

R G Architects, LLC

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RG A No. 15047
June 13, 2016

ADDENDUM NO. 3

STATE OF DELAWARE OMB/DFM
MC3806000007

Plummer Community Correction Center
38 Todds Ln, Wilmington, DE 19802
Fence line Replacement

R G Architects
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BIDS DUE:

Thursday, June 16, 2016 at 2:00 p.m.

LOCATION:

**THOMAS COLLINS BUILDING
Division of Facilities Management Office
540 S. DuPont Highway, Suite 1 (Third Floor)
Dover, Delaware 19901**

NOTICE TO ALL BIDDERS

1.0 GENERAL NOTES:

- 1.1 Bidders are hereby notified that this Addendum shall be and hereby becomes part of their Contract Documents, and shall be attached to the Project Manual for this project.
- 1.2 The following items are intended to revise and clarify the Drawings and Project Manual, and shall be included by the Bidder in their proposal.
- 1.3 A copy of the current bid set register is available upon request indicating individuals that have purchased project documents from R G architects.
- 1.4 Project number clarification: The correct number is **MC3806000007**, as stated on dwgs and specifications.

2.0 Revisions to the SPECIFICATIONS

- 2.1 None at this time.

3.0 Revisions to the DRAWINGS

- 3.1 None at this time.

4.0 Questions

- 4.1 *Q1: Please confirm that only contractors that attended the pre-bid meeting on May 19th are approved to bid on this project?*
- 4.1.1 A1: Yes, as a prime. Other fencing companies can bid as a subcontractor as long as they bid to a GC that attended the meeting.
- 4.2 *Q2: Since we are installing new fence near or on property lines, are we required to have a survey of the property done by a professional surveyor prior to installation?*
- 4.2.1 A2: Contractors are required to install the fence in the areas shown and verify that you are within the boundaries of the State property. If you require a stake out by a professional engineer in order to perform that work you should do so.
- 4.3 *Q3: For the new fencing in front of the crest building, between the crest building and dwelling, and along 32nd street can the owner or engineer provide us with stakes at the points where the fence starts, ends, and changes direction?*
- 4.3.1 A3: No, all work required for this project will be the responsibility of the Contractor. Also, see response to question 4.2 above.
- 4.4 *Q4: Item "L" of the demolition notes states that along the north and east sides of the property where we are replacing the fence in the same location we are to remove and install only the amount of fence that can be completed in one day. This is not a possible option with this product since we need to set the new posts in concrete and let them cure over night before we can begin to assemble the fence sections in place. With this being the case I am assuming temporary fence will be needed, please specify with a detail of what will be required and where it is to be located.*
- 4.4.1 A4: See attached Sketch SKAD1 for location and detail of temporary fence during construction. Owner requires to secure critical areas between buildings; "Rhodes House", "Mandatory Workers Building", and Perimeter Fence as shown on attached sketch.
- 4.5 *Q5: Also with the Ultra Barrier that is to be installed on the Maintenance Building roof as part of the alternate, I have a concern attaching it to a new roof. A-) I do feel it is wise to ask a fence installer to penetrate the coping of a brand new roof. We can't warranty it against leaking and the roofing contractor will likely void his warranty as soon as we drill the first hole. B-) Even if we were to install it we can't just mount it to the coping, the screws could easily be ripped out of the aluminum capping. C-) If we were to go through the capping and try to reach solid structure we have no way of knowing what it would take to accomplish this or how to price it. D- This is not a rigid enough product to have at a height that someone can reach from the ground.*
- 4.5.1 A5: The new Ultra Barrier will be installed with "LOCTITE® PL PREMIUM® POLYURETHANE CONSTRUCTION ADHESIVE" to the existing coping, not a mechanical fastener thus not impacting the warranty at existing roof coping location.
- 4.6 *Q6: For the walk gates it shows us providing a lock box and Key Lock System to match the owners. Are we to provide the lock and key, most if not all correctional facilities provide their own lock and key to eliminate the possibility of an outsider ever touching a key to the facility.*

4.6.1 Yes, provide as specified.

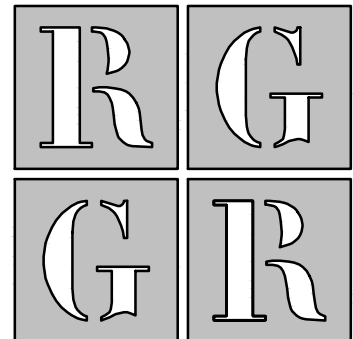
4.7 *Q7: Are we to provide the weatherproof lock for the double swing and cantilever gates?*

4.7.1 Yes, provide as specified.

5.0 ATTACHMENT LIST:

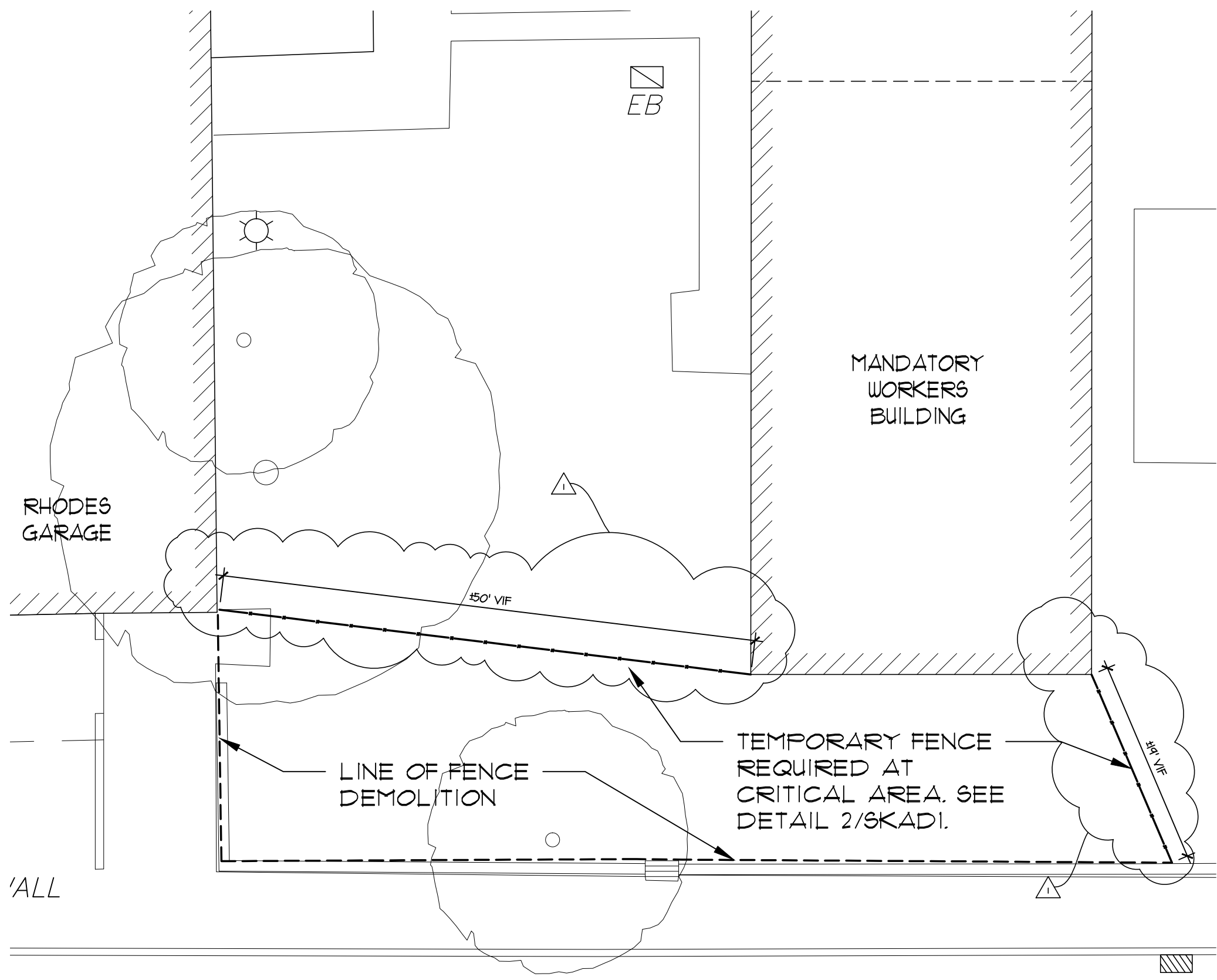
5.1 See attached Sketch SKAD1

End of Addendum No.3

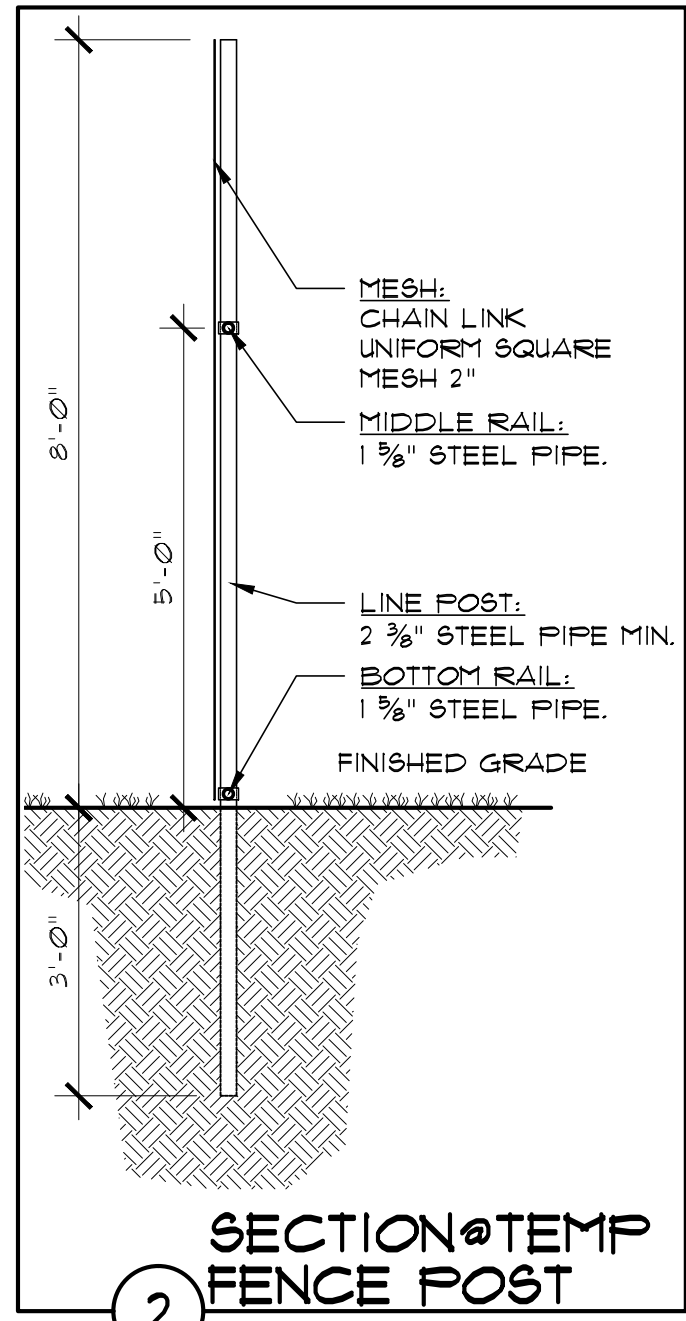


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△ ADDENDUM#3



1 TEMPORARY FENCE PLAN LOCATION
 SCALE : 3/32" = 1'-0"



2 SECTION @ TEMP FENCE POST
 SCALE : 1/2" = 1'-0"

PROJECT INFO:
 Plummer Community
 Corrections Center
 Fence Renovation

38 Todds Lane
 Wilmington, DE 19802

DRAWING INFO:
 PROJECT NO: 15047
 DRAWN BY: OAE
 SCALE: AS NOTED
 DATE: 07/13/2016

TITLE & NO.

SKAD1
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