

Gerald G. Friedel, P.E.
Michael R. Wigley, AIA, LEED®AP
Randy B. Duplechain, P.E.
Charles R. Woodward, Jr., LS
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA

**DHSS HOLLOWAY CHAPEL ADMINISTRATION BUILDING
HOUSEKEEPING RENOVATIONS
HOLLOWAY CAMPUS, NEW CASTLE, DELAWARE
DBF #586B035.J01 □ OMB/DFM# MC350100025
JULY 23, 2015**

ADDENDUM NO. 2

The following items shall become a part of the contract documents. Contractor must acknowledge receipt of this addendum on the Bid Form. Failure to do so may subject the Bidder to disqualification.

- Item No. 1 Refer to Drawing O1 on Sheet A1, FLOOR PLAN
- At the exterior window at Office 3, change window type “C” to read window type “E”.
- Item No. 2 Refer to Drawing Sheet A2, Detail H16 ROOM FINISH SCHEDULE
- Add the following Room Name and finishes to the Room Finish Schedule:
Data Closet, Floor: SV, Base: SV, Walls: PT, Clg: ACT
- Item No. 3 Refer to Drawing Sheet A4, Detail K9 WINDOW TYPES
- The attached Sketch A9.3 adds Window Type E. This window type is located at Office 3.
- Item No. 4 See attached Sketch A9.4. This sketch adds a stud and gypsum board chase at the proposed sanitary line at the First Floor.
- Item No. 5 Refer to Drawing Sheet P2
- Add the attached Sketch SKP-2. Refer to the attached Sketch SKP-2 for sanitary piping routing detail.
- Item No. 6 Refer to Drawing Sheet E3
- Add the attached Sketch SKE-1. Refer to the attached Sketch SKE-1 for location of existing bus duct plugs & approximate conduit and feeder routing to existing Panels HK1 & HK2 in the 2nd Floor Housekeeping Area.
 - Note that panels HK1 & HK2 are not fed from a panel MDP, but from a continuous bus duct that runs through the lower level of the Main Building.
- Item No. 7 Refer to Drawing Sheet E4
- At Existing Panel Schedules HK1 & HK2: Revise existing panel schedules to be single phase, 3 wire panels, not 3 phase, 4 wire panels.
 - At New Panel Schedules HK1 & HK2: These are accurately identified as 3 phase, 4 wire

panels fed from Bus Plugs #20 & #21.

- At Single Line Diagram: Delete note “(existing conduit may be reused)” flagged to new feeders to panels HK1 & HK2. All conduit shall be new.

Item No. 8 Refer to Specification Section 09 65 16 RESILIENT SHEET FLOORING, Article 2.1 VINYL SHEET FLOOR COVERING

- Add the following Paragraph:

F. Basis-of-Design Product: Armstrong World Industries, Inlaid Vinyl Sheet Flooring: Possibilities Petit Point - Painted Desert - 82.5 x 6 x 0.080

Item No. 9 Questions/Clarifications

Q1: Can you clarify if the new 4 inch sanitary is going to be above ground, or does it require burial as shown on the docs?

A1: *The sanitary piping shall be routed into the crawlspace below the first floor and below grade over to the existing sanitary line located in the Annex basement. Refer to attached sketch SKP-2 for clarification.*

Q2: Can you provide the location and distance from project to main panel board that the existing HK1 and HK2 are fed from shown on drawing E4?

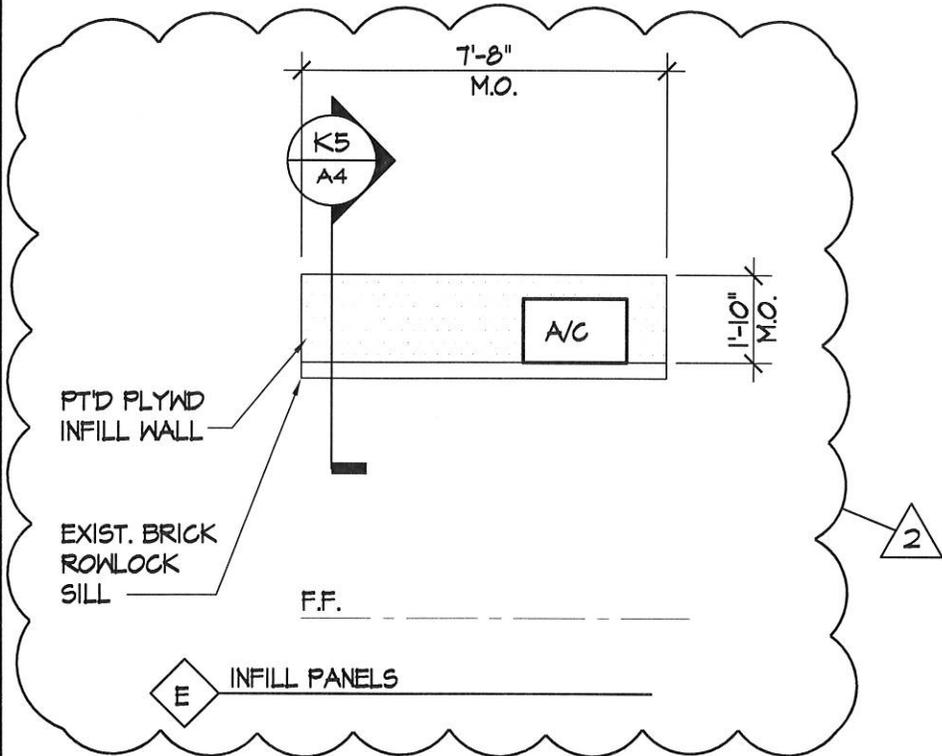
A2: *The new feeders for Panels HK1 & HK2 will be connected to the existing bus duct system, not directly to the main electrical distribution panel. Refer to attached Sketch SKE-1 for location of existing bus duct plugs. Estimated distance from bus plugs to panels are approximately 150 ft. Existing 3P-100A circuit breakers in Bus Plugs shall be reused.*

Item No. 10 Substitution Requests

- Substitution requests from Diversified Lighting and Penn Lighting were received and reviewed. Based on the wattages and lumen output of the proposed fixtures to that specified, the packages by both Diversified and Penn Lighting are NOT APPROVED. The proposed fixtures would cause the maximum power density to exceed that allowed by the ASHRAE 90.1 Energy Code.

Item No. 11 CLARIFICATION: Addendum #1 issued by Davis, Bowen & Friedel, Inc. via email on 7/20/15 is the correct Addendum #1. The correct addendum #1 is attached to this addendum for reference. Division of Facilities Management posted on their website the Pre-Bid Meeting Minutes and mistakenly named the file “Addendum 1”.

END OF ADDENDUM



NOTES:

1. THIS DRAWING REVISES WINDOW TYPES K9 ON SHEET A4 AND IS INCLUDED IN ADDENDUM #2 (7-23-15)

 INDICATES REVISION: ADD WINDOW TYPE E.

K9	WINDOW TYPES
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1/4" = 1'-0"	
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DAVIS, BOWEN & FRIEDEL, INC.
ARCHITECTS, ENGINEERS & SURVEYORS

SALISBURY, MARYLAND 410-543-9091
MILFORD, DELAWARE 302-424-1441

**DH.S.S. HOLLOWAY CAMPUS
ADMINISTRATION BUILDING
HOUSEKEEPING OFFICE
RENOVATION**
STATE CONTRACT NO: MC3501000025

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Dwg.No.:

A9.3

Date: 7-23-15	Scale: AS NOTED	Proj.No.: 586B035.J01
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4" SAN DOWN TO CRAWLSPACE. CORE DRILL AND FIRE CAULK AT FLOOR PENETRATION. PROVIDE CLEANOUT AT TOP AND BOTTOM OF DROP.

1'-8"

1'-5"

LOW PARTITIO

STUD WALL CHASE (SIM. TO PARTITION TYPE 2A) APPROX. 10'-0" HIGH WITH 12"x12" ACCESS PNL.

2

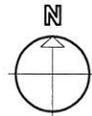
14'-10"+/-

HOUSEKEEPING BLDG.

RAMP UP

EXCAVATE & BACKFILL AS REQ'D FOR NEW SANITARY LINE (SEE PLUMBING DWGS.)

10'-9"+/-



ADMINISTRATION BLDG.

RAMP UP

NOTES:

1. THIS DRAWING ADDS A STUD AND GYPSUM BOARD CHASE AT THE PROPOSED SANITARY LINE AT THE FIRST FLOOR. ADDENDUM #2 (7-23-15)

A9.4

PARTIAL FIRST FL. PLAN

2 INDICATES REVISION: ADD CHASE AT PROPOSED SANITARY LINE

1/4" = 1'-0"



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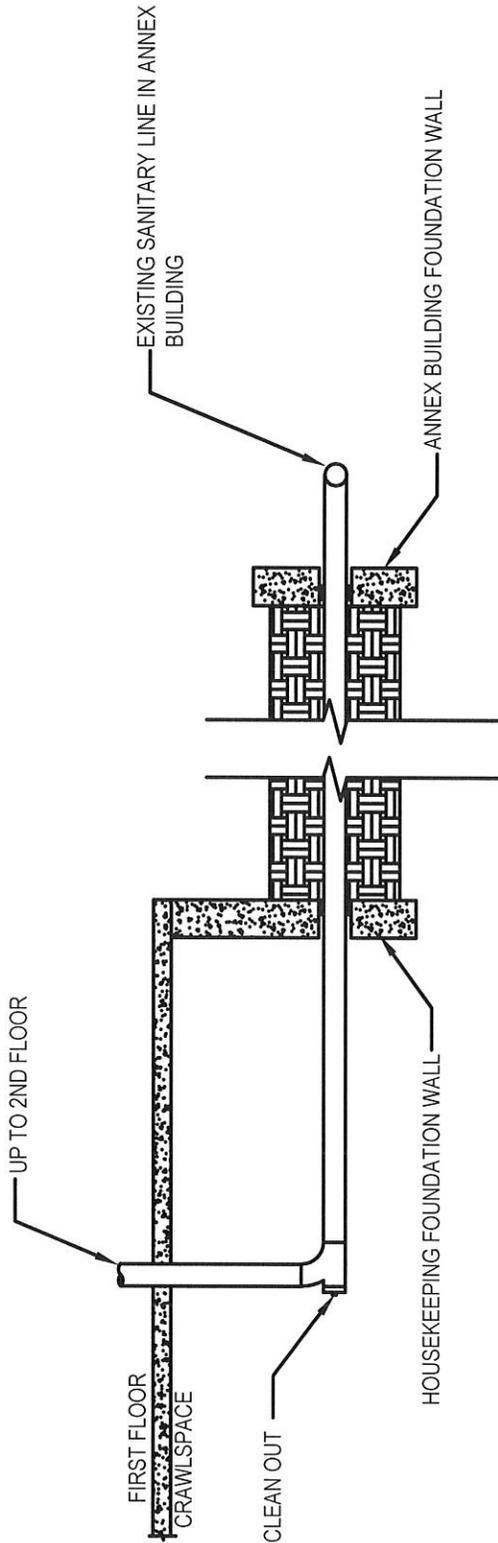
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Date: 7-23-15

Scale: AS NOTED

Proj.No.: 586B035.J01



SANITARY ROUTING DETAIL

SCALE: NONE



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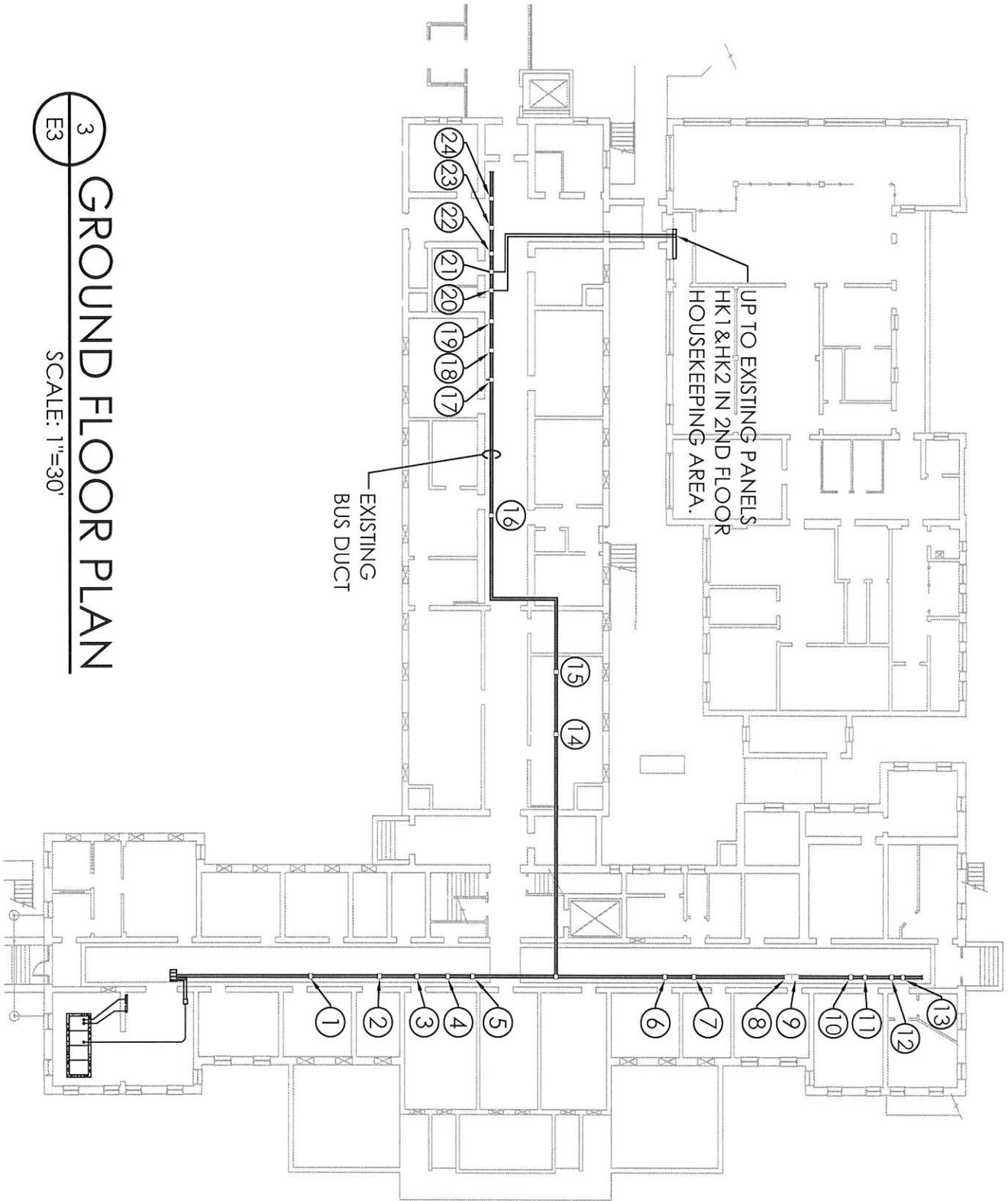
Dwg.No.:
SKP-2

ADDENDUM #2

3
E3

GROUND FLOOR PLAN

SCALE: 1"=30'



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ARCHITECTS, ENGINEERS & SURVEYORS

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RENOVATION**
STATE CONTRACT NO: MC3501000025

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Dwg.No.:
SKE-1
ADDENDUM 2

Date: 7/23/15 Scale: AS NOTED Proj.No.: 586B035.J01

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**DHSS HOLLOWAY CHAPEL ADMINISTRATION BUILDING
HOUSEKEEPING RENOVATIONS
HOLLOWAY CAMPUS, NEW CASTLE, DELAWARE
DBF #586B035.J01 □ OMB/DFM# MC3501000025
JULY 20, 2015**

ADDENDUM NO. 1

The following items shall become a part of the contract documents. Contractor must acknowledge receipt of this addendum on the Bid Form. Failure to do so may subject the Bidder to disqualification.

Item No. 1 See attached Pre-Bid Meeting Minutes dated July 13, 2015

Item No. 2 Refer to Drawing Sheet D1 DEMOLITION PLAN

- On Keynote #11, replace the phrase “3” HIGH RAISED CONCRETE FLOOR” with the phrase “6” HIGH RAISED CONCRETE FLOOR”.
- CLARIFICATION: Keynote #18 is shown near (6) existing windows and (1) exterior door on the North exterior wall, and (1) exterior door on the East exterior wall. An arrow is not shown. The keynote is referring to the adjacent window or door.
- All exterior windows scheduled to be removed shall be removed by owner’s vendor. The existing exterior windows contain asbestos. The owner’s abatement contractor will remove the windows and install plywood. On Keynote #1, add the following sentences:

FOR EXTERIOR WINDOWS ONLY: WINDOW AND CAULKING SHALL BE REMOVED BY OWNER’S VENDOR (N.I.C.) CONTRACTOR TO REMOVE PLYWOOD PANEL PRIOR TO NEW CONSTRUCTION PER SHEET A1.

Item No. 3 Refer to Drawing Sheet A1

- CLARIFICATION: Keynote #1 is not used. Delete text in its entirety.
- On Keynote #10, add the following sentence:
SEE GENERAL NOTES FOR ESTIMATED TOTAL AREA OF PLASTER REPAIR.
- In General Notes, add the following:
6. ESTIMATED TOTAL AREA OF PLASTER REPAIR IS 800 SQUARE FEET.
THIS DOES NOT INCLUDE SKIM COATING.
- At the East wall of Office #11, delete the reference to Keynote #4. CLARIFICATION: This is a brick veneer and stud wall infill of an existing opening. Refer to Detail O1/A4.
- See attached sketch A9.1. Additional Gypsum Board to be added at existing stud walls. Existing drywall at these walls will be removed by owner’s vendor.

- See attached sketch A9.2. Additional Gypsum Board to be laminated to existing walls in Toilet Rooms and adjacent Corridor.
- Item No. 4 Refer to Drawing Sheet A2
- On Drawing O1 PARTIAL FIRST FLOOR DEMOLITION PLAN (ALTERNATE #1), add the following note:
NOTE: WINDOWS AND CAULK SHALL BE REMOVED BY OWNER'S VENDOR (N.I.C.).
 - On Drawing H1 REFLECTED CEILING PLAN, add the following note:
NOTE: PROVIDE (8) 24"x24" 1-HOUR RATED ACCESS PANELS TO BE FIELD LOCATED. SEE SPECIFICATIONS.
 - On Drawing O7 PARTIAL FIRST FLOOR PLAN (ALTERNATE #1), delete (2) Elevation Marks referencing O10/A3.
- Item No. 5 Refer to Drawing Sheet M3
- ADD Sketch SKM-1. Refer to the attached Sketch SKM-1 for installation of the new equipment support rails for HP-1 & HP-2 on the existing flat roof.
- Item No. 6 Refer to Drawing Sheet P2
- ADD Sketch SKP-1. Refer to the attached Sketch SKP-1 for installation of the new vent piping penetration through the existing shingle roof.
- Item No. 7 Clarifications regarding Electrical scope of work
- Question: Can you please identify what panel feeds the two new housekeeping panels?
Response: New branch circuit panels HK1 & HK2 shall be connected to the existing bus duct system located in the Main Building Lower Level as shown on the Single Line Diagram on Drawing E4.
 - Question: Can you please confirm that none of the existing circuits from HK1 and HK2 are being reused?
Response: Existing circuits shall not be reused under the New Work plans. Refer to General Notes on Drawing E1 for additional information regarding removal of existing electrical equipment.
- Item No. 8 See Specification Section 08 31 13 ACCESS DOORS AND FRAMES, Article 2.2:
- In Paragraph B, delete the following phrase: (STORAGE 105 & KITCHENETTE 109)
 - In Paragraph C, delete the following phrase: (MECHANICAL ROOM 101)
- Item No. 9 Attached is a plan identifying asbestos containing materials from Harvard Environmental, Inc. pertaining to this project. Asbestos containing materials shall be removed by owner's vendor.

END OF ADDENDUM

Gerald G. Friedel, P.E.
Michael R. Wigley, AIA, LEED®AP
Randy B. Duplechain, P.E.
Charles R. Woodward, Jr., LS
W. Zachary Crouch, P.E.
Michael E. Wheedleton, AIA

**PRE-BID MEETING MINUTES
HOLLOWAY CAMPUS – ADMINISTRATION BUILDING
HOUSEKEEPING RENOVATIONS
1901 N. duPONT HIGHWAY, NEW CASTLE, DELAWARE 19720
DBF #586B035.J01 □ OMB/DFM# MC3501000025
JULY 13, 2015**

In Attendance

OMB/DFM:	Dean Seely Alisha McCullough	
DMS/ FAC OPS:	Danny Episcopo Elliott Tatum Tim Read	
Davis, Bowen & Friedel, Inc.:	Dan Ridgely	Phone: 302-424-1441 Fax: 302-424-0430 Email: dsr@dbfinc.com
Fayda Engineering, Inc.:	Matt Galinskie Korey Deshong	
Contractor attendees:	<i>See attached sign-in sheets</i>	

Items Discussed

1. Project was advertised starting July 6, 2015 on the State of Delaware website.
2. The sign-in sheet was distributed. Attendance at this pre-bid meeting is mandatory for general contractors to submit a bid.
3. All questions during the bidding shall be submitted in writing to Davis, Bowen & Friedel, Inc., attention: Dan Ridgely, fax 302-424-0430, or email dsr@dbfinc.com. Please have requests for information or substitution to Dan by the end of business on Wednesday, July 22, 2015. No addenda will be issued 4 days prior to the date for receipt of bids except an addendum withdrawing the request for bids or one which extends the time or changes the location for the opening of bids.

4. **Bids will be due Tuesday July 28, 2015 at 2:00 p.m.**, in the reception area of the Facilities Management Office in the Thomas Collins Building, 540 S. DuPont Highway, Suite 1 (Third Floor), Dover, Delaware 19901. Please allow extra time when submitting bids to account for possible delays. No late bids will be considered.
5. One (1) original and two (2) copies of the bid forms must be submitted along with one (1) original and two (2) copies of a Bid Bond equal to ten percent of the bid price including any alternates. All bid submission documents, including the bid bond, must be completed on the forms provided in the specifications. A Performance Bond equal to 100 percent of the contract amount must also be posted upon execution of the contract. No construction schedules are required with the bid.
6. The subcontractor list must accompany the Bid Forms and be fully completed in order to submit a qualifying bid. All subcontractors must be licensed to practice their trade in the State of Delaware prior to execution of the contract. The prime general contractor must also be licensed in the State of Delaware prior to execution of the contract.
7. General Contractors who wish to receive addenda directly and be on the approved bidders list must purchase a minimum of one (1) set of bid documents from Davis, Bowen & Friedel, Inc. for \$100.00.
8. A walkthrough of the areas of work took place directly after this prebid meeting. An optional **second walk through will take place on Thursday July 16, 2015 at 8:30am**. Contractors to meet Elliott Tatum at the Main Building Annex Conference Room at this time.
9. The area of work will not be occupied during construction. Normal work hours are 7:00 a.m. to 4:00 p.m. The contractor will be allowed to work during normal business hours.
10. Funding: The project is state funded. Prevailing Wage Rates will be required. For bidding purposes, contractors should refer to the rates and benefits for Building Construction effective March 15, 2015. A certified copy of the prevailing wage rates is included in the specification. The contractor will be responsible to send wage reports to the Department of Labor.
11. Submissions: The contractor will be responsible for building permit submission and fees to New Castle County. The Fire Marshal's Office has approved the drawings.
12. Scope: Work to be accomplished in accord with this contract includes the renovation of an approximately 4200 square foot second floor interior area into offices including two new ADA compliant rest rooms, a chair lift, and refinished interior in its entirety. Exterior work includes window replacement, concrete, brick masonry installation, and modifications to the exterior steel guardrail and fire escape. Work to the first floor utility room will be included

in Alternate #1.

13. The contractor will be responsible for having a supervisor on site at all times during work of any subcontractors or their own forces, including punch-list work.
14. The Owner will provide water and electrical service. The contractor shall provide their own toilet facility.
15. A sufficient area for work and staging will be provided for the contractor.
16. Materials will need to be on site prior to request for payment for those materials by the contractor.
17. All abatement of asbestos containing materials will not be in the contractor's scope of work. There will be construction coordination required between the general contractor and the State's vendor, Harvard Environmental.

Any changes, additions or deletions to these minutes should be submitted in writing to Davis, Bowen & Friedel, Inc., within ten (10) days.

Respectfully Submitted,
DAVIS, BOWEN & FRIEDEL, INC.



Daniel S. Ridgely, AIA
Architect - Project Manager

\\Arch Files\State of DE 586\B031M\586B035.J01 Prebid Minutes.doc

Enc.: Pre-bid sign-in sheets

Cc: All attendees

PREBID MEETING SIGN-IN SHEET
 DEPARTMENT OF HEALTH & SOCIAL SERVICES
 HOLLOWAY CAMPUS
 ADMINISTRATION BUILDING
 HOUSEKEEPING RENOVATIONS
 1901 N. duPONT HIGHWAY, NEW CASTLE, DELAWARE 19720
 DBF #586B035.J01 OMB/DFM CONTRACT# MC3501000025
 JULY 13, 2015

Name (Please Print)	Co. / Dept. Name	Email & Phone (Please Print)
C.C. WARR	Kent Construction Co.	estimator 2 @ kentconstructionco.com 302 (653) 6469
Bulkeley	J. Vinny Serrano	Bherold @ JKSCHAFER .com 410-335-3000
Bill Booth	COMMONWEALTH CONST. Co.	bbooth @ ITS COMMONWEALTH.COM
Rob Rettig	MERIT MECH	TRettig @ MERITMECH.COM @
Steve DERRICKSON	NASON Construction	SDERRICKSON@NASONConstruction.com @
SCOTT CAPALDI	CRITICAL DESIGN AND CONSTRUCTION CORP	SACAPALDI@CDACORP.NET 302.588-4406 @
JOHN RZICH	HARBOR STONE CONSTRUCTION	610 467 0872 jrzech @ harborstonece.com

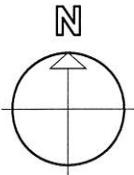
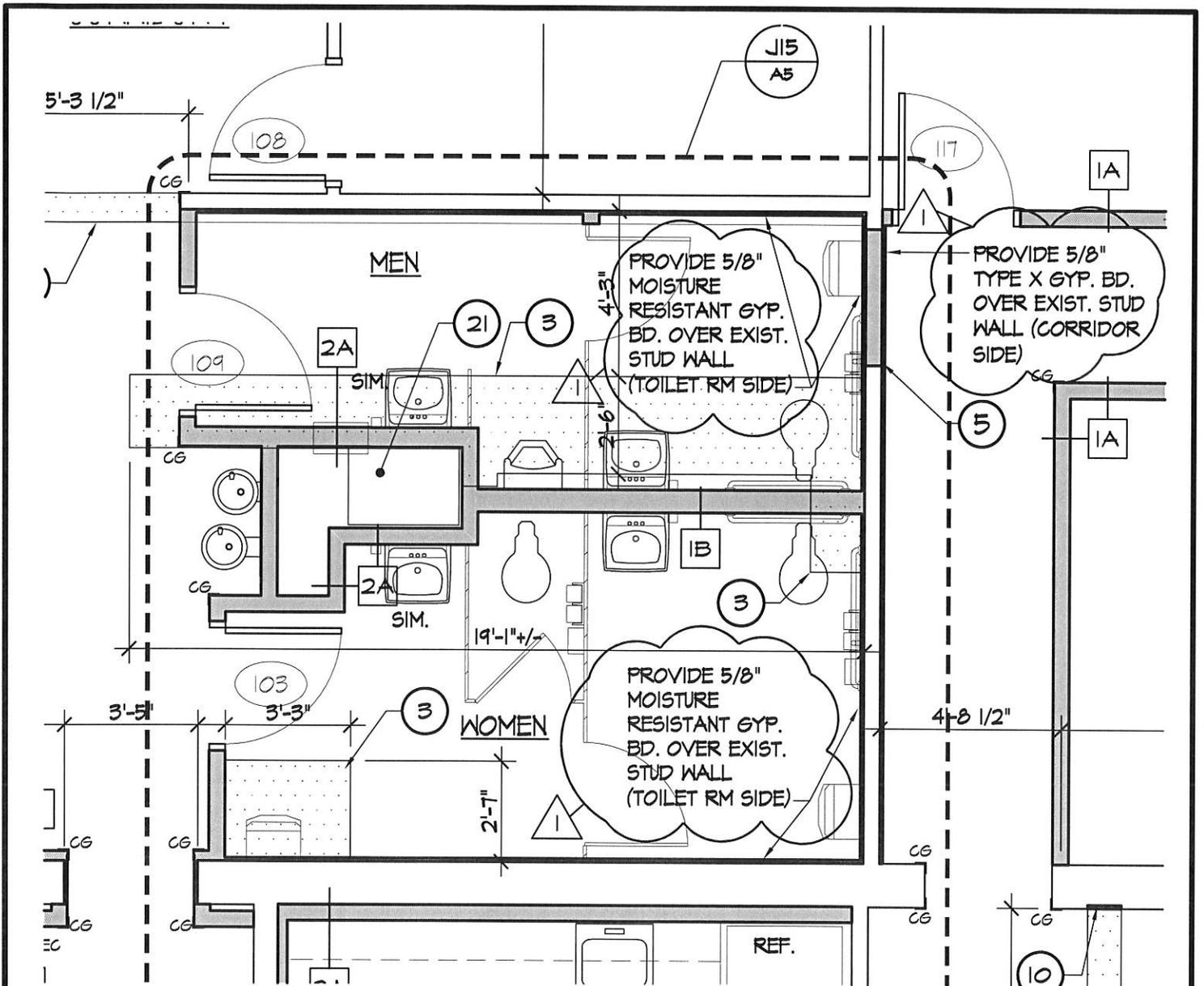
PREBID MEETING SIGN-IN SHEET
 DEPARTMENT OF HEALTH & SOCIAL SERVICES
 HOLLOWAY CAMPUS
 ADMINISTRATION BUILDING
 HOUSEKEEPING RENOVATIONS
 1901 N. duPONT HIGHWAY, NEW CASTLE, DELAWARE 19720
 DBF #586B035.J01 OMB/DFM CONTRACT# MC3501000025
 JULY 13, 2015

Name (Please Print)	Co. / Dept. Name	Email & Phone (Please Print)
VICTOR VENTRESCA	VENTRESCA BROS INC	TONY@VENTRESCABROS.COM 302-658-6436
Chase Lockard	Modern Controls	clark@moderncontrols.com 302 723 5826
ANDY BAKER	SCHLOSSER + ASSOCIATES	ABAKENSA@HOTMAIL.COM 302 437-5347
Ken Woods	Sheet Metal Workers Local 19 - I.D. Griffin	KWOODS@LU19.COM 302-463-7455 302-463-7454
Jim Viscount	Carp LU 626	JViscount@Carpenters4.org @
DOMINICK SCHIAVONI	I3A/EHI	ED@I3aLLC.COM
Stacy Bush	Amakor, Inc	Amakor@aol.com

PREBID MEETING SIGN-IN SHEET
 DEPARTMENT OF HEALTH & SOCIAL SERVICES
 HOLLOWAY CAMPUS
 ADMINISTRATION BUILDING
 HOUSEKEEPING RENOVATIONS
 1901 N. duPONT HIGHWAY, NEW CASTLE, DELAWARE 19720
 DBF #586B035.J01 OMB/DFM CONTRACT# MC3501000025
 JULY 13, 2015

Name (Please Print)	Co. / Dept. Name	Email & Phone (Please Print)
Louis DeIedo	DELDEO BLDG INC 160 N HAM AVE RD CLAYMONT DE 19703	loudeIedo @Comcast.NET FAX 302-291-0245
Brian Thompson	Conventional Builders INC	Conventional Builders @ Comcast.NET FAX 302 422 2135 Phone 302-422-2429
GREG Thompson	Conventional Builders	Conventional Builders @ Comcast.NET FAX 302-422-2135 Phone 302 422-2429
Robin Schurman	BRS Consulting Inc	robin@brsconinc.com 302-786-2326
Brian Smith	BSS CONTRACTORS	bsmith@bsscontractors.com 610-345-1316 - Phone 610-345-1318 - FAX
Alisha McCullough	DFM/OMB	AlishaMcCullough@state.de.us
Danny Episcopo	DHSS FAC OPTS	daniel.episcopo@STATE.DE.US

Deon Seely	OMD/DFM	joseph.seely@state.de.us
Tim Read	DMS/FAC-OPS	timothy.read@state.de.us
MATT GALINSKIE	FAYDA ENGINEERING	M.GALINSKIE@FAYDAEES.COM
KOREY DIGHONG	FAYDA ENGINEERING	K.DIGHONG@FAYDAEES.COM



NOTES:

1. THIS DRAWING REVISES FLOOR PLAN 01 ON SHEET A1 AND IS INCLUDED IN ADDENDUM #1 (7-20-15)

 INDICATES REVISION: ADD GYP. BOARD AT EXISTING WALLS

01	FLOOR PLAN
1/4" = 1'-0"	



DAVIS, BOWEN & FRIEDEL, INC.
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STATE CONTRACT NO: MC3501000025

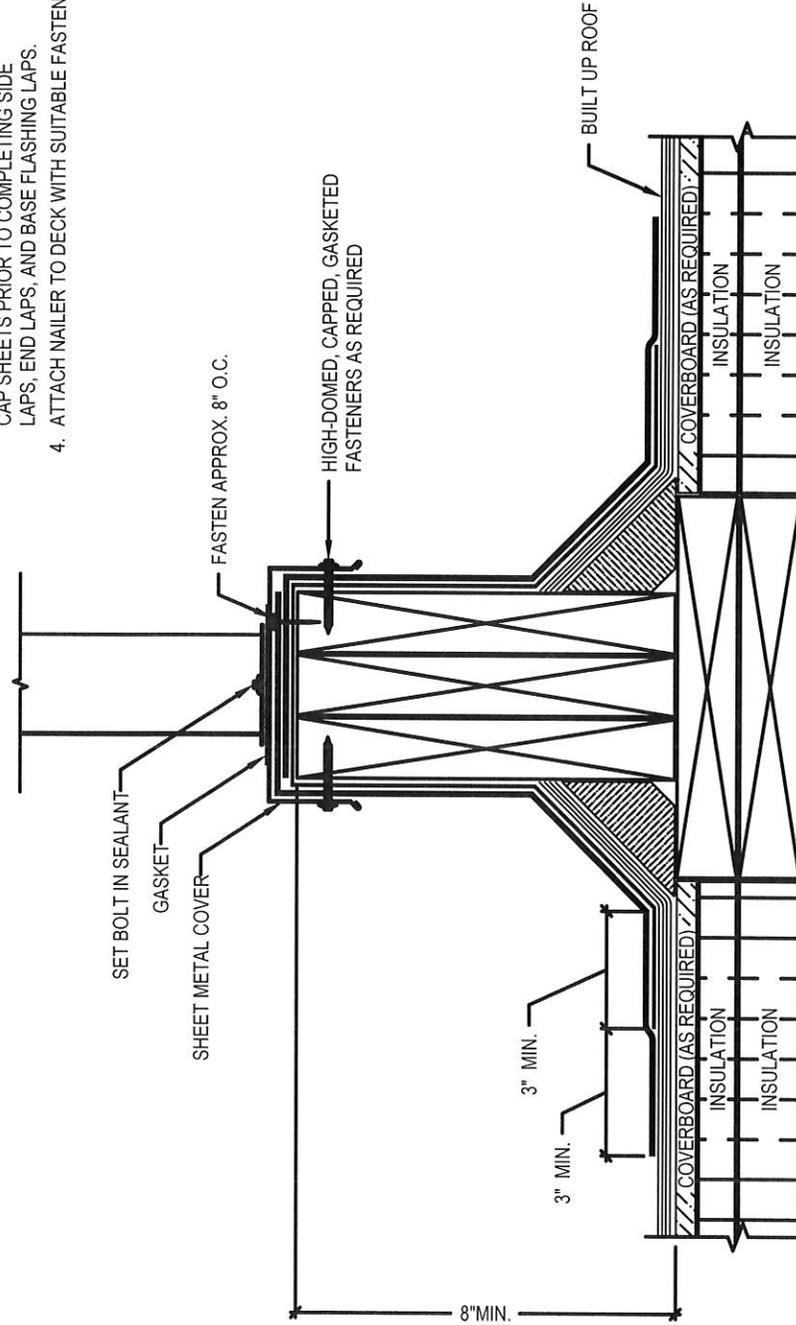
Date: 7-20-15 Scale: AS NOTED Proj.No.: 586B035.J01

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Dwg.No.: **A9.2**

NOTES:

1. REFER TO MANUFACTURER'S DATA FOR MOST CURRENT INFORMATION.
2. ALL SHEET METAL TO BE INSTALLED PER SMACNA GUIDELINES.
3. GRANULES MUST BE EMBEDDED WHEN USING TORCH APPLIED GRANULE SURFACED CAP SHEETS PRIOR TO COMPLETING SIDE LAPS, END LAPS, AND BASE FLASHING LAPS.
4. ATTACH NAILER TO DECK WITH SUITABLE FASTENER.



SUBSTRATE

EQUIPMENT SUPPORT DETAIL

SCALE: NONE



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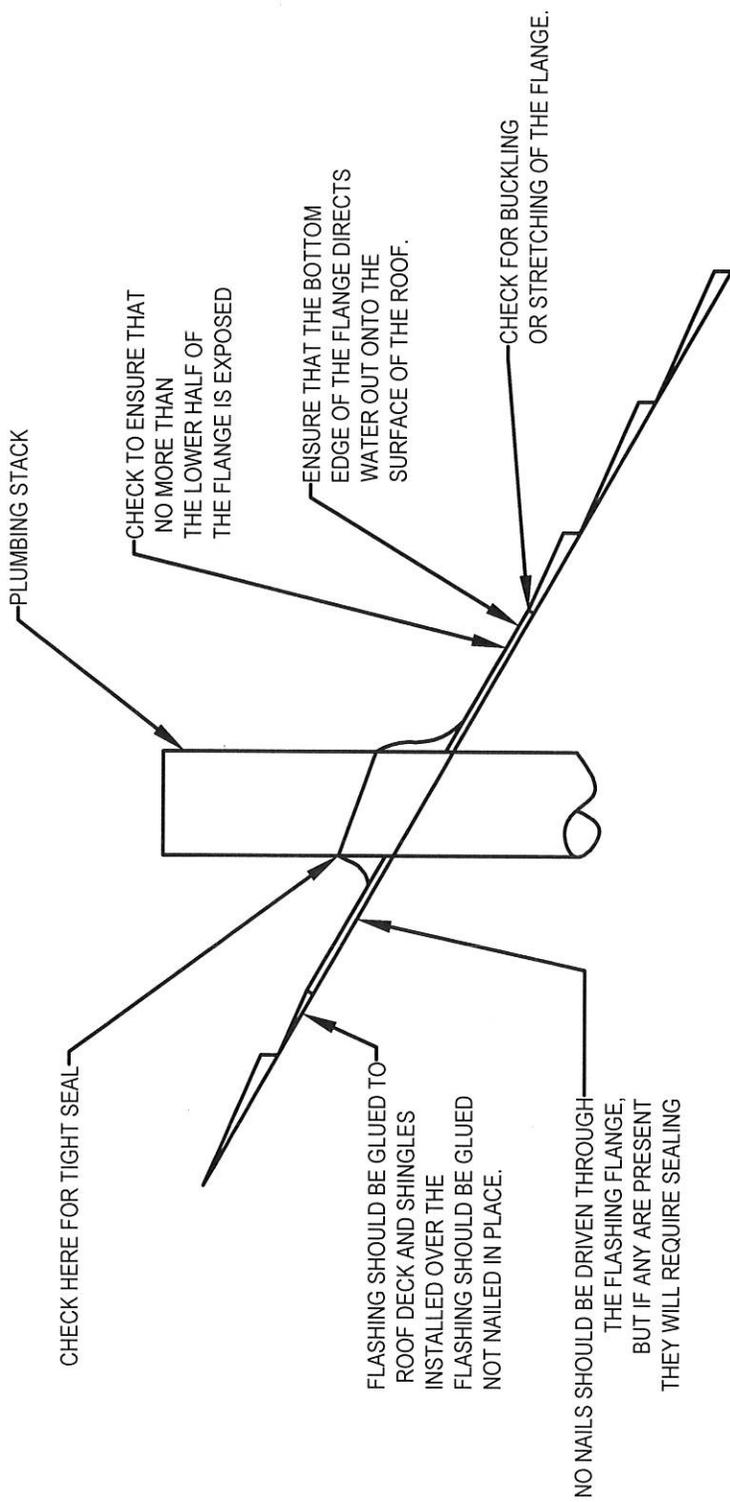
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SKM-1

ADDENDUM #1



VENT LINE ROOF PENETRATION DETAIL

SCALE: NONE



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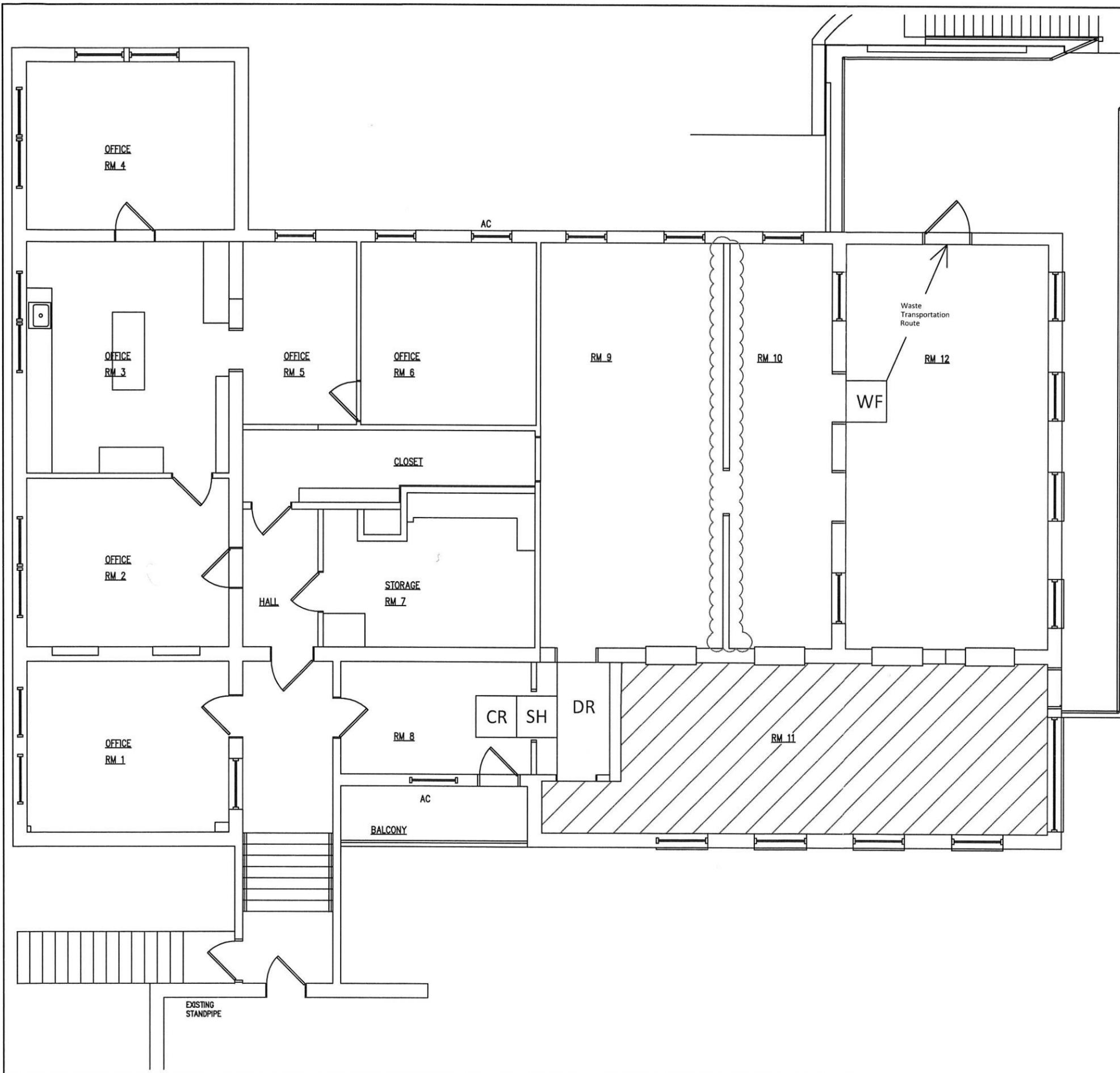
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SKP-1

ADDENDUM #1



General Notes:

1. Presentation of information is based on best available information. Drawing schematics were provided to Harvard Environmental by The Architect/ Consultant contracted by The State of Delaware Health & Social Services.
2. Project #14367 (State Project # MC3514000025) involved asbestos specifications for purposes of summarizing an asbestos abatement scope of work in conjunction with renovations to the 2nd floor. This Drawing is not to be considered to scale and is intended to be used for orientation purposes only and identifying the location of the work.
3. If over the course of the project, additional materials in excess of 10% in quantity are discovered that may require additional abatement, contact Harvard Environmental, Inc's representative to allow for a joint assessment.

 Asbestos Floor Tile and Mastic - Est. 466 Sq. Ft.

 Asbestos Joint Compound Associated with Drywall - Est. 496 Sq. Ft. (248 Sq. Ft. on Each Side)

 Clean Room, Shower, Dirty Room, Waste Facility

Scope Specific Notes:

1. Gross removal of friable asbestos joint compound associated with drywall using industry standard hand tool removal methods.
2. Personnel to utilize PAPR respiratory protection for all phases of the work.
3. Gross removal of non-friable asbestos floor tile and mastic over concrete using industry standard hand tool and adhesive solvent removal methods. **Note: any penetrations into the first floor must be sealed to prevent solvent seepage.*
4. Utilize existing electrical provided by the owner.
5. Water Sources for work areas are available in the building.
6. Exhaust to the exterior through operable windows within the building.

