a northern exposure can be prone to decay from moisture. Exterior drainage conditions should be monitored annually. Soil along the foundation should direct water away from the home by gravity flow at a pitch of 1" per foot for a distance of ten feet. Likewise, downspouts should have elbows and splashblocks/extensions to drain water away from the foundation. Maintain a 1-2 foot clearance between vegetation & siding. A safe handrail is recommended at every stairway.

Detection of the presence of concealed moisture, mold or wood decay present behind exterior finishes is beyond the scope of this inspection. Broken seals at windows may not be visible during an inspection depending on conditions.

### Pictures

#### Exterior Pictures



2.5 Fuel Tank



2.6 Electrical Service

## EXTERIOR MATERIAL

Siding/Trim Material	Soffit Material	Fascia Material
Wood	Wood	Wood



Section Items	IN	NP	NI	MI	MA	Comments	
3.1 Siding				✓	✓	3	<a href="#">View Comments</a>
3.2 Fascia					✓	2	<a href="#">View Comments</a>
3.3 Soffits						0	
3.4 Downspouts				✓		1	<a href="#">View Comments</a>
3.5 Trim				✓	✓	2	<a href="#">View Comments</a>
3.6 Doors					✓	1	<a href="#">View Comments</a>
3.7 Windows					✓	1	<a href="#">View Comments</a>
3.8 Electrical				✓	✓	2	<a href="#">View Comments</a>
3.9 Hose bibs						0	
3.10 Vents					✓	1	<a href="#">View Comments</a>
3.11 Driveway And Walkways						0	
3.12 Steps/Stoops				✓	✓	2	<a href="#">View Comments</a>
3.13 Grading, Drainage And Vegetation Findings				✓		1	<a href="#">View Comments</a>
3.14 Electric Service					✓	1	<a href="#">View Comments</a>
3.15 Fuel Tank				✓		1	<a href="#">View Comments</a>
3.16 Porch					✓	1	<a href="#">View Comments</a>

IN = Inspected, NP = Not Present, NI = Not Inspected, MI = Minor/Maintenance MA = Major,

## COMMENTS

### 3.1.1 Siding(Multiple Defects)

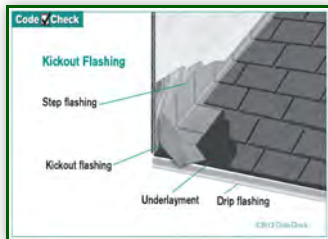
Minor/Maintenance

#### 1. SPRAY FOAM

Spray foam was present at areas and will need ongoing maintenance. Unable to determine underlying conditions.

#### 2. KICKOUT FLASHING

Kickout flashing was not present. Kickout or diverter flashing help prevents water entry at the roof and sidewall transition. Unable to determine the condition of underlying materials .



### 3.1.2 Siding(Multiple Defects)

**M** Major

#### 1. LARGE GAPS/WOOD ROT/HEAVY DAMAGE/MISSING

Large gaps/wood rot/heavy damage/missing siding was present at areas of exterior siding. Daylight was visible from inside the residence causing concern for moisture intrusion and pest entry. A qualified contractor is recommended for evaluation and repair as needed.

#### 2. EXPOSED WOOD

Exposed wood was present at areas causing concern for moisture intrusion. A qualified contractor is recommended for evaluation and repair



### 3.1.3 Bowed

**M** Major

Exterior walls were bowed at areas at the time of inspection. A qualified contractor is recommended for evaluation and repair as needed.



### 3.2.1 Heavy Damage/Gaps

**M** Major

Heavy damage/gaps were present at areas of fascia. A qualified contractor is recommended for evaluation and repair as needed.



### 3.2.2 Heavy Carpenter Bee Damage

**M** Major

Heavy carpenter bee damage was present at areas around the exterior. A qualified contractor is recommended for evaluation and repair as needed.



### 3.4.1 Downspouts(Multiple Defects)

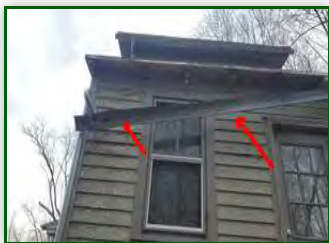
**M** Minor/Maintenance

#### 1. DRAINING AT FOUNDATION

Some downspouts were draining at foundation. Recommend adding leaders/extensions to drain water away from foundation.

#### 2. DAMAGED DOWNSPOUT

Downspout was damaged



### 3.5.1 Wood rot (major)

**M** Major

Severe wood rot was noted on trim at areas. A qualified contractor is recommended for evaluation and repair.



### 3.5.2 Peeling Paint

**m** Minor/Maintenance

Peeling paint was present at various areas around the exterior. Recommend resealing.



### 3.6.1 Broken Glass/Secured Shut/Unable To Be Locked

**M** Major

Rear exterior door had broken glass present and was secured shut making it unusable. Side door was unable to be secured shut/locked creating a safety concern. A qualified contractor is recommended for evaluation and repair as needed.



### 3.7.1 Windows(Multiple Defects)

**M** Major

#### 1. GAPS/WOOD ROT

Gaps/wood rot were present around exterior window frames. A qualified contractor is recommended for evaluation and repair as needed.

#### 2. BROKEN GLASS/DETACHED

Window(s) had broken glass/detached panes. A qualified contractor is recommended for evaluation and repair.



### 3.8.1 Damaged

**m** Minor/Maintenance

Light fixture was damaged. Recommend repair.



### 3.8.2 Unprotected Wire Splices

**M** Major

Unprotected wire splices were present at the front porch. A licensed electrician is recommended for evaluation and repair as needed.



### 3.10.1 Vent Cover Missing

**M** Major

Vent cover was missing at exterior causing concern for wildlife/moisture entry. A qualified contractor is recommended for evaluation and repair.



### 3.12.1 Heavy Rot/Damage

**M** Major

Heavy wood rot/damage was present at exterior steps. A qualified contractor is recommended for evaluation and repair as needed.



### 3.12.2 Loose Handrail

**M** Minor/Maintenance

Handrail was loose at step.



### 3.13.1 Vegetation in Contact



Minor/Maintenance

Vegetation was in contact with residence, which may lead to moisture intrusion and potential pest entry. Client may wish to trim vegetation.



### 3.14.1 Frayed insulation



Major

The service conductors had damaged/frayed insulation, leaving the interior wires exposed. A licensed electrician is recommended for further evaluation and repair as needed.



### 3.15.1 Corrosion



Minor/Maintenance

Corrosion was present at fuel tank. Recommend monitoring.



### 3.16.1 Heavy Wood Rot

**M** Major

Heavy wood rot was present at posts to rear porch overhang. A qualified contractor is recommended for evaluation and repair as needed.



REPORT SUMMARY

1. OUTBUILDING/BARN

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9. STRUCTURE

## ROOF IMPORTANT INFORMATION

### Roof/Attic Disclaimer

Home inspectors are not professional roofers. Feel free to hire a professional roofer prior to closing. We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the visible flashing, skylights, chimneys, and roof penetrations. We are not required to inspect antennae, solar panels, interiors of flues or chimneys which are not readily accessible and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes.

It is virtually impossible to detect a leak except as it is occurring or by specific water test, which is beyond the scope of the inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

It is recommended all chimney and fireplace flues be cleaned and inspected annually by a qualified chimney sweep.

3-tab asphalt roof coverings have an approximate 20 year life expectancy and architectural asphalt coverings have an approximate 30 year life expectancy. Asphalt is the most common roof covering in our area. Rubber membranes (Flat or rolled roof coverings) are typically between 15-20 years for life expectancy while metal roofs are approximately 40 years. All life expectancy ranges are approximate and there is no warranty or guarantee expressed or implied.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspection or repair issues as it relates to the comments in this inspection report.

A visual observation of the chimney and flue within the scope of a standard home inspection, may not detect defects beyond our limited view (12 - 18 inches) or where soot has accumulated. A more thorough inspection can be performed by a specialist.

Attic: The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, general state of repair, leakage, and venting. Where walking in an unfinished attic can result in damage to the ceiling, inspection may be limited to the access opening only.

If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance.

## Pictures

### Roof Pictures



## ROOF MATERIAL

<b>Roof Approximate Age</b>	<b>Roof Access</b>	<b>Roof Type</b>
6-10 Years	Drone	Flat, Gable
<b>Roof-covering material</b>	<b>Drainage system description</b>	<b>Chimney/flue material</b>
Asphalt Shingle, Rolled Roofing	Gutters and Downspouts installed	Metal, Brick

## ROOF SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments
4.1 Roof Material				✓		1 <a href="#">View Comments</a>
4.2 Roof drainage system/Gutters	■					0
4.3 Plumbing and Combustion Vents					✓	1 <a href="#">View Comments</a>
4.4 Chimney			✓	✓	✓	3 <a href="#">View Comments</a>

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## 4.1.1 Roof Material (Multiple Defects)

### Minor/Maintenance

#### 1. MOSS GROWTH

Shingles had moss growth. Moss on shingles can retain moisture and accelerate deterioration over a long period of time. Cleaning the roof will help minimize damage.

#### 2. SHINGLE WEAR

The shingles showed wear due to exposure but appeared to be in a condition deemed acceptable for their age unless specified. Recommend monitoring and planning for future maintenance or replacement as needed.

#### 3. GRANULE LOSS

Shingles had granule loss.

#### 4. TAR/CAULK (MINOR)

Tar and/or caulk were present at areas and will need ongoing maintenance.



## 4.3.1 Missing

### Major

Plumbing vents were missing. A qualified plumber is recommended for repair.



#### 4.4.1 Mortar large gaps/open

##### **M** Major

There were noticeable gaps and large cracking at chimneys. Chimneys were open to 2nd floor. A qualified contractor is recommended for evaluation and repair as needed.



#### 4.4.2 No flue cap

##### **m** Minor/Maintenance

Chimney flue did not have a flue cap - the flue cap or spark arrestor above the flue, help prevent the escape of hot embers or rain entry. As an upgrade, it is recommended that a chimney cap/spark arrestor be installed.



#### 4.4.3 Liners

##### **NI** Not Inspected

Was unable to verify if liners were installed at chimneys. Recommend consulting a qualified contractor for further evaluation if client desires.



## ATTIC IMPORTANT INFORMATION

### Roof/Attic Disclaimer

Home inspectors are not professional roofers. Feel free to hire a professional roofer prior to closing. We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the visible flashing, skylights, chimneys, and roof penetrations. We are not required to inspect antennae, solar panels, interiors of flues or chimneys which are not readily accessible and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes.

It is virtually impossible to detect a leak except as it is occurring or by specific water test, which is beyond the scope of the inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

It is recommended all chimney and fireplace flues be cleaned and inspected annually by a qualified chimney sweep.

3-tab asphalt roof coverings have an approximate 20 year life expectancy and architectural asphalt coverings have an approximate 30 year life expectancy. Asphalt is the most common roof covering in our area. Rubber membranes (Flat or rolled roof coverings) are typically between 15-20 years for life expectancy while metal roofs are approximately 40 years. All life expectancy ranges are approximate and there is no warranty or guarantee expressed or implied.

Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used for further inspection or repair issues as it relates to the comments in this inspection report.

A visual observation of the chimney and flue within the scope of a standard home inspection, may not detect defects beyond our limited view (12 - 18 inches) or where soot has accumulated. A more thorough inspection can be performed by a specialist.

Attic: The attic contains the roof framing and serves as a raceway for components of the mechanical systems. There are often heating ducts, electrical wiring and appliance vents in the attic. We visually examine the attic components for proper function, general state of repair, leakage, and venting. Where walking in an unfinished attic can result in damage to the ceiling, inspection may be limited to the access opening only.

If purchasing an older home, you may want to consider additional attic insulation as older homes typically fall short of adequacy in this category. Insulation is rated by R value. Every inch of insulation usually produces about 3 to 4 R value. Desired R Value for our geographic location is 30-50. There are many types of insulation that vary on R value per inch and performance. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

### Pictures

#### Attic Pictures



## ATTIC MATERIAL

Attic Access Location	Method Used To Observe The Attic	Roof Structure
2nd floor	Walked	Rafter
Attic Insulation Type	Attic Ventilation System	
None	Ridge Vents, Windows	



Section Items	IN	NP	NI	MI	MA	Comments	
5.1 Attic Access				✓		1	<a href="#">View Comments</a>
5.2 Framing					✓	1	<a href="#">View Comments</a>
5.3 Sheathing				✓	✓	2	<a href="#">View Comments</a>
5.4 Insulation						1	<a href="#">View Comments</a>
5.5 Ventilation						0	
5.6 Ducts/Fan Terms/Flues						0	
5.7 Moisture Intrusion						1	<a href="#">View Comments</a>
5.8 Floor				✓		1	<a href="#">View Comments</a>

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## COMMENTS

### 5.1.1 Guardrails



Minor/Maintenance

Guardrails were not installed at attic access. Client should consider installing guardrails to improve safety.



### 5.2.1 Twisted



Major

Rafters were twisted in attic. Recommend evaluation by a qualified contractor.



### 5.3.1 Holes/Gaps (Daylight Visible)

#### Major

Holes and/or gaps were present with daylight visible from inside attic causing concern for moisture/pest entry points. A qualified contactor is recommended for evaluation and repair.



### 5.3.2 Cracked Sheathing in Attic

#### Minor/Maintenance

Sheathing had cracking visible in the attic, this condition may not adversely affect the roof covering immediately. Recommend repair as needed or when roof is replaced.



### 5.4.1 No Insulation (common for era)

#### Information

No insulation was visible, even though insulation may have been an upgrade when built insulation is strongly recommended in modern era.



### 5.7.1 Moisture (Not Elevated)

#### Minor/Maintenance

There were indications of previous moisture entry made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



### 5.8.1 Damaged

#### Minor/Maintenance

Floor boards were damaged in attic. Recommend waking with caution/repair as needed.



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## INTERIOR IMPORTANT INFORMATION

### Interior Information and Disclaimers

Pictures are a courtesy to help document rooms and conditions at time of inspection.

The scope of this inspection was limited to reasonably accessible areas. No attempt is required to move furnishings, stored personal property, and/or vegetation. Although no problems are anticipated, removal of these items may reveal reportable items. If conditions that are conducive to the growth of microbial organisms such as fungus, mold, or mildew are present, it is recommended that a mold test be conducted.

## Pictures

### Interior Pictures



## INTERIOR MATERIAL

<b>Walls and Ceilings</b>	<b>Floor Covering Materials</b>	<b>Interior Doors</b>
Exposed Framing	Wood, Vinyl	Wood
<b>Windows</b>	<b>Smoke Detector(s)</b>	
Wood	Not Present	


## INTERIOR SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
6.1 Stairs & Railings				✓		1	<a href="#">View Comments</a>
6.2 Ceilings					✓	1	<a href="#">View Comments</a>
6.3 Walls				✓	✓	2	<a href="#">View Comments</a>
6.4 Floor					✓	2	<a href="#">View Comments</a>
6.5 Windows					✓	1	<a href="#">View Comments</a>
6.6 Doors						0	
6.7 Electrical				✓		1	<a href="#">View Comments</a>

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## 6.1.1 Handrail/Guardrail loose

 Minor/Maintenance

Handrails and/or guardrails were loose at steps.



## 6.2.1 Heavily Damaged/Heavy Termite Damage

 Major

Top plates/framing members were heavily damaged at areas throughout residence. Heavy termite damage was present at various framing members. A qualified contractor is recommended for evaluation and repair as needed.



### 6.3.1 Walls (Multiple Defects)

#### Minor/Maintenance

##### 1. MICROBIAL GROWTH

Microbial growth was visible at areas throughout residence. Mold or mildew is not part of a standard home inspection. Mold testing and/or evaluation by a mold professional should be considered.

##### 2. MOISTURE (NOT ELEVATED)

There were indications of previous moisture made evident by staining. Moisture readings were taken and were not elevated at the time of inspection. Recommend monitoring.



### 6.3.2 Not Secured

#### Major

Wood stud was not secured/attached to framing member. A qualified contractor is recommended for evaluation and repair as needed.



### 6.4.1 Large Gaps

**M** Major

Large gaps were present at areas of floor, this was creating a safety concern. A licensed electrician is recommended for evaluation and repair as needed.



### 6.4.2 Unlevel Floor

**m** Minor/Maintenance

Floor was unlevel throughout residence. This is common in older homes and no issues were present when walked at the time of inspection. Recommend consulting a qualified contractor for further evaluation if client desires.



### 6.5.1 Window fell freely/Secured Shut/Heavily Damaged

**M** Major

Window would not stay open and fell freely when tested. Multiple windows were secured shut/heavily damaged and unable to be opened. A qualified contractor is recommended for evaluation and repair.



## 6.7.1 Electrical(Multiple Defects)



Minor/Maintenance

### 1. COVERS MISSING/BROKEN

Cover plates were missing/broken at outlets or switches. Junction boxes were uncovered at areas throughout residence.

### 2. LOOSE SWITCH/OUTLET

Switch(es) or outlet(s) loose, recommend securing.



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## FIREPLACE IMPORTANT INFORMATION

### Fireplace Information and Disclaimers

The inspection is limited to the visible portions of the fireplace flue. Drop light, mirrors, and smoke testing are not a part of the inspection. If further investigation is necessary, a qualified professional chimney sweep is recommended. All fireplaces should be cleaned and inspected on a regular basis. Wood is not burned to test wood burning units.

### Pictures

#### Fireplace Pictures



## FIREPLACE MATERIAL

Fireplace type

Wood burning



Section Items	IN	NP	NI	MI	MA	Comments
7.1 Fireplace operation			✓			2 <a href="#">View Comments</a>
7.2 Firebox				✓		1 <a href="#">View Comments</a>
7.3 Hearth						0
7.4 Flue						0

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## COMMENTS

### 7.1.1 Not present

**NI** Not Inspected

Insert was not present.



### 7.1.2 Covered

**i** Information

Fireplace was covered.



## 7.2.1 Firebox (Multiple Defects)



### Minor/Maintenance

#### 1. CORROSION

Corrosion was present.

#### 2. DIRTY

The fireplace firebox and flue were dirty, recommended cleaning.

#### 3. CRACKING

Firebox surround had cracks, recommend repair



REPORT SUMMARY

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## GARAGE IMPORTANT INFORMATION

### Garage Information and Disclaimers

Attached garages should have intact fire shielding or firewall on inside surface of the adjoining wall with the home. A recommended safety feature upgrade is a fire rated self closing door for entry to home from garage. Stored goods, shelving, or personal items along the perimeter of the garage walls limit access for visual inspection. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should not be stored within closed garages. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Our review of the garage door(s) does not include resistance testing of the pressure switch and/or correct balance of the door springs.

## Pictures

### Garage Pictures



## GARAGE MATERIAL

<b>Garage/Carport Type Size</b>	<b>Door Operation</b>	<b>Ceiling type(s)</b>
Detached, Single car	Manual	Exposed framing
<b>Wall type(s)</b>	<b>Floor type(s)</b>	
Exposed Framing	Concrete, Earth	

## GARAGE SECTION REPORT



Section Items	IN	NP	NI	MI	MA	Comments	
8.1 Garage Door(s)						0	
8.2 Exterior Surface					✓	1	<a href="#">View Comments</a>
8.3 Ceiling					✓	1	<a href="#">View Comments</a>
8.3 Roof						1	<a href="#">View Comments</a>
8.4 Walls					✓	1	<a href="#">View Comments</a>
8.5 Floors						1	<a href="#">View Comments</a>
8.6 Windows					✓	1	<a href="#">View Comments</a>
8.8 Exterior Door						0	

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## 8.2.1 Heavily Damaged/Heavy Wood Rot/Missing/Gaps

**M** Major

Wood around the exterior of detached garage was heavily damaged/had heavy rot/gaps present at various areas. Fascia/drip edge was missing at sections of roof. A qualified contractor is recommended for evaluation and repair as needed.



## 8.3.1 Damaged

**M** Major

Rafters were split/damaged in garage. A qualified contractor is recommended for evaluation and repair as needed.



## 8.3.1 Roof

**m** Minor/Maintenance

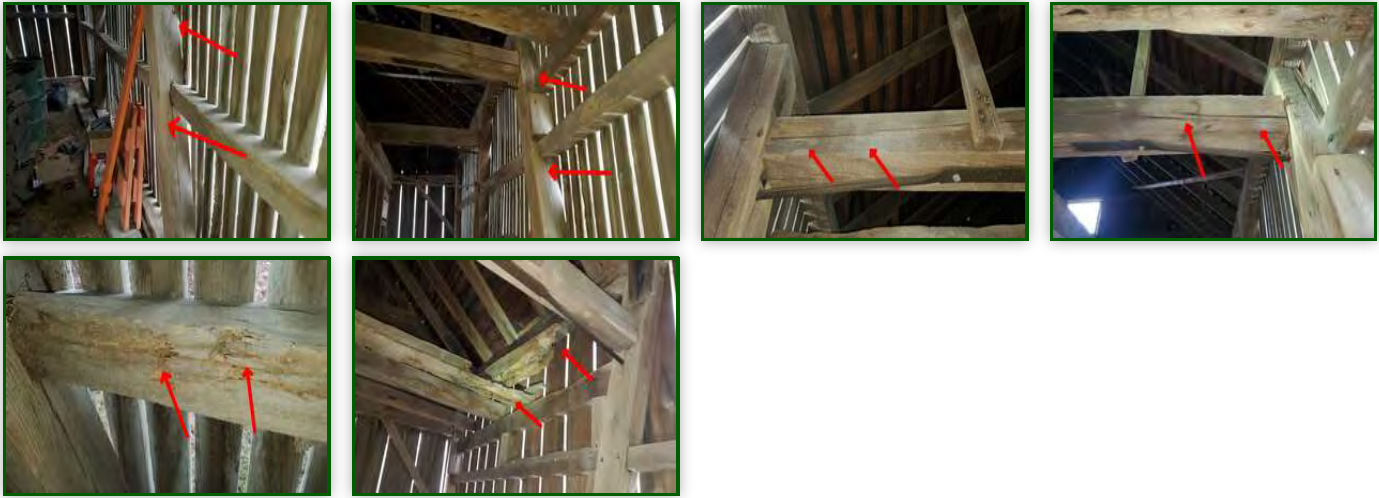
Shingles were worn. Moss growth was present. Granule loss was present.



### 8.4.1 Heavily Damaged/Bowed/Split/Termite Damage

**M** Major

Walls/framing members for detached garage were heavily damaged/bowed at areas. Termite damage was present at framing members. Joists were splits. A qualified contractor is recommended for evaluation and repair as needed.



### 8.5.1 Damaged

**M** Major

Floor was heavily damaged in attic causing concern for injury. A qualified contractor is recommended for repair.



### 8.6.1 Broken Glass

**M** Major

Window was broken. A qualified contractor is recommended for evaluation and repair.



## STRUCTURE IMPORTANT INFORMATION

### Structure Information and Disclaimers

In accordance with our standards of practice, a home inspection identifies foundation types and looks for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. Floor coverings often prevent recognition of cracks or settlement in all but the most severe cases. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Be sure to check these areas again during the final walk through.

During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. Ceiling tiles and insulation are not removed.

Slab foundations have no access beneath, therefore the only review that can be made is from visible and accessible portions at the exterior / interior. Homes built with a slab on grade construction may have heating ducts, plumbing, gas and electrical lines running beneath the slab. As it is impossible to determine the condition of these items by a visual inspection, they are specifically excluded from the scope of this inspection.

A dry basement or crawl space cannot be guaranteed because they are both a hole in the ground that is vulnerable to infiltration when exposed to prolonged rain, ground saturation, changes in hydrostatic pressure and fluctuation in the water table. All exterior grades should allow for surface and roof water to flow away from the foundation. Block, stone and brick foundations are prone to absorb ground moisture.

Mold or mildew is beyond the scope of a standard home inspection. If there are any indications or suspicions of moisture penetration present a mold test and/or evaluation from a mold professional is recommended.

### Pictures

#### Structure Pictures



## STRUCTURE MATERIAL

Foundation type	Method used to inspect structure	Joist/beams
Basement, Crawl Space	Walked	Wood, Steel
Piers/Posts	Bearing Walls	Ventilation Type
Brick, Wood	Brick, Stone	Window(s), Vent(s)



Section Items	IN	NP	NI	MI	MA	Comments	
9.1 Crawl Space Access						0	
9.2 Basement Stairs/Railings					✓	2	<a href="#">View Comments</a>
9.3 Joists/Beams				✓	✓	2	<a href="#">View Comments</a>
9.4 Piers/Posts					✓	1	<a href="#">View Comments</a>
9.5 Subfloor						0	
9.6 Differential Movement						0	
9.7 Foundation					✓	2	<a href="#">View Comments</a>
9.8 Insulation/Ventilation						0	
9.9 Moisture Barrier					✓	1	<a href="#">View Comments</a>
9.10 Moisture Penetration					✓	1	<a href="#">View Comments</a>
9.11 Door			✓			1	<a href="#">View Comments</a>

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## 9.2.1 No handrail

**M** Major

A handrail was not installed at the steps to multiple staircases. A qualified contractor is recommended for evaluation and correction.



## 9.2.2 Damaged

**M** Major

Posts were damaged underneath stairs. A qualified contractor is recommended for evaluation and repair.



### 9.3.1 Joists/Beams (Multiple Defects)

**M** Major

#### 1. HOLES/GAPS (DAYLIGHT VISIBLE)

Holes and/or gaps were present with daylight visible from inside causing concern for moisture/pest entry points. A qualified contractor is recommended for evaluation and repair.

#### 2. HEAVY DAMAGE

Heavy damage was present at framing members. A qualified contractor is recommended for further evaluation and repair as needed.



### 9.3.2 Scorching

**m** Minor/Maintenance

Scorching was present in crawlspace. Recommend consulting a qualified contractor for further evaluation if client desires.




### 9.4.1 Missing/damaged

**M** Major

Multiple bricks were missing at pier in basement. Piers were damaged. A qualified contractor is recommended for evaluation and repair as needed.



### 9.7.1 Foundation(Multiple Defects)

 Minor/Maintenance

#### 1. PARGE COAT

Parge coat was damaged at areas.

#### 2. CRACKING

Typical settlement cracking was present. Recommend monitoring.



### 9.7.2 Damage/gaps

 Major

Heavy damage/large gaps were present causing concern for moisture intrusion. A qualified contractor is recommended for repair.



### 9.9.1 No barrier

 Major

No moisture barrier was present in crawl space at time of inspection. Recommend a qualified contractor install a moisture barrier to help control humidity in the crawl space.



### 9.10.1 Moisture: Staining/High Readings

**M** Major

There were indications of moisture penetration made evident by staining and high moisture readings in basement and crawlspaces. When there is high moisture present, further evaluation by a qualified contractor is recommended.



### 9.11.1 Boarded up

**NI** Not Inspected

Door was boarded up.



## CLOSING STATEMENT

### Pre-Closing Walkthrough & Other Information

This report was written exclusively for our Client. It is not transferable to other parties. The report is only supplemental to a seller's disclosure. Thank you for taking the time to read this report and call us if you have any questions. We are always attempting to improve quality of our service and our report.

#### PRE-CLOSING WALK-THROUGH

The walk-through prior to closing is the time for the Client to inspect the property. Conditions can change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. The Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases our company of all responsibility. The Client assumes responsibility for all known defects after settlement.

The following are recommendations for the pre-closing walk-through of your new house. Consider hiring a certified home inspector to assist you.

1. Check the heating and cooling system. Turn the thermostat to heat mode and turn the temperature setting up. Confirm that the heating system is running and making heat. Turn the thermostat to off and wait 20 minutes. Turn the thermostat to cool mode and turn the temperature setting down. Confirm the condenser is spinning and the system is making cool air. The cooling system should not be checked if the temperature is below 60 degrees. You should not operate a heat pump in the heating mode when it is over 75 degrees outside.
2. Operate all appliances.
3. Run water at all fixtures and flush toilets.
4. Operate all exterior doors, windows and locks.
5. Test smoke and carbon monoxide detectors.
6. Ask for all remote controls to any garage door openers, fans, gas fireplaces , etc.
7. Inspect areas that may have been restricted at the time of the inspection.
8. Ask seller questions about anything that was not covered during the home inspection.
9. Ask seller about prior infestation treatment and warranties that may be transferable.
10. Read seller's disclosure.

SINCERELY,

PRO-SPECT INSPECTION SERVICES DE

# Wood Destroying Insect Inspection Report Notice: Please read important consumer information on page 2

<b>Section I. General Information</b> Inspection Company, Address & Phone Pro-Spect Inspection Services DE 1277 S. Governors Ave. Dover, Delaware 19904 302-381-0110	Company's Business Lic. No <b>DE#2009604266</b>	Date of Inspection <b>02/27/2023</b>
Address of Property Inspected <b>71 Nine Foot Road, Niven House                  Newark, Delaware 19711</b>		

Inspector's Name, Signature & Certification, Registration, or Lic. #  <b>Shawn Hemmert, #19-328, </b>	Structure(s) Inspected <b>Residence</b>
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**Section II. Inspection Findings** This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or defects. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

- A. No Visible** evidence of wood destroying insects was observed
- B. Visible** evidence of wood destroying insects was observed as follows:
  - 1. Live insects (description and location): \_\_\_\_\_
  - 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location): \_\_\_\_\_
  - 3. **Visible** damage from wood destroying insects was noted as follows (description and location): Heavy carpenter bee damage was present at areas of exterior fascia. Heavy termite damage was present at various framing members throughout the residence/detached garage/barn (no live insects/bees were not ed at the time of inspection).

*NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.*

**Section III. Recommendations**

No treatment recommended: (Explain if Box B in Section II is checked) \_\_\_\_\_

Recommend treatment for the control of Carpenter bees at exterior fascia and termites throughout the residence/detached garage/barn (unless documentation can be provided stating previous treatment had been applied).

<b>Section IV. Obstructions and Inaccessible Areas</b> The following areas of the structure(s) inspected were obstructed or inaccessible: <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Basement <u>7,11,13,24</u></li> <li><input checked="" type="checkbox"/> Crawlspace <u>11,13,24</u></li> <li><input checked="" type="checkbox"/> Main Level <u>6,7,11,13,24</u></li> <li><input checked="" type="checkbox"/> Attic <u>4,11,13,24</u></li> <li><input checked="" type="checkbox"/> Garage <u>4,6,7,11,13,24</u></li> <li><input checked="" type="checkbox"/> Exterior <u>11,13,17,24</u></li> <li><input checked="" type="checkbox"/> Porch <u>1,11,13,17,24</u></li> <li><input type="checkbox"/> Addition _____</li> <li><input checked="" type="checkbox"/> Other <u>4,7,11,13,21,24</u></li> </ul>	<b>The inspector may write out obstructions or use the following optional key:</b> <table style="width:100%; border: none;"> <tr> <td>1.Fixed ceiling</td> <td>15.Standing water</td> </tr> <tr> <td>2.Suspended ceiling</td> <td>16.Dense vegetation</td> </tr> <tr> <td>3.Fixed wall covering</td> <td>17.Exterior siding</td> </tr> <tr> <td>4.Floor covering</td> <td>18.Window well covers</td> </tr> <tr> <td>5.Insulation</td> <td>19.Wood pile</td> </tr> <tr> <td>6.Cabinets or shelving</td> <td>20.Snow</td> </tr> <tr> <td>7.Stored items</td> <td>21.Unsafe conditions</td> </tr> <tr> <td>8.Furnishings</td> <td>22.Rigid foam board</td> </tr> <tr> <td>9.Appliances</td> <td>23.Synthetic stucco</td> </tr> <tr> <td>10.No access or entry</td> <td>24.Duct work, plumbing, and/or wiring</td> </tr> <tr> <td>11.Limited Access</td> <td>25.Spray foam insulation</td> </tr> <tr> <td>12.No access beneath</td> <td>26.Equipment</td> </tr> <tr> <td>13.Only visual access</td> <td></td> </tr> <tr> <td>14.Cluttered condition</td> <td></td> </tr> </table>	1.Fixed ceiling	15.Standing water	2.Suspended ceiling	16.Dense vegetation	3.Fixed wall covering	17.Exterior siding	4.Floor covering	18.Window well covers	5.Insulation	19.Wood pile	6.Cabinets or shelving	20.Snow	7.Stored items	21.Unsafe conditions	8.Furnishings	22.Rigid foam board	9.Appliances	23.Synthetic stucco	10.No access or entry	24.Duct work, plumbing, and/or wiring	11.Limited Access	25.Spray foam insulation	12.No access beneath	26.Equipment	13.Only visual access		14.Cluttered condition	
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**Section V. Additional Comments and Attachments** (these are an integral part of the report) \_\_\_\_\_

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**Attachments** \_\_\_\_\_

<b>Signature of Seller(s)</b> or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.  <b>X</b>	<b>Signature of Buyer</b> The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.  <b>X</b>
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# Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. **For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.** This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection **This shall not be construed as a 90-day warranty.** There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
- Treatment Recommendation Guidelines Regarding Subterranean Termites:** Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.  
**For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.**
- Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

Photos & Attachments



Carpenter Bee Damage



Carpenter Bee Damage



Termite Damage



Termite Damage



Termite Damage



Termite Damage



Termite Damage



Termite Damage