

SMYRNA SCHOOL DISTRICT
Smyrna Elementary School Renovations and Addition
Bid Number SSD-15-001

ADDENDUM NO. 3

27 March 2015

Smyrna School District
Smyrna Elementary School
121 South School Lane
Smyrna, Delaware 19977

Fearn-Clendaniel Architects, Inc.
6 Larch Avenue Suite 398
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Phone: (302) 998-7615
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BIDS DUE:

3:00 p.m. on April 13, 2015

LOCATION:

Smyrna School District Administrative Offices
82 Monrovia Ave, Smyrna, DE 19977

ARCHITECT'S PROJECT NO: 14107a

1.0 NOTICE TO ALL BIDDERS:

- 1.1. Bidders are hereby notified that this Addendum shall be and hereby becomes part of their Contract Documents, and shall be attached to the Project Manual for this project.
- 1.2. The following items are intended to revise and clarify the Contract Documents, and shall be included by the Bidder in their proposal.
- 1.3. Bidders shall verify that their sub-bidders are in full receipt of the information contained herein.
- 1.4. **Bid Due date has been extended to Monday, April 13, 2015 at 3:00 p.m.** Bid due date will not be extended further except at Owner's direction.
- 1.5. Substitution request for "LSI" Institutional Casework from Commcab for the Casework is rejected. Insufficient product information for review.
- 1.6. The following Brick samples have been approved to match existing and is considered Basis of Design: Glen Gery: Bigler Plant – Mixed Brick using: Concord Velour, Rustic Myrr, & Spring Hue Velour. Mortar match is –AM11A. See spec revision in section 3 of this addendum. Contractors wanting to use a different brick other than the Glen Gery selections noted above must request a substitution request during the bid period.
- 1.7. There were multiple requests for an additional walkthrough with representatives from the Architectural and/or MEP firms. An additional walkthrough is available with the Smyrna School District representative as outlined Pre-Bid Meeting Minutes, Addendum 1 by contacting, Scott Holmes 302-632-4764. Any architectural or MEP questions

resulting from a site visit must be put into writing and sent to the Architect to be included in Addendum.

2.0 QUESTIONS:

2.1 **Q:** We are requesting the requirement of the Tax Payers ID/De business license number be removed from the subcontractors listing of the bid form

A: This is a State Bidding Requirement and cannot be removed.

2.2 **Q:** Could the Section 123550 AWI Quality Certification requirements be waived for this project?

A: No

2.3 **Q:** Will the pole barn (by Owner) be after the mill & overlay operation?

A: Yes

2.4 **Q:** Per detail on C-09, are any of these Bollards needed? I can't locate any on the Civil or Architectural Plans, please advise

A: Per detail, add one bollard at the corner of the new kitchen addition, closest to Col lines F and 1.2, 2'-0" off of the exterior face of wall to protect the fire department connection valve. See attached C-04 and C-04 (Alt) Drawings.

2.5 **Q:** Do the 5'-0" sidewalks get scoring and joint patterns?

A: Yes, provide 5'x5' sections. Use same 4" trowel and broom finish for each section as detailed on drawing C-09.

2.6 **Q:** What is the proposed dumpster pad location?

A: The dumpster will be located at the kitchen loading dock.

2.7 **Q:** There is conflicting information in the specification regarding the wheelchair lift. It calls for the model T2-50608, which is a 5,000 pound capacity lift. The specification then goes on to say "Rated Capacity: Lifting capacity of not less than 8000 lb (3629 kg) with 6500-lb (2948-kg) axle load at ends and 5000-lb (2268-kg) axle load at sides" Can you please find out if they do indeed want the T2-50608 or the heavier capacity model?

A: Yes, T2-50608 with 5,000 pound capacity. See spec revision in section 3 of this addendum.

2.8 **Q:** Is any floor patching required at the existing CMU wall areas that are to be demo'd?

A: Demolition Note 5 states "contractor(s) must protect remaining existing construction from harm or damage during demolition." Contractor shall be responsible for patching of disturbed or damaged flooring.

2.9 **Q:** Do all acoustical ceilings get demo'd in Buildings A, B & C, Drawing A10-01 and A10-02?

A: Ceilings in Areas A, B & C are to be demolished, unless noted otherwise, on drawings A10-01 and A10-02. Area D as stated on A10-01 requires the removal, salvaging and reinstallation of existing grid and tiles.

- 2.10 **Q:** Does the existing slab and foundation get demo'd completely in Kitchen 131, Drawing A10-01?
- A:** Demolition Note 1 verifies that existing slab and foundation at Kitchen 131 is to be demolished completely.
- 2.11 **Q:** Is there concrete under the wood flooring at Stage Area 141?
- A:** No. Existing drawings show wood floor on plywood over wood nailers on bar joists. The crawlspace below the platform has a concrete floor.
- 2.12 **Q:** Will the existing floors be required to be waxed under this contract?
- A:** Only new floor work/ patching will require wax.
- 2.13 **Q:** On Sheet A70-01, the raised platform 141 shows a GWB ceiling at 11'-3". This is not indicated as new or existing. Please clarify
- A:** Note changes to Architectural and Electrical drawings in section 4 of this Addendum.
- 2.14 **Q:** Please confirm that the entire school will receive R19 sound batt insulation above all ceiling types per note 6 on Sheet A70-01
- A:** Delete note 6 on Sheet A70-01. The batt insulation is not required.
- 2.15 **Q:** Plastic Laminate casework is specified in section 123550 and 64023, which governs?
- A:** It is the contractor's option as to which Specification Section is applied. Specification Division 06 Section "Interior Architectural Woodwork" has information regarding custom casework and countertops.
- 2.16 **Q:** Solid surface countertops are noted to match architect's sample, are there colors selected?
- A:** Solid surface and plastic laminate basis of design (mfgr. and color) will be listed in the next addendum.
- 2.17 **Q:** Please confirm the lavatory section found on A50-01 are completely plastic laminate panels and countertops. Countertops are not defined in this detail nor in 9/A60-01.
- A:** Lavatory Section on A50-01 and 9/A60-01 are to be removed. This condition does not apply to this project.
- 2.18 **Q:** Confirm all casework in elevations 3, 4, & 13/A60-01 are existing to remain.
- A:** Casework in elevations 3, 4, & 13/A60-01 are existing to remain.
- 2.19 **Q:** Resilient Tile Flooring spec page 2, item 2.1.A states "solid PVC floor tile according to the Finish Drawings and Schedule", however Finish Plans A80-01 & A80-02 do not list the product to be used. Please advise.
- A:** Existing PVC floor tile is Manufacturer: Toli ; Style Linotesta; Size 17.7", Gauge .120"; Color will be indicated in the next addenda.

- 2.20 **Q:** What is the specific product/mix level to be bid on color groups for ceramic tile? No specific colors or color groups are given in the documents
- A:** Basis of design manufacturer and color will be indicated in the next addenda.
- 2.21 **Q:** What is the specification for carpet? There is no specification?
- A:** Specification with basis of design will be included in the next addenda.
- 2.22 **Q:** Hardware schedule for Alternate #4 doors is missing. Please provide.
- A:** See Addendum 3 Section 3.1 for changes to the Project Manual.
- 2.23 **Q:** Provide door and frame types for door opening 164
- A:** Add information to Door Schedule as follows for Door 164: Door Type: D3 Door Material: WD Frame Type: F2 Frame Material: HM
- 2.24 **Q:** Detail 8/A51-02: Secondary handrail is located at existing stair in corridor 114, per Dtl 2/A51-02. Is this the only location where this secondary handrail occurs?
- A:** Yes
- 2.25 **Q:** Will "removable guardrail" @ dock lift assembly per Detail 7/A30-01 be included by the dock lift manufacturer?
- A:** Yes, the guardrail is a part of the dock lift assembly and will be a custom item required by the dock lift manufacturer.
- 2.26 **Q:** Detail 12/S31-02: Per note on plan sheets S12-01A and S12-02A – "Where sprinkler is supported in Corridors, wall mount or provide W4x13's per Dtl 12/S31-02" Can you verify if these beams are needed?
- A:** In review with engineer. Question will be answered in the next addendum.
- 2.27 **Q:** Detail 8/S31-03: What is the spacing of the existing joist @ the locations where this note is called out? Should I assume 16" oc which is noted per sheet S11-01A?
- A:** Existing bar joist spacing varies. Original drawings indicate +/- 6'-0" oc. at corridors and vary alternating approximately 4'-0" to 6'-0" in classrooms.
- 2.28 **Q:** Detail S11-01A: Will the demo contractor be responsible for the shoring and cutting back of joist at the new ramp? Please advise.
- A:** GC is responsible. This is a scoping/means and methods question.
- 2.29 **Q:** Should I include installation of these Beam lintels at interior locations? Some are under 200# and could be installed by the mason/and or demo contractor. Please advise.
- A:** GC is responsible. This is a scoping/means and methods question.
- 2.30 **Q:** Can you clarify the scope requirement for regulators note on Sheet P113? The note is confusing: "3. Contractor shall provide new pressure regulators as required to accommodate all new existing equipment."

A: We are increasing the natural gas pressure within the building. Consequently, all new and existing gas fired equipment will require installation of new regulators.

2.31 **Q:** Who is responsible to furnish and install the two evaporators and rooftop condensers located in the kitchen? It appears the kitchen vendor is supplying the equipment, but there isn't enough information.

A: GC is responsible. This is a scoping/means and methods question.

2.32 **Q:** Will the existing boiler room equipment that is scheduled to be removed fit through existing openings?

A: Equipment being removed from the mechanical room will most likely need to be removed in pieces. GC to determine means and methods to remove.

2.33 **Q:** Will the new equipment scheduled fit through existing openings?

A: The proposed equipment scheduled should be able to fit through the existing doorways.

2.34 **Q:** The relationship between existing and new boiler equipment concrete HK pads appears to leave quite a bit of unused pad if the existing ones are extended/ modified to incorporate new layout. Is that the intent?

A: Unused pads within the boiler room should be removed.

2.35 **Q:** MP-001 – Note 5 requires bidders to determine the controls parameters through examination of the BAS programming. Will that be made available to the Bidders?

A: Smyrna needs to determine if they will provide access to their control system during the bidding. We included all the control documentation that was made available to us during the design process.

2.36 **Q:** Sanitary sewer detail 4/P111 runs out into adjacent corridor (113) similar to other details, except there is no crawl space under 113. Shall we make an allowance for how far to run lines?

A: Refer to General Note number 1 on P111. There are currently plumbing fixtures within the area. Documentation of the installation of these fixtures is not available. Provide allowance to replace the lines as shown.

2.37 **Q:** FP and Civil drawings conflict on size of incoming fire water. Is it 8" or 6" ?

A: Provide new 8" DIP service to building with new 6" service tee to new hydrant and reducer as required to match 6" service inside building.

6" is required. An 8" would provide a lower pressure loss and potential mitigate the need for a fire pump. Suggest pricing for the 8" and allow the sprinkler contractor to determine to replace the lines as shown.

2.38 **Q:** What is extent of wood framing above ceilings (note on FP102)

A: Information is unavailable. Area that DEDC believes to be constructed of wood is outlined.

2.39 **Q:** How large is the "penthouse" (note on FP102)?

A: Are indicated as Mezzanine above is outlined in the dashed box.

2.40 **Q:** Will the crawl space require fire protection coverage?

A: The crawl space is constructed of concrete and should not require sprinkler protection.

2.41 **Q:** Electrical poles are noted to be relocated on per sheet E00-02. Is that correct?

A: Any utility poles that require relocation will be performed by the local utility company

2.42 **Q:** Sheet E00-02 site notes relative to existing underground utilities require inspection services before commencing work. There are no utilities shown in the path of the Fire Pump Feed (or any on the Alt Site Plan). Is this note intended to require a complete scan of the impacted site for any existing utilities? That will be costly.

A: Contractor shall perform a site utility investigation of any utilities in the path of their excavation per the sheet note. It is not intended to have the entire site identified, only the area in which they will be excavating. The owner will not be responsible to bear any costs for repair of existing utilities damaged by the contractors work.

2.43 **Q:** Electrical site plans show a new fire hydrant in both base bid and alternate plans. Civil drawings only show for Alternate Plan. Which is correct?

A: Both base bid and alternate include proposed hydrant. See revised PDF C-04 for updated drawing.

2.44 **Q:** Drawing E11-01 has a note #3 on plan near existing electrical panel K location. There is no plan note 3 to describe what the key is referring to. Is there something we need to know?

A: Revise Note 3 to Note 2.

2.45 **Q:** Kitchen equipment schedules on sheets E12-03 and FS-1.1 have electrical and plumbing remarks that state "GC to Verify". What exactly are we to verify?

A: GC to verify and coordinate between FS drawings, FS Shop drawings and Electrical Drawings. Refer to Food Service Drawings for further clarification.

2.46 **Q:** Temporary facilities article 3.2.1 – Telephone service. We (and nearly everyone) utilize mobile phones and wireless devices. We no longer run or use land lines in our temporary facilities. Can this requirement be deleted?

A: A telephone hard line will not be required for phone service, however, reliable services must be required to send/receive large data information via computer or laptop.

2.47 **Q:** Temporary facilities article 3.4.G – Temp fencing (site enclosure fence) is not defined on drawing. Are there going to be specific requirements or as deemed necessary by each bidder? Similar question for 3.4.K – Temp partitions

A: Temporary fencing or partitions for security or life safety is general contractor's responsibility. Limits and extent will be dependent on GC means and methods to perform work. Also, see summary section 1.8 regarding Owners Occupancy Requirements.

2.48 **Q:** Temporary facilities 3.4.L – Temp Fire Protection, specifically item 4 requirements for temporary standpipes. Can this item be deleted?

A: We are currently reviewing this question/request with the State Fire Marshal. A decision will be provided in the next addenda.

2.49 **Q:** It does not appear that an area has been designated for the temporary field office, laydown /staging, and construction personnel parking. Will this be provided for bidding purposes? If not, will space be allocated on site for these purposes during construction at no cost to the GC?

A: GC shall determine size and preferred location of field office and laydown/ staging area that does not interfere with Owner Occupancy Requirements identified in Summary specifications. Disturbed areas outside of scope of site improvements will need to be returned to existing conditions by the GC at GC expense.

2.50 **Q:** Lavatories come with stop valves on the cold water and hot water supplies. Do we also have to provide ball shut off valves as shown on the riser diagram? Reference DWG P303

A: Stop valves need to be installed at all fixtures. Isolation valves are required at all branch take-offs from the crawl space to fixture group. Additional valves maybe required depending upon the staging of the installation/construction.

2.51 **Q:** A question relating to project schedule time of completion has been submitted for clarification/request: Project Supplementary Instructions to Bidders indicates all toilet room renovations and related corridor work to be completed by August 14, 2015.

Can toilet room renovation work within classrooms be performed beyond the August 14, 2015 relating to remaining classroom work completion date of February 12, 2016?

A: The goal is to have all work completed over the summer session ending August 14, 2015 prior to building occupancy. The plan to have toilet rooms complete within this time frame is to minimize noise (demo of floor to run plumbing) prior to when school is in session. The February 12, 2016 extension of time for classrooms (maximum of 4 rooms use as swing space) is only available to complete unfinished classroom work that remains. We will allow toilet room work within classrooms extending to the February 12, 2016 completion date, only if construction activities that require demolition or noise producing activities deemed unacceptable to the SSD are performed after school session hours.

3.0 CHANGES TO THE PROJECT MANUAL:

3.1 Specification Section 042000 Unit Masonry: 2.3 Brick; B. Face Brick; revise 8. Color and Texture as follows:

8. Color and Texture: Match Existing Brick color and texture Basis of Design: Glen Gery: Bigler Plant – Mixed Brick using: Concord Velour, Rustic Myrr, & Spring Hue Velour. Mortar match is –AM11A.

3.2 Specification Section 111300 Loading Dock Equipment: 2.3 Dock Lifts; revise C: Rated Capacity as follows:

C. Rated Capacity: Lifting capacity of not less than 5000 lb (2268 kg) with 2500-lb (1134-kg) axle load at ends and 2500-lb (1134-kg) axle load at sides.

3.3 Specification Section 087100 Door Hardware: Revise as follows:

3.3.1 Add door 101C.ALT & 103A.ALT to Hardware Set #10

3.3.2 Add door 101D.ALT, 101E.ALT, & 101F.ALT to Hardware Set #8

3.3.3 Add door 102.ALT to Hardware Set #31

4.0 CHANGES TO THE DRAWINGS:

4.1 Arch – A51-01 and A51-02 -Dimension of bottom rail at all stairs and ramps shall be 4” typical from the center of rail to adjacent walking surface.

4.2 Arch – Remove Note 10 on Sheets A10-01 & A10-02

4.3 Arch – Drawing A70-01 - The ceiling shown at Raised Platform 141 is to be removed and replaced with Type A, Acoustical Ceiling System. New ceiling elevation to be 11'-0” AFF.

4.4 Plumbing – On Drawing P104, the return hot water line in corridor 113 shall be extended to just outside of toilet room 109.

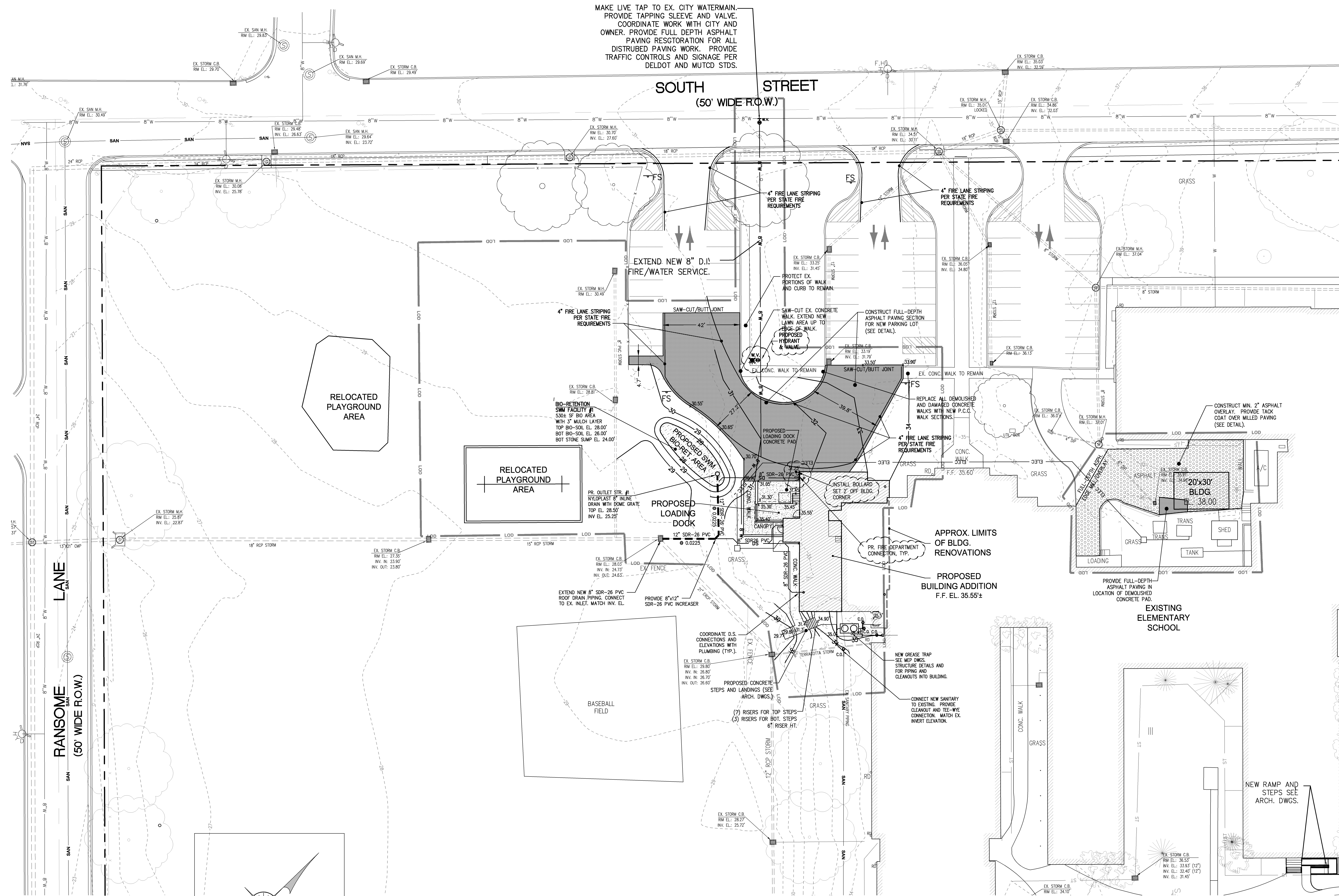
4.5 **DRAWING E11-01**

In Multipurpose Room/Stage-Room 141, there are currently, ten (10) Type D fixtures shown to be provided. This ceiling will be removed and a new 2x2 suspended ceiling will be installed. Omit the installation of the Type D fixtures and substitute with four (4) Type A and four(4) Type A1 fixtures. Provide wiring and switching as shown.

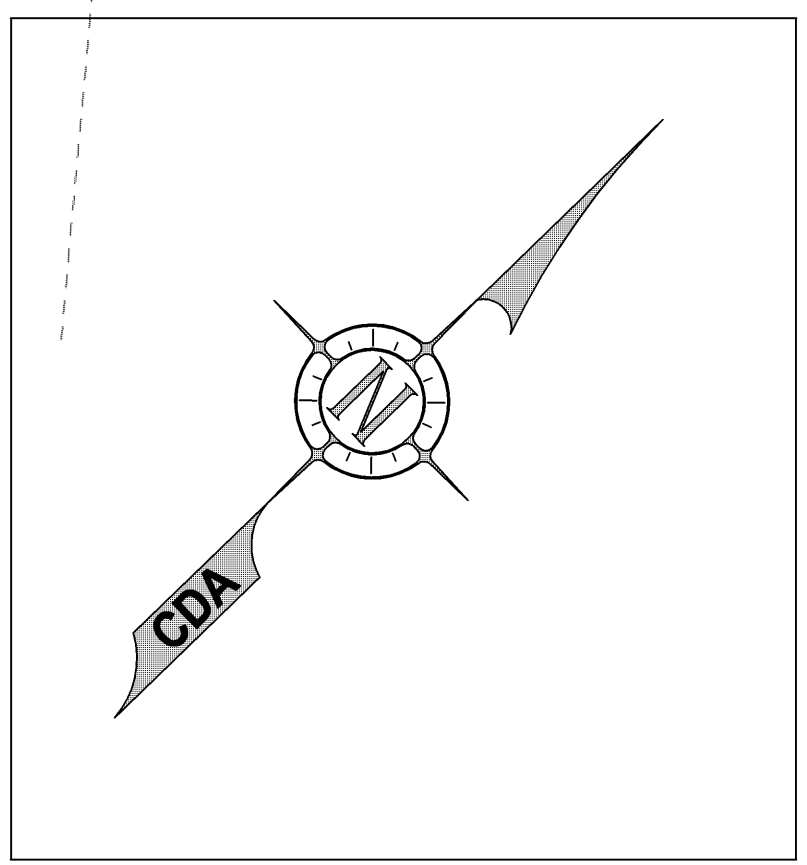
4.6 **DRAWING E12-03**

On Bid Issue drawing, Circuit KP1-11,13,15 feeds Kitchen Equipment item #51. The item # was omitted from the drawing but is on the Kitchen Equipment Schedule. This item was included with the relocation of kitchen equipment per Addendum #1.

END OF ADDENDUM NO. 3



1 PLAN: SMYRNA ELEMENTARY SCHOOL - SITE CONSTRUCTION PLAN
 C-03 SCALE: 1"=20'
 20 10 0 10 20
 1"=20'



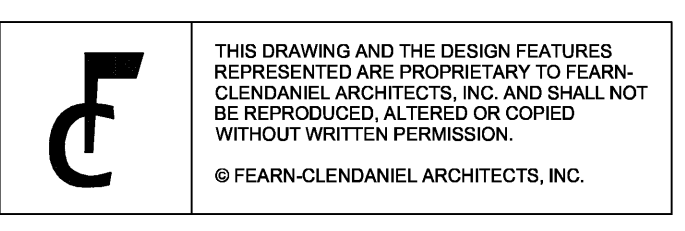
CONSULTANTS:

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 WILMINGTON, DE 19804
 P: 302-999-9202 F: 302-691-1314

STRUCTURAL ENGINEER
BAKER, INGRAM & ASSOCIATES
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MECHANICAL/PLUMBING ENGINEER
DEDC
 315 S CHAPEL STREET
 NEWARK, DE 19711
 P: 302-738-7172 F: 302-738-7175

ELECTRICAL ENGINEER
FAYDA ENGINEERING & ES, LLC
 801 W. NEWPORT PIKE
 WILMINGTON, DE 19804
 P: 302-999-1060 F: 302-999-1053



ISSUE DATES:

ISSUED FOR BID	03-11-2015
ADDENDUM 3	03-27-2015

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PROJECT

SMYRNA ELEMENTARY SCHOOL

ADDITION AND RENOVATIONS

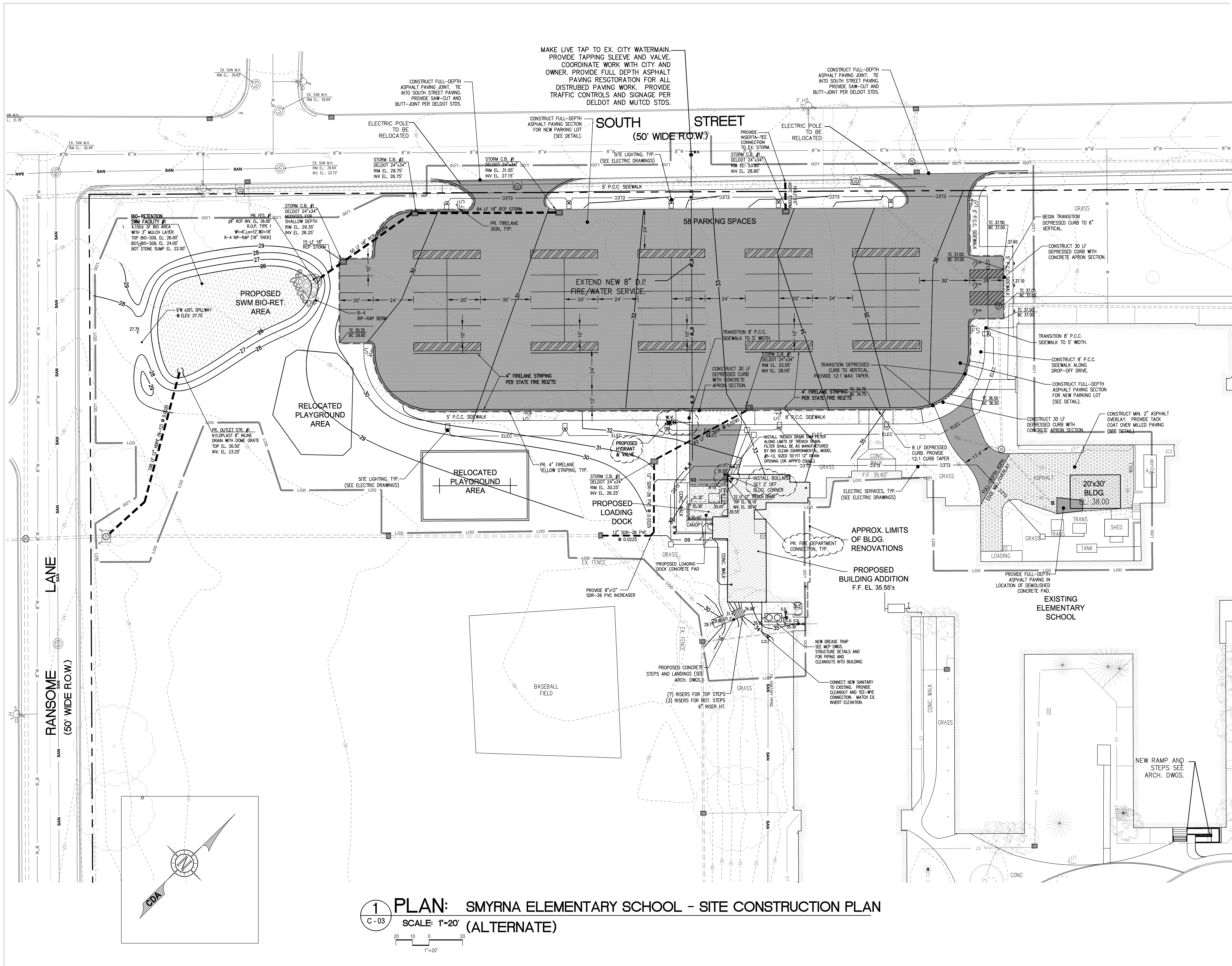
121 South School Lane
 Smyrna, DE 19977

DRAWING TITLE:
POST-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN

DWN BY: **CHK BY:** **PROJ. NUMBER:**
 EMT CD 14107A

DATE: **DRAWING NUMBER:**
 03-11-2015

SCALE: **C-04**



MAKE LIVE TAP TO EX. CITY WATERMAIN.
 PROVIDE TAPPING SLEEVE AND VALVE.
 COORDINATE WORK WITH CITY AND
 OWNER. PROVIDE FULL DEPTH ASPHALT
 PAVING RESGTORATION FOR ALL
 DISTURBED PAVING WORK. PROVIDE
 TRAFFIC CONTROLS AND SIGNAGE PER
 DELDOT AND MUTCD STDS.

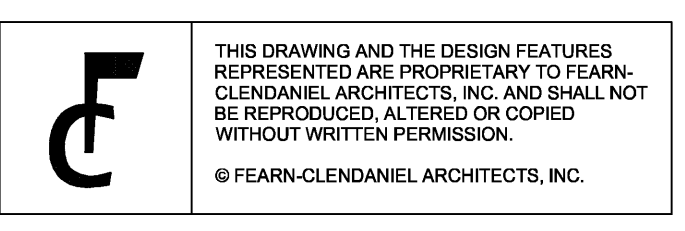
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ISSUE DATES:
 ISSUED FOR BID 03-11-2015
 ADDENDUM 3 03-27-2015

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PROJECT
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 ADDITION AND RENOVATIONS
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DRAWING TITLE: POST-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
DWN BY: CHK BY: PROJ. NUMBER:
 EMT CD 14107A
DATE: 03-11-2015 **DRAWING NUMBER:**
SCALE: C-04 (ALT)

1 PLAN: SMYRNA ELEMENTARY SCHOOL - SITE CONSTRUCTION PLAN
 C-03 SCALE: 1"=20' (ALTERNATE)