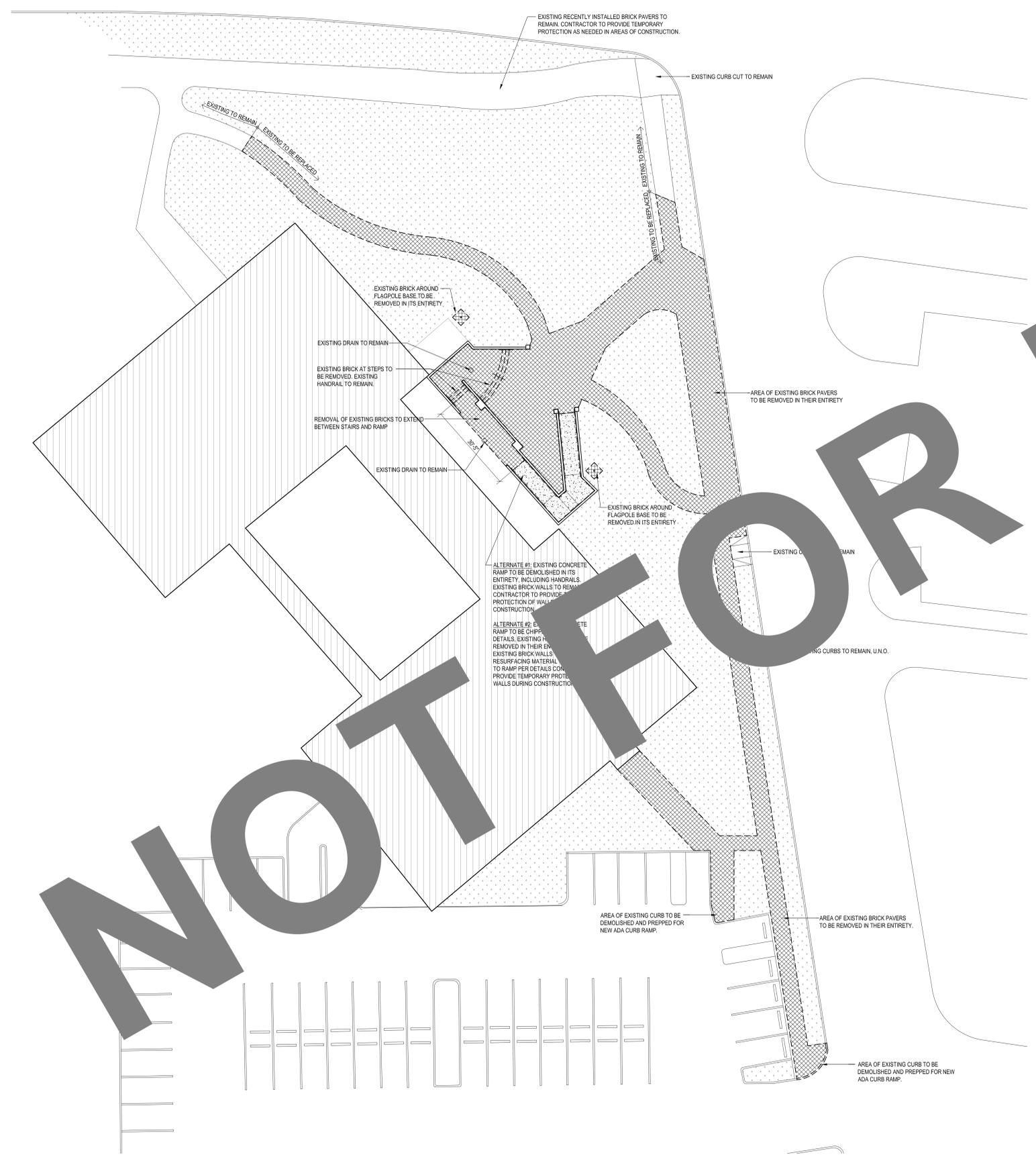


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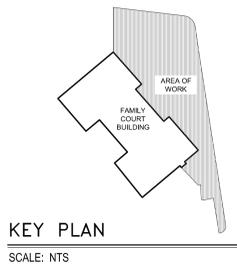
GENERAL DEMOLITION NOTES

- CONTRACTOR IS TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING SURROUNDING AND ADJACENT BRICK WALLS THAT ARE TO REMAIN.
- CONTRACTOR IS TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING LANDSCAPE AND VEGETATION, INCLUDING BUT NOT LIMITED TO, GRASS, PLANTINGS, FLOWERS, TREES, AND TREE ROOTS.
- CONTRACTOR IS TO FIELD VERIFY ALL LAYOUTS AND DIMENSIONS PRIOR TO START OF DEMOLITION. NEW BRICK LAYOUT AND PATTERN IS TO MATCH EXISTING. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING PATTERNS PRIOR TO DEMOLITION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING SUBSTRATE MATERIAL TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL DISPOSABLE MATERIAL EACH NIGHT DURING CONSTRUCTION.

HATCH LEGEND

- HATCH #1: EXISTING BRICK PAVERS AND HANDRAILS TO BE REMOVED IN THEIR ENTIRETY.
- HATCH #2: EXISTING CONCRETE RAMP TO BE DEMOLISHED IN ITS ENTIRETY. HANDRAILS TO BE DEMOLISHED, BRICK WALLS TO REMAIN.
- HATCH #3: EXISTING RAMP TO REMAIN AND RECEIVE NEW RESURFACING. HANDRAILS TO BE DEMOLISHED, BRICK WALLS TO REMAIN.
- EXISTING VEGETATION AND LANDSCAPE TO REMAIN. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION DURING CONSTRUCTION.

1 SITE DEMOLITION PLAN
A2.1 SCALE: 1/16" = 1'-0"



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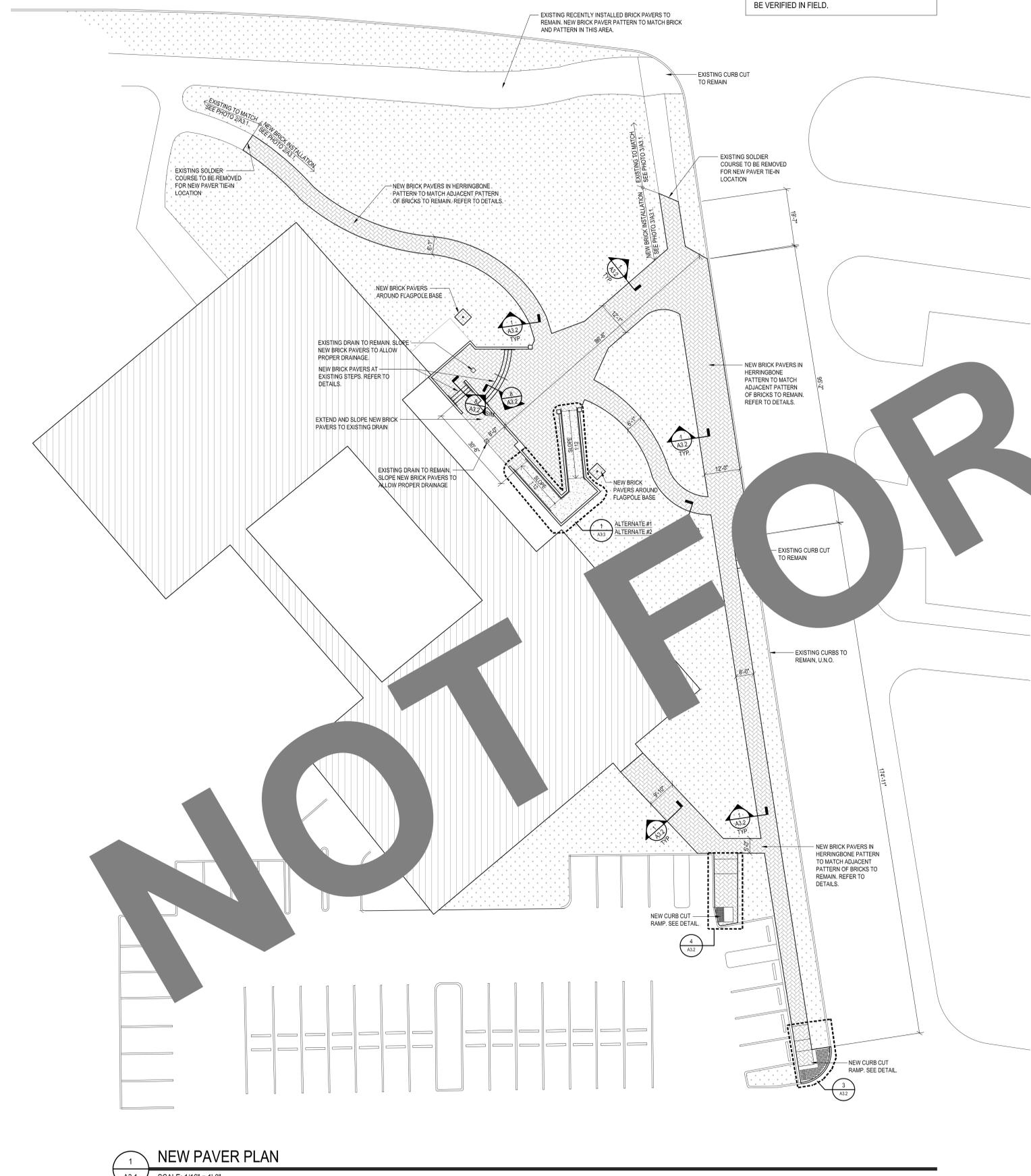
PROJECT: STATE OF DELAWARE
 OMBUDSMAN DIVISION OF FACILITIES MANAGEMENT
 SHEET TITLE: KENT COUNTY FAMILY COURT - BRICK WALK
 400 COURT STREET
 DOVER, DE 19901

SITE DEMOLITION PLAN

ISSUED FOR BID & CONSTRUCTION
 MARCH 4, 2016
 DRAWN: HMS
 DISCIPLINE: A
 CHECKED/DRAWN: PRC
 SHEET NO.: 2.1
 PROJECT NO.: 15062

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NOTE: LAYOUT IS GIVEN ARE FOR OVERALL REFERENCE. CONTRACTOR IS TO VERIFY LENGTHS, QUANTITY, DESIGN, AND PATTERN OF EXISTING PAVERS PRIOR TO DEMOLITION. ALL DIMENSIONS ARE FOR REFERENCE ONLY AND TO BE VERIFIED IN FIELD.



- GENERAL CONSTRUCTION NOTES**
- CONTRACTOR IS TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING SURROUNDING AND ADJACENT BRICK WALLS THAT AREA TO REMAIN.
 - CONTRACTOR IS TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING LANDSCAPE AND VEGETATION, INCLUDING BUT NOT LIMITED TO, GRASS, PLANTINGS, FLOWERS, TREES, AND TREE ROOTS.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LAYOUTS AND PATTERNS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING SUBSTRATE MATERIAL TO BE REMOVED PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING MATERIAL EACH NIGHT DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING VEGETATION AND LANDSCAPE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING VEGETATION AND LANDSCAPE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY PROTECTION OF ALL EXISTING VEGETATION AND LANDSCAPE DURING CONSTRUCTION.

- LEGEND**
- HATCH INDICATES NEW BRICK PAVERS WITHOUT MORTAR. NEW BRICKS TO MATCH EXISTING TO REMAIN BRICKS. TYPE: PINE HALL, FULL RANGE COLOR, 4"X8"X2.25". REFER TO DETAILS FOR INSTALLATION INFORMATION.
 - ALTERNATE #1: HATCH INDICATES NEW CONCRETE RAMP. REFER TO DETAILS FOR MORE INFORMATION.
 - ALTERNATE #2: HATCH INDICATES NEW CONCRETE RESURFACING. REFER TO DETAILS FOR MORE INFORMATION.
 - EXISTING VEGETATION AND LANDSCAPE TO REMAIN. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION DURING CONSTRUCTION.

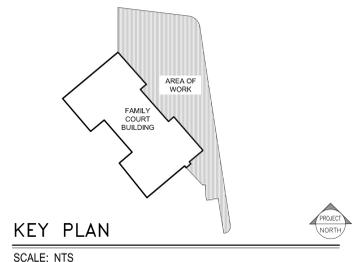
NOT FOR BID



2 EXISTING CONDITIONS
A3.1 N.T.S.

3 EXISTING CONDITIONS
A3.1 N.T.S.

1 NEW PAVER PLAN
A3.1 SCALE: 1/16" = 1'-0"



KEY PLAN
SCALE: NTS

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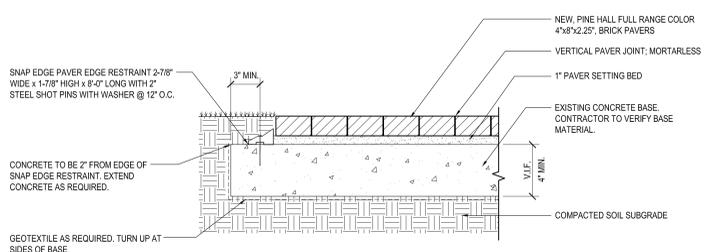
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PROJECT: STATE OF DELAWARE
 OMBUDSMAN DIVISION OF FACILITIES MANAGEMENT
 SHEET TITLE: KENT COUNTY FAMILY COURT - BRICK WALK
 400 COURT STREET
 DOVER, DE 19901

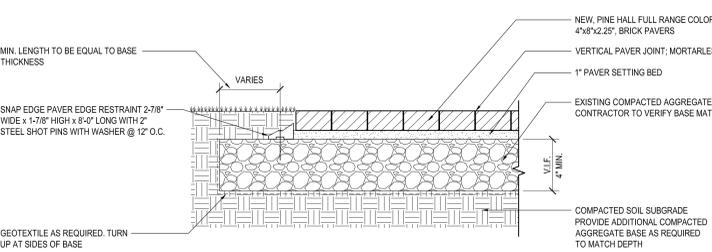
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 MARCH 4, 2016
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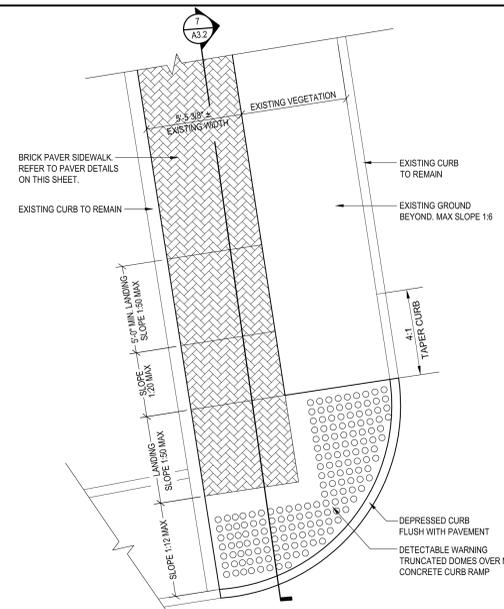


1 PAVER SECTION - CONCRETE BASE
 SCALE: 1 1/2" = 1'-0"

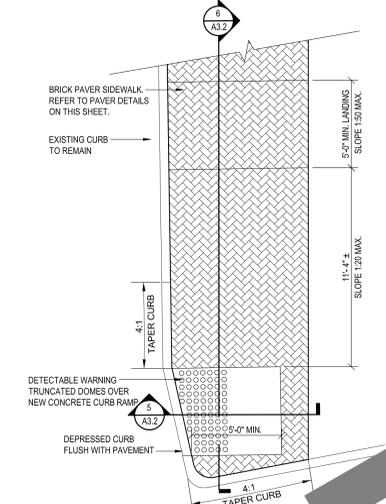
NOTE: CONTRACTOR TO VERIFY EXISTING BASE MATERIAL.



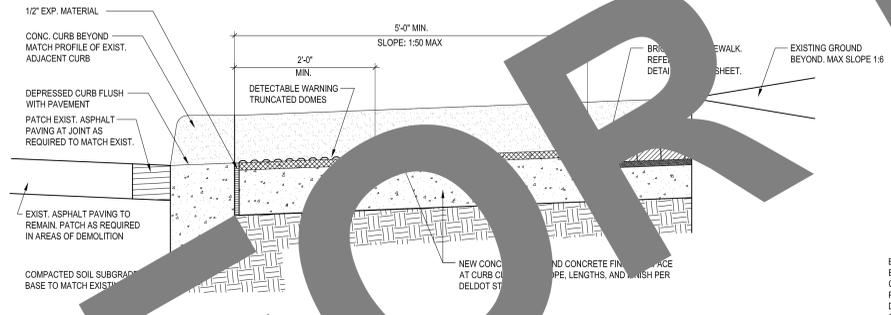
2 PAVER SECTION - AGGREGATE BASE
 SCALE: 1 1/2" = 1'-0"



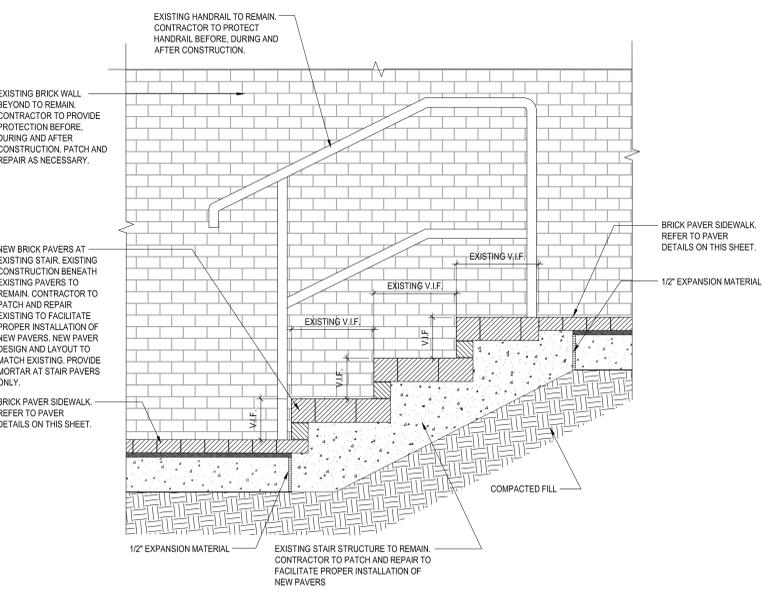
3 CURB CUT RAMP PLAN
 SCALE: 1/4" = 1'-0"



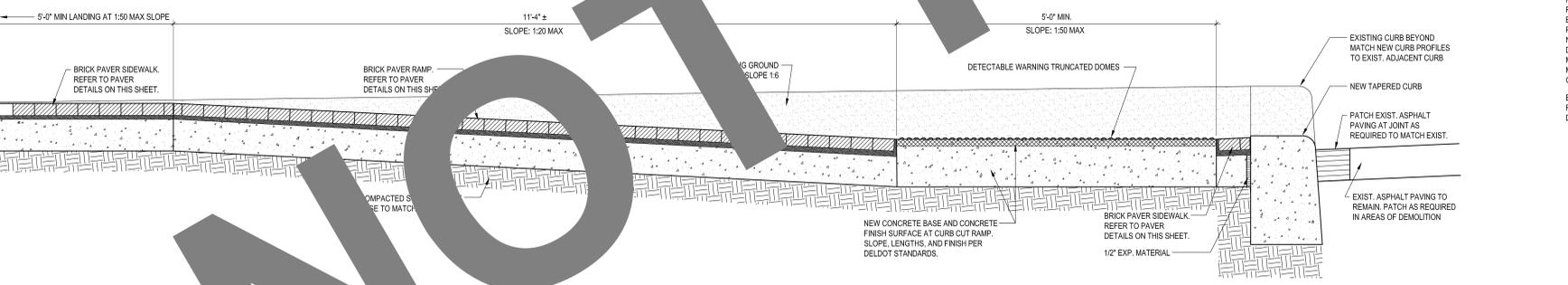
4 CURB CUT RAMP PLAN
 SCALE: 1/4" = 1'-0"



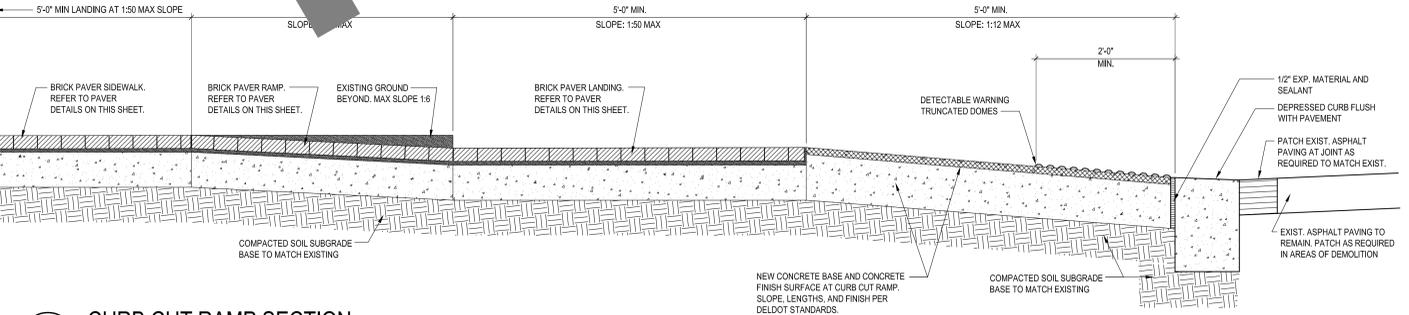
5 CURB CUT RAMP SECTION
 SCALE: 1/4" = 1'-0"



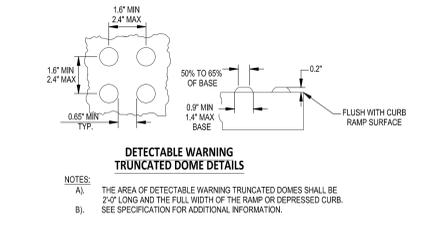
8 TYP. STAIR SECTION
 SCALE: 1" = 1'-0"



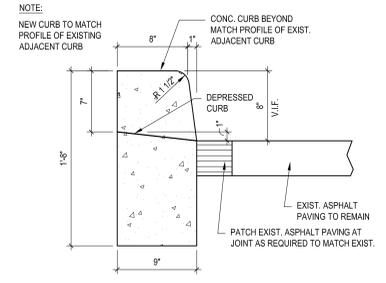
6 CURB CUT RAMP SECTION
 SCALE: 1" = 1'-0"



7 CURB CUT RAMP SECTION
 SCALE: 1" = 1'-0"



9 TYP. DETECTABLE WARNING DETAILS
 SCALE: 1" = 1'-0"



10 TYP. CURB DETAIL
 SCALE: 1 1/2" = 1'-0"

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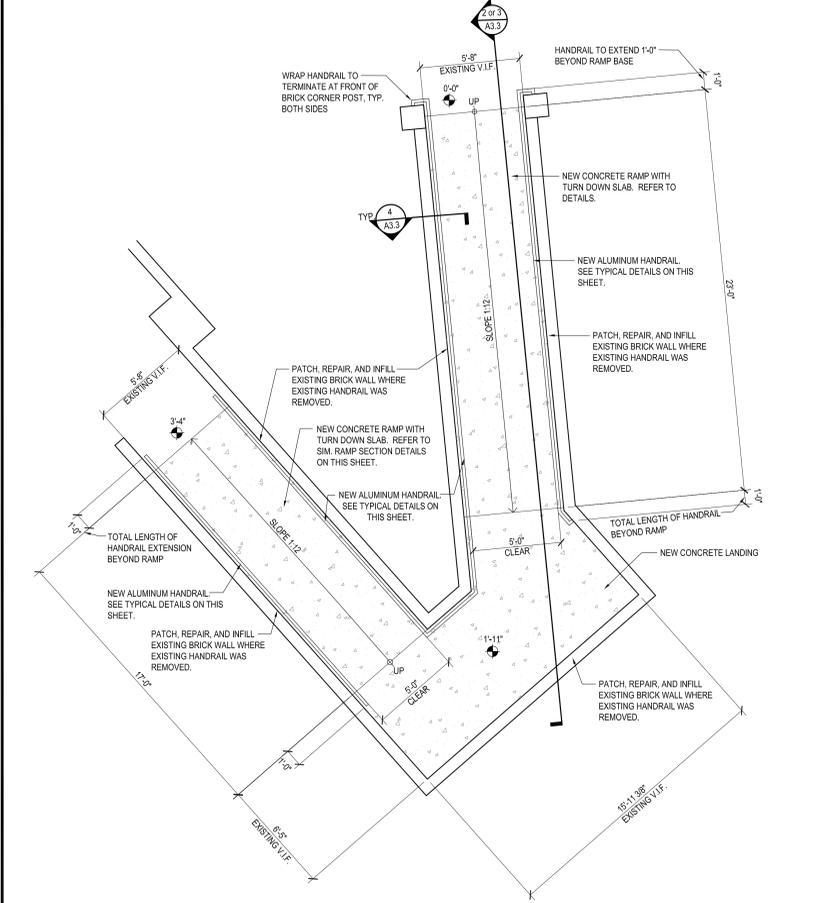
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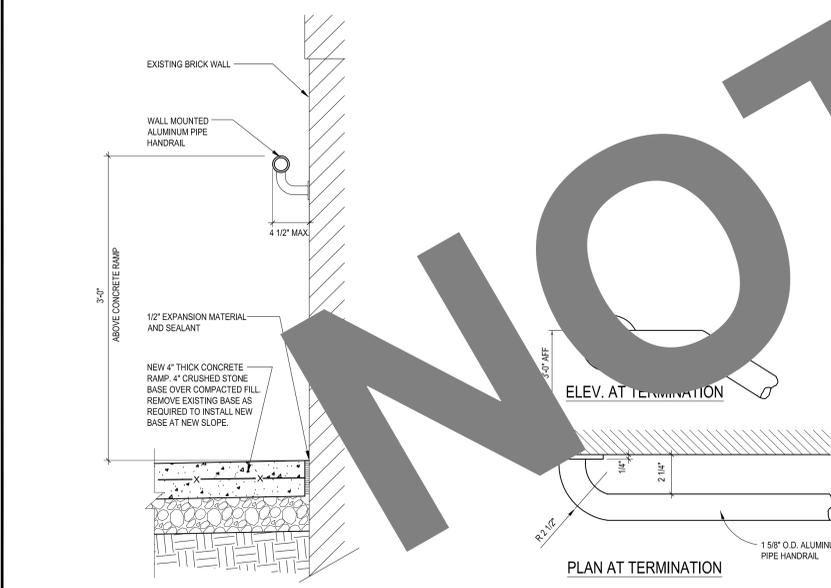
STATE OF DELAWARE
 OMBUDSMAN OF FACILITIES MANAGEMENT
 KENT COUNTY FAMILY COURT - BRICK WALK
 400 COURT STREET
 DOVER, DE 19901

PROJECT SHEET TITLE	DETAILS
ISSUED FOR BID & CONSTRUCTION MARCH 4, 2016	
DRAWN HMS	CHKD/DESIGNER PRC
DISCIPLINE A	SHEET NO. 3.2
PROJECT NO. 15062	

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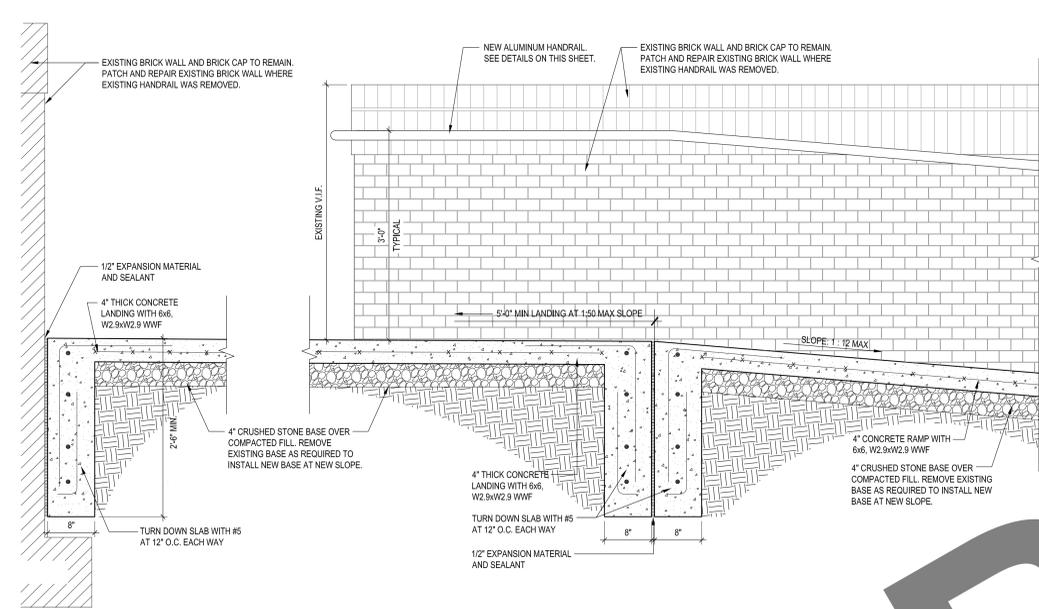


1 ENLARGED RAMP PLAN
 SCALE: 1/4" = 1'-0"
 ALTERNATE #1 - NEW CONCRETE RAMP
 ALTERNATE #2 - DURACRETE OVER EXISTING

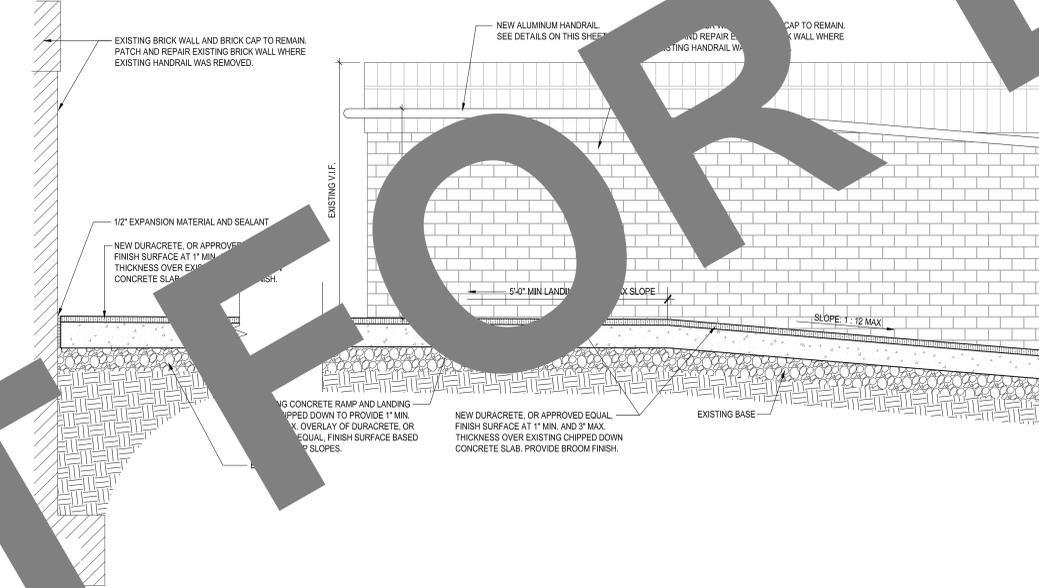


4 TYPICAL HANDRAIL SECTION
 SCALE: 1 1/2" = 1'-0"
 ALTERNATE #1 - NEW CONCRETE RAMP
 ALTERNATE #2 - DURACRETE OVER EXISTING

5 TYPICAL HANDRAIL DETAILS
 SCALE: 3" = 1'-0"
 ALTERNATE #1 - NEW CONCRETE RAMP
 ALTERNATE #2 - DURACRETE OVER EXISTING



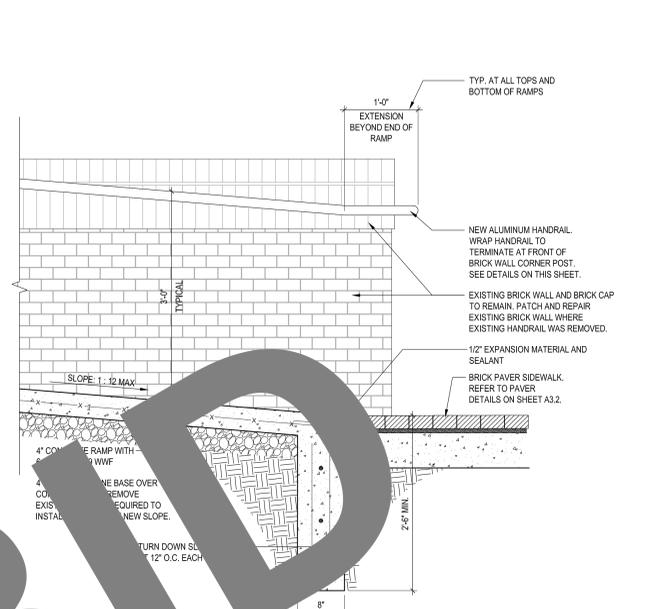
2 CONCRETE RAMP SECTION
 SCALE: 1" = 1'-0"
 ALTERNATE #1 - NEW CONCRETE RAMP
 ALTERNATE #2 - DURACRETE OVER EXISTING



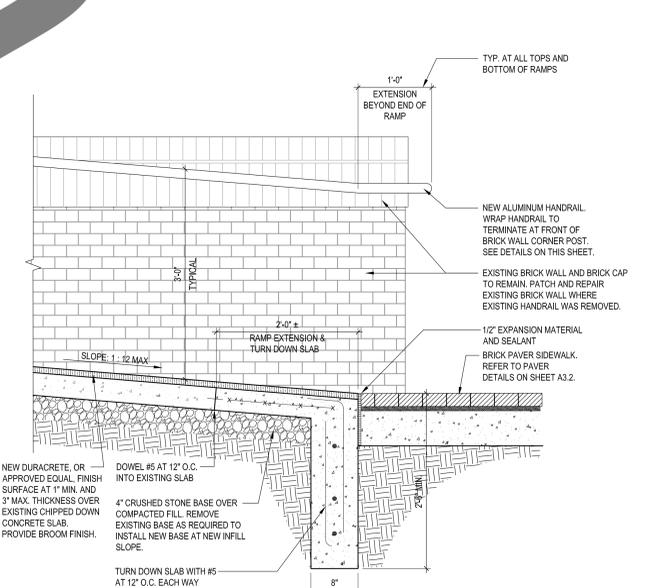
3 DURACRETE RAMP SECTION
 SCALE: 1" = 1'-0"
 ALTERNATE #1 - NEW CONCRETE RAMP
 ALTERNATE #2 - DURACRETE OVER EXISTING



6 EXISTING SLOPE COMPARED TO NEW SLOPE FOR DURACRETE
 SCALE: 1/2" = 1'-0"



ALTERNATE #1



ALTERNATE #2

NOTE: PHASE 2, WHICH INCLUDES RAMP ALTERNATES, IS TO BE COMPLETED OVER A 3-DAY HOLIDAY WEEKEND WHEN THE COURT HOUSE IS CLOSED ON A WEEKDAY DUE TO THE HOLIDAY. PUBLIC ADA ACCESS CANNOT BE DISRUPTED DURING NORMAL COURT HOUSE BUSINESS HOURS.

ALTERNATE #2 CONCRETE RESURFACING MATERIAL: 03 99 20: Concrete Patching and Resurfacing: single component, polymer-reinforced, high-strength, cement-based patching and resurfacing mortar, minimum 5000 psi (34.5 MPa) in 28 days. L&M DURACRETE™ by LATICRETE INTERNATIONAL, OR APPROVED EQUAL.

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STATE OF DELAWARE
 DIVISION OF FACILITIES MANAGEMENT

KENT COUNTY FAMILY COURT - BRICK WALK
 400 COURT STREET
 DOVER, DE 19901

PROJECT TITLE
ALTERNATES #1 & #2 - RAMP PLAN AND DETAILS

ISSUED FOR BID & CONSTRUCTION
 MARCH 4, 2016

DRAWN	CHK/DISIGNER
HMS	PRC
DISCIPLINE	SHEET NO.
A	3.3
PROJECT NO.	15062