

DOCUMENT 009113 - ADDENDA

1.1 PROJECT INFORMATION

- A. Project Name: Delaware Technical Community College Stanton Campus Courtyard Renovation.
- B. Owner: Delaware Technical Community College.
- C. Architect: Tevebaugh Associates
- D. Architect Project Number: #14422.
- E. Date of Addendum: **December 2, 2015**

1.2 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time and location.
  - 1. Bid Date: **December 7, 2015**

1.3 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. Document **PREBID Meeting Sign in Form**, dated **November 23, 2015, (new)**.
- B. This Addendum includes the following Clarifications:
  - 1. There is no spare room for the contractors to use please follow the requirements of providing a trailer for construction.
  - 2. The contractor may drive propane or diesel equipment through the construction access corridor as long as the
  - 3. All questions received at pre-bid meeting or by email are addressed by this addendum.
  - 4. The cost of the performance and payment bonds should be included in the base bid.
  - 5. The owner will engage a third party testing agency for quality control and geo-tech only, All other testing requirements are the responsibility of the General Contractor and shall be included in their base bid price.

6. At this time no builders risk insurance is required.

#### 1.4 REVISIONS TO PREVIOUS ADDENDA

1. None

#### 1.5 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

- A. Document **00 0102 Table of Contents**, (reissued).
  1. Delete and Replace with attached.
- B. Document **00 4113 Bid Form Single Prime** (reissued).
  1. Delete and Replace with attached.
- C. Document **A101-2007 Standard Form of Agreement Between Owner and Contractor** (reissued).
  1. Delete and Replace with attached.
- D. Document **General Instruction to Bidders** (New).
  1. Add the attached document.
- E. Document **Non-Collusion Affidavit** (reissued).
  1. Delete and Replace with attached.
- F. Document **Bid Bond Form** (New).
  1. Add the attached document.
- G. Document **Payment Bond Form** (New).
  1. Add the attached document.
- H. Document **Performance Bond Form** (New).
  1. Add the attached document.

#### 1.6 REVISIONS TO DIVISION 01 GENERAL REQUIREMENTS

- A. Specification Section 01 2200 Unit Prices (reissued).
  1. Delete and Replace with attached.
- B. Specification Section 01 2300 Alternates (reissued)

1. Delete and Replace with attached.

#### 1.7 REVISIONS TO DIVISIONS 02 - 49 SPECIFICATION SECTIONS

- A. Specification **Section 05 5000 Metal Fabrications**, (reissued).
  1. Paragraph **2.10-2.11**: Delete 2.11 in its entirety. 2.10 add the following:
    - D. Retaining Wall Decorative Metal Banding
      1. Baked-Enamel or Powder-Coat Finish: AAMA 2603 except with a minimum dry film thickness of 1.5 mils (0.04 mm). Comply with coating manufacturer's written instructions for cleaning, conversion coating, and applying and baking finish. (Color as selected from manufacturers' full range)
- B. Specification **Section 09 9113 Exterior Painting**, (not reissued).
  1. Paragraph **3.6.C**: Delete in its entirety.
  2. Paragraph **3.6.D**: Delete and replace with the following:
    - D: Ceiling Board at elevated Stir  
A100 Primer Latex 1st and 2<sup>nd</sup> Coat: A100 Latex flat finish. (Color as selected from manufacturers' full range)
- C. Specification **Section 08 4513 Structured-Polycarbonate Panel Assemblies**, (reissued).
  1. Paragraph 2.1. E: Delete in its entirety.
  2. Paragraph 2.2.I.: Color: As Selected by Architect from manufactures full range of translucent colors.
- D. Specification **Section 09 2216 Non-Structural Metal Framing**, (new Added).
  1. Add the new attached specifications
- E. Specification **Section 09 2900 Gypsum Board**, (new Added).
  1. Add the new attached specification.
- F. Specification **Section 09 9123 Interior Painting**, (new Added).

#### 1.8 REVISIONS TO DRAWING SHEETS

- A. Sheet CS1.01 – COVER SHEET (reissued).
  1. Drawing list updated.
- B. Sheet LS.01 – LIFE SAFETY, CODE SUMMARY, TEMPORARY PROTECTION (reissued).
  1. Notes updated.
- C. Sheet C2.01 – STORMWATER MANAGEMENT PLAN (reissued).
  1. Notes updated.
- D. Sheet D1.01 – DEMOLITION PLAN (reissued).
  1. Notes updated.

- E. Sheet A1.01 – COURTYARD PLAN (reissued).
  - 1. Wall partitions added and other notes..
- F. Sheet A2.01 – BUILDING ELEVATIONS (reissued).
  - 1. Notes updated.
- G. Sheet A3.01 – CANOPY PLANS & SECTIONS (reissued).
  - 1. Footing details updated
- H. Sheet A3.02 – CANOPY DETAILS (reissued).
  - 1. Footing details updated.
- I. Sheet A3.03 – RAILING PLAN AND DETAILS (reissued).
  - 1. Railing Guard Detail Section updated.
- J. Sheet LA4.04 – WALL, STAIR AND ADDITIONAL DETAILS (reissued).
  - 1. Updated notes on canopy post embedment.
- K. Sheet LA45.01 – SITE FURNISHINGS (reissued).
  - 1. Bar added to base bid see notes.

END OF DOCUMENT 009113

## TEVEBAUGH ASSOCIATES

### PREBID MEETING SIGN IN FORM

Delaware Technical Community College  
Stanton Campus Courtyard Renovation

November 23, 2015

COMPANY	NAME	E-MAIL	PHONE
Preferred Electric	Matt Celata	<a href="mailto:mdcelata@preferredinc.net">mdcelata@preferredinc.net</a>	302.322.9568
Nickle Electrical	Dales Kerns	<a href="mailto:dkerns@nickleelectrical.com">dkerns@nickleelectrical.com</a>	302.453.4000
Corrado Construction	Ron Steele	<a href="mailto:rsteale@corrado.com">rsteale@corrado.com</a>	302.420.4636
EDIS	Jeff Isbert	<a href="mailto:jisbert@EDIScompany.com">jisbert@EDIScompany.com</a>	302.235.9895
BCI	Bill Michelinie	<a href="mailto:bmichelinie@bci-online.com">bmichelinie@bci-online.com</a>	302.325.2700 x104
The Grounds Guys	Alex Pelletier	<a href="mailto:alex.pelletier@mail.groundsguys.com">alex.pelletier@mail.groundsguys.com</a>	302.653.3714
Amakar Inc.	Stacey Bush	<a href="mailto:amakar@aol.com">amakar@aol.com</a>	302.834.8664
Ventresca Bros, Inc.	Tony Ventresca	<a href="mailto:tony@ventrescabros.com">tony@ventrescabros.com</a>	302.658.6436
Whiting-Turner	Todd Kelby	<a href="mailto:todd.kelby@whiting-turner.com">todd.kelby@whiting-turner.com</a>	302.292.0676
Spacecon	Tony Tucker	<a href="mailto:ttucker@spacecon.com">ttucker@spacecon.com</a>	302.233.5396
JT Hardy & Son, Inc.	John Zack	<a href="mailto:jzach@hardyservices.com">jzach@hardyservices.com</a>	302.328.9457
Cavan Construction	Chris Modesto	<a href="mailto:chris@cavanconstruction.com">chris@cavanconstruction.com</a>	610.356.2966
Conventional Builders	Greg Thompson	<a href="mailto:conventionalbuilders@comcast.net">conventionalbuilders@comcast.net</a>	302.422.2429
Donaldson Electric	Joe Saxton	<a href="mailto:jsaxton@donaldson-electric.com">jsaxton@donaldson-electric.com</a>	302.379.6228
Russo Corporation	Nate Russo	<a href="mailto:nrusso2@russocorporation.com">nrusso2@russocorporation.com</a>	302.731.4568
Corporate Interiors	Shawn Bell	<a href="mailto:sbell@corporate-interiors.com">sbell@corporate-interiors.com</a>	302.345.0058 (cell)
Reybold Construction	Steve Newman	<a href="mailto:snewman@reybold.com">snewman@reybold.com</a>	609.202.4112 (cell)

## SECTION 00 0102

### TABLE OF CONTENTS

#### Section No. Title

#### **DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS**

00 0101	Project Manual Title Page
<b>00 0102</b>	<b>Table of Contents- Revised</b>
<b>00 4113</b>	<b>Bid Form Single Prime-Revised</b>
	<b>A101-2007 Standard Form of Agreement Between Owner and Contractor-Revised</b>
	Amendment 101 Courtyard
	<b>General Instruction to Bidders- Added</b>
	A201-2007 General Conditions
	G701-1997 Instruction to Bidders
	<b>Non-collusion Affidavit- Revised</b>
	<b>Bid Bond Form-Added</b>
	<b>Payment Bond From-Added</b>
	<b>Performance Bond Form-Added</b>
	G706-1994 Contractor Affidavit of Payment of Debt and Claims
	G706A-1994 Contractor Affidavit of Release of Liens
	G707-1994 Consent of Surety to Final Payment
	G707A-1994 Consent of Surety to Reduction in or Partial Release of Retainage
	G716-2004 request for Information

#### **DIVISION 01 - GENERAL REQUIREMENTS**

01 0400	Coordination
01 1000	Summary
<b>01 2200</b>	<b>Unit Prices- Revised</b>
<b>01 2300</b>	<b>Alternates- Revised</b>
01 2500	Substitution Procedures
01 3300	Submittal Procedures
01 5000	Temporary Facilities and Controls
01 5639	Temporary Tree and Plant Protection
01 7000	Construction Procedures
01 7329	Cutting and Patching
01 7419	Construction Waste Management and Disposal
01 7700	Closeout Procedures
01 7839	Operation and Maintenance Data
01 7839	Project Record Documents

#### **DIVISION 02 – EXISTING CONDITIONS**

02 4116	Structure Demolition
02 4119	Selective Demolition

#### **DIVISION 03 – CONCRETE**

03 3000	Cast-In-Place Concrete
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**DIVISION 04 - MASONRY**

04 0110 Maintenance of Unit Masonry  
04 4300 Stone Masonry

**DIVISION 05 - METALS**

**05 5000 Metal Fabrications-Revised**  
05 7300 Decorative Metal Railings

**DIVISION 06 - WOOD, PLASTICS AND COMPOSITES**

06 1000 Rough Carpentry  
06 1063 Exterior Rough Carpentry

**DIVISION 07 - THERMAL AND MOISTURE PROTECTION**

07 1900 Water Repellents  
07 9200 Joint Sealants

**DIVISION 08 - OPENINGS**

08 4113 Aluminum-Framed Entrances and Storefronts  
**08 4513 Structured Polycarbonate Panel Assemblies- Revised**  
08 7100 Door Hardware  
08 8000 Glazing

**DIVISION 09 - FINISHES**

**09 2216 Non-Structural Metal Framing-Added**  
**09 2900 Gypsum Board -Added**  
09 6513 Resilient Base and Accessories  
09 6519 Resilient Tile Flooring  
**09 9123 Interior Painting- Added**  
09 9113 Exterior Painting  
09 9300 Staining and Transparent Finishing

**DIVISION 10 – SPECIALTIES**

**DIVISION 11 - EQUIPMENT**

**DIVISION 12 - FURNISHINGS**

12 9300 Site Furnishings

**DIVISION 13 – SPECIAL CONSTRUCTION**

*Section not used*

**DIVISION 14 – CONVEYING EQUIPMENT**

*Section not used*

**DIVISION 22 – PLUMBING**

*See notes on drawings*

**DIVISION 23 – HEATING VENTILATING AND AIR CONDITIONING**

*Section not used*

**DIVISION 26 – ELECTRICAL**

*See notes on drawings*

**DIVISION 28 – ELECTRONIC SAFETY AND SECURITY**

*Section not used*

**DIVISION 31 – EARTHWORK**

31 1000	Site Clearing
31 2000	Earth Moving
31 2000	Rough Grading
31 2001	Landscape Grading

**DIVISION 32 – EXTERIOR IMPROVEMENTS**

32 1313	Concrete Paving
32 1373	Concrete Paving Joint Sealants
32 1400	Unit Paving
32 1443	Porous Unit Paving
32 1813	Synthetic Turf
32 9300	Plants

**DIVISION 33 - UTILITIES**

33 4100	Storm Utility Drainage Piping
33 4101	Storm-water Management

**FOR STRUCTURAL, CIVIL AND MEP SPECIFICATION SECTIONS, SEE NOTES ON DRAWINGS**

**END OF SECTION 00 0102 - TABLE OF CONTENTS**

DOCUMENT 00411 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: \_\_\_\_\_.
- B. Project Name: Stanton Campus Courtyard Renovation
- C. Project Location: 400 Stanton Christiana Road, Newark, DE 19713>.
- D. Owner: Delaware Technical Community College, One Corporate Commons, 100 West Commons Blvd, Suite 100, New Castle, DE 19720.
- E. Architect: Tevebaugh Associates Two Mill Road, Suite 210, Wilmington, DE 19806
- F. Architect Project Number: 14422.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by Tevebaugh Associates and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
  - A. \_\_\_\_\_ Dollars (\$\_\_\_\_\_).
  - B. The above amount may be modified by amounts indicated by the Bidder on the attached Document 012200 "Unit Prices" and Document 012300 "Alternates."

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within **10** days after a written Notice of Award, if offered within **60** days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:
  - A. \_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 UNIT PRICES

1. Unit Price 1: Provide 1 (5'-6" bolder )  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
2. Unit Price 2: Repointing 9100 sq ft)  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
3. Unit Price 3: One day extension of Time  
\_\_\_\_\_ Dollars \$\_\_\_\_\_).

1.5 ALTERNATES

- A1. Furniture 1. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- A2. Furniture 2. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- B1. Painting 1. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- C1. Not Used
- D1. Masonry Cleaning 1. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- E1. Blue Stone Pavers 1. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).
- F1. Canopy 1. Deduct  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_).

1.6 TIME OF COMPLETION

- A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and shall fully be completed by May 20<sup>th</sup> 2016.

1.7 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:
- A. Addendum No. 1, dated \_\_\_\_\_.
  - B. Addendum No. 2, dated \_\_\_\_\_.
  - C. Addendum No. 3, dated \_\_\_\_\_.
  - D. Addendum No. 4, dated \_\_\_\_\_.

1.8 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in New Castle Delaware and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.9 SUBMISSION OF BID

- A. Respectfully submitted this \_\_\_\_ day of \_\_\_\_\_, 2015.
- B. Submitted By: \_\_\_\_\_ (Name of bidding firm or corporation).
- C. Authorized Signature: \_\_\_\_\_ (Handwritten signature).
- D. Signed By: \_\_\_\_\_ (Type or print name).
- E. Title: \_\_\_\_\_ (Owner/Partner/President/Vice President).
- F. Witness By: \_\_\_\_\_ (Handwritten signature).
- G. Attest: \_\_\_\_\_ (Handwritten signature).
- H. By: \_\_\_\_\_ (Type or print name).
- I. Title: \_\_\_\_\_ (Corporate Secretary or Assistant Secretary).
- J. Street Address: \_\_\_\_\_.
- K. City, State, Zip: \_\_\_\_\_.
- L. Phone: \_\_\_\_\_.
- M. License No.: \_\_\_\_\_.
- N. Federal ID No.: \_\_\_\_\_ (Affix Corporate Seal Here).

END OF DOCUMENT 004113

# DRAFT AIA<sup>®</sup> Document A101<sup>™</sup> - 2007

## **Standard Form of Agreement Between Owner and Contractor** *where the basis of payment is a Stipulated Sum*

AGREEMENT made as of the « » day of « » in the year « »  
(In words, indicate day, month and year.)

BETWEEN the Owner:  
(Name, legal status, address and other information)

«[Delaware Technical and Community College](#)»« »  
«[100 Campus Drive](#)  
[Dover, Delaware 19904-1383](#)»  
«[Telephone Number: \(302\) 857-1000](#)»  
« »

and the Contractor:  
(Name, legal status, address and other information)

« »« »  
« »  
« »  
« »

for the following Project:  
(Name, location and detailed description)

«DTCC Stanton Campus Courtyard»  
«Delaware Technical Community College  
400 Stanton-Christiana Road  
Newark, Delaware 19713»  
«The Stanton Campus Courtyard is surrounded by four adjoining wings that were constructed during the 1975 (B,C and D wings) and 1993 (A Wing). The courtyard is in various stages of disrepair and needs to be redesigned and re-constructed to make it a more suitable gathering space for students, staff and faculty.»

The Architect:  
(Name, legal status, address and other information)

«Tevebaugh Associates»« »  
«2 Mill Road, Suite 210  
Wilmington, DE 19806»  
«Telephone Number: 302.984.1400»  
«Fax Number: 302.984.2957»

The Owner and Contractor agree as follows.

### **ADDITIONS AND DELETIONS:**

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201<sup>™</sup>-2007, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

**ELECTRONIC COPYING** of any portion of this AIA<sup>®</sup> Document to another electronic file is prohibited and constitutes a violation of copyright laws as set forth in the footer of this document.

## TABLE OF ARTICLES

1	THE CONTRACT DOCUMENTS
2	THE WORK OF THIS CONTRACT
3	DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
4	CONTRACT SUM
5	PAYMENTS
6	DISPUTE RESOLUTION
7	TERMINATION OR SUSPENSION
8	MISCELLANEOUS PROVISIONS
9	ENUMERATION OF CONTRACT DOCUMENTS
10	INSURANCE AND BONDS

### ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

Contract also consists of the attached Amendment. In the event of a conflict between the attached amendment and this contract, the amendment shall govern.

### ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

### ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be the date of this Agreement unless a different date is stated below or provision is made for the date to be fixed in a notice to proceed issued by the Owner.

*(Insert the date of commencement if it differs from the date of this Agreement or, if applicable, state that the date will be fixed in a notice to proceed.)*

«-»

If, prior to the commencement of the Work, the Owner requires time to file mortgages and other security interests, the Owner's time requirement shall be as follows:

«-»

§ 3.2 The Contract Time shall be measured from the date of commencement.

§ 3.3 The Contractor shall achieve Substantial Completion of the entire Work not later than «One Hundred and Fifty Eight» ( «158 » ) days from the date of commencement, or as follows:

(Insert number of calendar days. Alternatively, a calendar date may be used when coordinated with the date of commencement. If appropriate, insert requirements for earlier Substantial Completion of certain portions of the Work.)

<< >>

Portion of Work

Substantial Completion Date

, subject to adjustments of this Contract Time as provided in the Contract Documents.

(Insert provisions, if any, for liquidated damages relating to failure to achieve Substantial Completion on time or for bonus payments for early completion of the Work.)

<< >>

#### ARTICLE 4 CONTRACT SUM

§ 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be << >> (\$ << >> ), subject to additions and deductions as provided in the Contract Documents.

§ 4.2 The Contract Sum is based upon the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:

(State the numbers or other identification of accepted alternates. If the bidding or proposal documents permit the Owner to accept other alternates subsequent to the execution of this Agreement, attach a schedule of such other alternates showing the amount for each and the date when that amount expires.)

<< >>

§ 4.3 Unit prices, if any:

(Identify and state the unit price; state quantity limitations, if any, to which the unit price will be applicable.)

Item

Units and Limitations

Price Per Unit (\$0.00)

§ 4.4 Allowances included in the Contract Sum, if any:

(Identify allowance and state exclusions, if any, from the allowance price.)

Item

Price

#### ARTICLE 5 PAYMENTS

##### § 5.1 PROGRESS PAYMENTS

§ 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

<< >>

§ 5.1.3 Provided that an Application for Payment is received by the Architect not later than the « 5th » day of a month, the Owner shall make payment of the certified amount to the Contractor not later than the « 20th » day of the « following » month. If an Application for Payment is received by the Architect after the application date fixed above, payment shall be made by the Owner not later than «Forty-Five » ( «45 » ) days after the Architect receives the Application for Payment.

*(Federal, state or local laws may require payment within a certain period of time.)*

§ 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form and supported by such data to substantiate its accuracy as the Architect may require. This schedule, unless objected to by the Architect, shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ 5.1.6 Subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

- .1 Take that portion of the Contract Sum properly allocable to completed Work as determined by multiplying the percentage completion of each portion of the Work by the share of the Contract Sum allocated to that portion of the Work in the schedule of values, less retainage of « ten » percent ( «10 » %). Pending final determination of cost to the Owner of changes in the Work, amounts not in dispute shall be included as provided in Section 7.3.9 of AIA Document A201™-2007, General Conditions of the Contract for Construction;
- .2 Add that portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction (or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing), less retainage of «ten » percent ( «10 » %);
- .3 Subtract the aggregate of previous payments made by the Owner; and
- .4 Subtract amounts, if any, for which the Architect has withheld or nullified a Certificate for Payment as provided in Section 9.5 of AIA Document A201-2007.

§ 5.1.7 The progress payment amount determined in accordance with Section 5.1.6 shall be further modified under the following circumstances:

- .1 Add, upon Substantial Completion of the Work, a sum sufficient to increase the total payments to the full amount of the Contract Sum, less such amounts as the Architect shall determine for incomplete Work, retainage applicable to such work and unsettled claims; and  
*(Section 9.8.5 of AIA Document A201-2007 requires release of applicable retainage upon Substantial Completion of Work with consent of surety, if any.)*
- .2 Add, if final completion of the Work is thereafter materially delayed through no fault of the Contractor, any additional amounts payable in accordance with Section 9.10.3 of AIA Document A201-2007.

§ 5.1.8 Reduction or limitation of retainage, if any, shall be as follows:

*(If it is intended, prior to Substantial Completion of the entire Work, to reduce or limit the retainage resulting from the percentages inserted in Sections 5.1.6.1 and 5.1.6.2 above, and this is not explained elsewhere in the Contract Documents, insert here provisions for such reduction or limitation.)*

«Retainage will be ten percent (10%) throughout the entire project. Upon issuance of the Substantial Completion certificate by the Architect, retainage shall be reduced to five percent (5%). »

§ 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

## § 5.2 FINAL PAYMENT

§ 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when

- .1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Section 12.2.2 of AIA Document A201–2007, and to satisfy other requirements, if any, which extend beyond final payment; and
- .2 a final Certificate for Payment has been issued by the Architect.

§ 5.2.2 The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

«Upon final completion, as determined by the Architect and Owner, including receipt of all warranties and closeout documents, and final lien waivers, retainage shall be reduced to Forty-Five Thousand Dollars (\$45,000.00) and held by the Owner in an escrow account during the warranty period. At the completion of the twelve month warranty period the owner will withhold 150% of the value to remedy any warranty work not yet completed and shall be held by the Owner until said warranty work is satisfactorily completed.»

All interest accrued in the escrow account during the warranty period shall be paid to the Contractor. »

## ARTICLE 6 DISPUTE RESOLUTION

### § 6.1 INITIAL DECISION MAKER

The Architect will serve as Initial Decision Maker pursuant to Section 15.2 of AIA Document A201–2007, unless the parties appoint below another individual, not a party to this Agreement, to serve as Initial Decision Maker.

*(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)*

<< >>  
<< >>  
<< >>  
<< >>

### § 6.2 BINDING DISPUTE RESOLUTION

For any Claim subject to, but not resolved by, mediation pursuant to Section 15.3 of AIA Document A201–2007, the method of binding dispute resolution shall be as follows:

*(Check the appropriate box. If the Owner and Contractor do not select a method of binding dispute resolution below, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.)*

☐ Arbitration pursuant to Section 15.4 of AIA Document A201–2007

☐ Litigation in a court of competent jurisdiction

☐ Other (Specify)



## ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201–2007.

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2007.

## ARTICLE 8 MISCELLANEOUS PROVISIONS

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A201–2007 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

(Insert rate of interest agreed upon, if any.)

«0 » % «Zero »

§ 8.3 The Owner's representative:  
(Name, address and other information)

« John Fogelgren »  
« Director of Administrative Services »  
« Delaware Technical and Community College »  
« Facilities Department »  
« 400 Stanton-Christiana Road »  
« Newark, Delaware 19713 »

§ 8.4 The Contractor's representative:  
(Name, address and other information)

« »  
« »  
« »  
« »  
« »  
« »

§ 8.5 Neither the Owner's nor the Contractor's representative shall be changed without ten days written notice to the other party.

§ 8.6 Other provisions:

« »

## ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS

§ 9.1 The Contract Documents, except for Modifications issued after execution of this Agreement, are enumerated in the sections below.

§ 9.1.1 The Agreement is this executed AIA Document A101–2007, Standard Form of Agreement Between Owner and Contractor.

§ 9.1.2 The General Conditions are AIA Document A201–2007, General Conditions of the Contract for Construction.

§ 9.1.3 The Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages

§ 9.1.4 The Specifications:  
(Either list the Specifications here or refer to an exhibit attached to this Agreement.)

« »

Section	Title	Date	Pages

§ 9.1.5 The Drawings:  
(Either list the Drawings here or refer to an exhibit attached to this Agreement.)

« »

Number	Title	Date

§ 9.1.6 The Addenda, if any:

Number	Date	Pages

Portions of Addenda relating to bidding requirements are not part of the Contract Documents unless the bidding requirements are also enumerated in this Article 9.

§ 9.1.7 Additional documents, if any, forming part of the Contract Documents:

- .1 AIA Document E201™–2007, Digital Data Protocol Exhibit, if completed by the parties, or the following:

« »

- .2 Other documents, if any, listed below:

*(List here any additional documents that are intended to form part of the Contract Documents. AIA Document A201–2007 provides that bidding requirements such as advertisement or invitation to bid, Instructions to Bidders, sample forms and the Contractor’s bid are not part of the Contract Documents unless enumerated in this Agreement. They should be listed here only if intended to be part of the Contract Documents.)*

«[Amendment to Contract for Construction](#) »

ARTICLE 10 INSURANCE AND BONDS [\(See attached Amendment Language\)](#)

[The Contractor shall purchase and maintain insurance and provide bonds as set forth in Article 11 of AIA Document A201–2007.](#)

[\(State bonding requirements, if any, and limits of liability for insurance required in Article 11 of AIA Document A201–2007.\)](#)

Type of insurance or bond	Limit of liability or bond amount (\$0.00)

[This Agreement entered into as of the day and year first written above.](#)

OWNER (Signature)

«[Dr. Mark Brainard](#)»«[President](#)»

(Printed name and title)

CONTRACTOR (Signature)

« »« »

(Printed name and title)

## GENERAL INSTRUCTIONS TO BIDDERS

### A. REQUIRED DOCUMENTS

1. Bidders shall submit with their Bid three copies of the following documents. Failure to submit this information may be cause for rejection of the Bid.
  - a) Form of Proposal completed with all required information.
  - b) Bid Bond or Certified Check.
  - c) Non-Collusion Affidavit.

### B. BIDDER'S RESPONSIBILITY

1. Each bidder shall familiarize himself with all of the attached forms, General Instructions to Bidders, General Conditions, Supplementary General Conditions, Special Conditions, Specifications of all trades, Drawings of all trades, Bulletins, Addenda to the Specifications, and other documents pertinent to the work, as he/she will be held responsible to fully comply therewith.
2. The bidders shall visit the site of the work before submitting his bid, and shall examine all physical conditions, which might be, material to the performance of the work. The submission of a bid represents that the bidder has taken into consideration, in the establishment of the contract price, all existing conditions that will affect the work of the contract.

### C. BIDDERS NOTE

1. Bids containing any omissions, unexplained erasures or alterations or items or conditions not called for in the specifications or Proposal Forms (bid forms) may be rejected as being unresponsive and/or incomplete.
2. Failure to comply with the foregoing instructions may result in rejection of the entire bid or any items or parts thereof.

### D. PERMITS

1. Bidders shall, without expense to the Owner, be responsible for completing all applications and forms for obtaining all necessary licenses and permits and for complying with all applicable Federal, State and local laws, codes and regulations in connection with the prosecution of the work. The Permit Fees, licenses fees and all other shall be borne by the contractor(s).

### E. WEATHER FLOAT DAYS

1. The total number of project weather float days shall be considered part of the project as follows:
  - a. December 6 days
  - b. January 12 days
  - c. February 10 days
  - d. March 5 days
  - e. April 5 days
  - f. May 4 days
2. The above days are for Delaware monthly anticipated adverse weather days and are based on a seven calendar day week.
3. Adverse weather is defined as daily precipitation equal to or exceeding 0.25 inches and or maximum daily temperature not exceeding 32 degrees as recorded at the Wilmington Airport.

F. ASBESTOS STATEMENT

1. In the event a contractor by virtue of his work for the Owner discovers asbestos, the contractor must immediately notify the Owner and perform no further work in connection with the asbestos. The Owner will remove the asbestos then the contractor may resume operations under the contract.

G. PERFORMANCE AND QUALITY OF WORK

1. Work performed shall be in strict accordance with these General Conditions and the technical specifications that follow.
2. All materials unless otherwise specified shall be new and free from any defects.
3. All work shall be performed by competent worker and executed in a neat and workmanlike manner providing a thorough and complete installation. Work shall be properly protected during transportation, including the shielding of soft or fragile materials. At completion the delivery site shall be thoroughly cleaned and all tools, equipment, obstructions, or debris present as a result of this work shall be removed by the contractor from the premises.
4. Damage to existing surfaces or equipment caused by the transportation or delivery shall be the responsibility of the contractor. Repairs or replacement shall be performed in a timely manner at the Contractor's expense.

H. DAMAGE TO PROPERTY

1. Should any direct or indirect damage be done to any public or private property of any kind or to any structure, materials, equipment or fixtures, resulting from any act or omission on the part of any of the Contractors, his Subcontractors or employees or agents, the Contractor shall, at his/her own cost and expense, restore the same equal to its condition before the said damage was done by repairing, replacing, rebuilding as may be required by the Owner, or shall make good such damage in a manner satisfactory to the Owner, the Architect, or the Owner of the damaged property.

I. CLEAN-UP

1. The Contractor shall at his/her own cost and expense, shall remove all debris from the site to the satisfaction of the Owner and Architect. The work areas shall be kept free of debris by removing waste products/ materials on a daily basis. The General contractor shall be responsible to maintain the sites appearance within all construction areas. Maintain grass and weed from becoming overgrown during the construction phase.

J. STRUCTURES, MATERIALS, ETC., ON THE SITE

1. All materials, trees, equipment and structures of any kind now on the site that do not interfere with the performance of the work required hereunder shall be left in place, and shall remain the property of the Owner unless otherwise specified. All live, healthy trees, shrubs, etc., not specified to be removed and not interfering with the removal or installation of new work required hereunder, shall be protected against damage as directed.

K. WARRANTY

1. Supplementing any specific guarantee or warranties provided for in any other provision of this contract for the work to be performed hereunder; each Contractor covenants and agrees to remedy without cost to the Owner, any defect which may develop within two (2) years from the date of completion and acceptance of the work performed under this contract, or damage which may be caused by such defects, provided such defects, in the judgment of the Owner, are caused by inferior materials and workmanship. The warranty period shall commence on the date of substantial completion or in absence thereof the date of approval by the Architect of the contractor's final application and certificate for payment.

L. OPERATIONS AND STORAGE AREAS

1. All operations of the Contractor (including storage of materials) shall be confined to areas authorized or approved by the Owner. No unauthorized or unwarranted entry upon, passage through, or storage or disposal of material shall be made upon area not so authorized or approved. The Contractor responsible shall be liable for any and all damage caused by him to such area.

M. SCAFFOLDS, LADDERS, RUNS AND HOISTS

1. The Contractor shall construct and maintain such temporary scaffolds, ladders, runs, hoists, centering, shoring, and other facilities as required to perform the work under his contract as well as to provide access to their work for the oversight benefit of the Owner, Architect, & Engineer.

N. GENERAL SCOPE OF WORK

1. It is the intent and purpose of these specifications and the accompanying drawings to cover and include all materials, machinery, apparatus, delivery, taxes, and labor necessary to properly install, equip, adjust, and put into perfect function the respective portions of the installation specified and to so interconnect the various items and sections of the work (new and existing) as to form a complete and properly finished whole system.
2. Any equipment, accessories, materials, apparatus, machinery and items not mentioned in detail, and labor not hereinafter specifically mentioned or inferred, which may be found necessary in the opinion of the Architect, to complete or perfect any portion of an installation, shall be furnished without extra cost to the Owner by the Contractor. The drawings and specifications indicate the general constituents of an assembly or system and may not indicate all components necessary to complete an assembly or system. The contractor is responsible to provide complete assemblies and/or systems without additional cost to the Owner.

O. SAFE WORK ENVIROMENT

1. Statement of Purpose.

It is the intent of Delaware Technical Community College to provide a safe work environment for all individuals either directly or indirectly involved in all renovation and construction projects. This includes alcohol-free and drug-free job sites.

2. Prohibition.

Possession, distribution, and/or use of alcohol or alcoholic beverages on Owner property are prohibited. Possession, distribution, and/or use of any other drug or controlled substance, except under and in accordance with the institution of a licensed physician, is prohibited. Additionally and notwithstanding the forgoing, no individual shall be permitted on Owner property while under the influence of alcohol, other drug(s), and/or controlled substance(s).

P. SAFETY DURING CONSTRUCTION

1. The Contractor shall enforce suitable rules and provide the required guards, and protective devices for the safe prosecution of the work and for the safety and health of the men employed in it and the public in general, both inside and outside the limit of Contract. The Contractors are responsible for compliance with the Federal Occupational Safety and Health Act of 1970.
2. The Prime Contractor and all Subcontractors shall immediately report all accidents, injuries, or health hazards to the Owner and Architect, or their designated representatives, in writing.

Q. INSURANCE

1. Contractor's Liability Insurance

- A. The Contractor shall purchase and maintain throughout the period of the contract such insurance as will protect it from claims which may arise out of or result from the Contractor's operations under the contract, whether such operations be by itself or by anyone directly or indirectly employed by it, or by anyone whose acts it may be liable for. **All insurance provided herein shall be written in the names of the Contractor, Owner and Architect, as their respective interests may appear.**
- B. Claims for damages for personal injury and wrongful death, as well as property damage, which may arise from operations under this Contract, in an amount of not less than \$1,000,000 for injuries an/or wrongful death to any one person and subject to the same limit for each person in an aggregate amount of not less than \$2,000,000 on account of one occurrence, and not less than \$500,000 for property damage from any one occurrence subject to aggregate property damage coverage of \$1,000,000.
- C. If there is a possibility of special hazards existing in the work contemplated, these shall be covered by rider(s) to the policy or policies required hereby or by separate policies of insurance. One such possible hazard is blasting, for which \$1,000,000 protection shall be provided.
- D. The Contract shall require all subcontractors to obtain the same type and coverages of insurance required of it.

2. Automobile and Truck Insurance

- A. Automobile and truck insurance protecting the Contractor in an amount not less than One Million Dollars (\$1,000,000) for personal injuries and/or wrongful death to any one person and subject to same limit for each person, in an amount of not less than Two Million Dollars (\$2,000,000) on

account of one occurrence; and property damage insurance in an amount not less than Three Hundred Thousand Dollars (\$300,000).

3. Worker's Compensation

- A. The Contractors shall accept, insofar as the work covered by this Contract is concerned, the provisions of the Worker's Compensation Act and shall insure its liability thereunder, and it shall save the Owner harmless from all claims for Worker's Compensation which may be made by any of the employees of the Contractors or by any one of the employees of any subcontractors to whom the Contractors may have let the performance of any part of the work embraced by this Contract.

4. Fire Insurance with Extended Coverage

- A. The Contractors shall purchase and maintain throughout the period of the contract insurance on all work and materials included in the contract against loss or damage by fire and lightning and those perils covered by extended endorsement including windstorm, in the names of the Contractor and Owner, as their respective interests may appear. The said fire and lightning insurance shall be carried under the standard builder's risk insurance stating an amount of insurance which shall not be less than the value of all insurable work and materials covered by the completed work.
- B. The entire care and responsibility of the work of each Contractor during the course of construction and all risk damage to construction work, due to perils required to be covered by said insurance, as well as to any other hazards (including vandalism and malicious mischief) which might result in damage to the construction work or loss to the Owner or Contractor shall rest with the contractor concerned and its surety. The Contractors shall provide insurance as required, but its failure to do so or its failure to collect proceeds of insurance in case of fire or other casualty shall in no wise relieve it from responsibility of completing its portion of the work in accordance with its contract and the plans and specifications applicable thereto. Rebuilding, replacement or repair after any loss shall be promptly performed by the Contractor without awaiting collection of the proceeds of insurance or determination of the distribution thereof.
- C. Time for Furnishing Insurance
  - 1. The Contractors shall not commence any work until all required insurance has been obtained, nor until insurance has been approved by Owner as to companies, amount, coverage and form; and the Contractor shall not permit any subcontractor to commence work on any subcontract until such insurance has been so obtained. Insurance shall be submitted at same time as signed contracts and in same number of copies.

5. Proof of Insurance

- A. The Contractors shall, when he/she executes the contract, deliver to the Owner proper evidence of carriages of the required insurance. Certificates will be acceptable proof of public liability, property damage and Worker's compensation insurance. The Contractor shall furnish to the Owner, the original fire insurance policy (with extended coverage) and memorandum copy thereof. The original copy shall be retained by the Owner until final completion and acceptance of the Contractor's Work after which it will be returned to the Contractor for cancellation. Renewal policy and one renewal endorsement shall be delivered by the Contractor to the Owner at least thirty (30) days before any expiration of original or subsequent policies during progress of the work and until final completion.

- B. All policies shall be issued by insurance companies authorized to conduct such business in Pennsylvania and shall be acceptable to the Owner.
  - C. The Contractors shall not cause any of the foregoing policies to be canceled, or permit them to lapse; insurance policies or certificates evidencing said policies must contain endorsement that policy cannot be canceled or amended. No payments will be made to a Contractor unless all insurance is in force in accordance with the requirements of the Contract Documents.
  - D. All certificates and memorandum copies for each type of insurance shall show the names of the Insured, the Architect and Owner as their respective interests may appear.
6. Loss of Use Insurance
- A. The Owner, at its option, may purchase and maintain such insurance as will insure him against loss of use of its property due to fire or other hazards, however caused.

**Non-Collusion Statement**

Delaware Technical and Community College  
P.O. Box 897  
Dover, Delaware 19903

Date \_\_\_\_\_

Gentlemen:

This is to certify that the undersigned bidder

\_\_\_\_\_ has not either directly or indirectly entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with proposal submitted to the Delaware Technical and Community College on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, for bid opening on \_\_\_\_\_, 20\_\_.

**Corporate Seal**

Signature of Bidder

By \_\_\_\_\_  
President

Attest

\_\_\_\_\_  
Secretary

State of Delaware.  
County of \_\_\_\_\_.

Signed and Sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by  
\_\_\_\_\_.

\_\_\_\_\_  
Notary Public  
My Commission Expires \_\_\_\_\_

**STATE OF DELAWARE  
BID BOND**

TO ACCOMPANY PROPOSAL  
(Not necessary if security is used)

KNOW ALL MEN BY THESE PRESENTS That: \_\_\_\_\_  
\_\_\_\_\_ of \_\_\_\_\_ in the County of \_\_\_\_\_  
\_\_\_\_\_ and State of \_\_\_\_\_ as **Principal**, and \_\_\_\_\_  
\_\_\_\_\_ of \_\_\_\_\_ in the County of \_\_\_\_\_  
and State of \_\_\_\_\_ as **Surety**, legally authorized to do business in the State of Delaware  
("State"), are held and firmly unto the **State** in the sum of \_\_\_\_\_  
\_\_\_\_\_ Dollars (\$ \_\_\_\_\_), or \_\_\_\_\_ percent not to exceed \_\_\_\_\_  
\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)  
of amount of bid on Contract No. \_\_\_\_\_, to be paid to the **State** for the use and  
benefit of \_\_\_\_\_ (*insert State agency name*) for which payment  
well and truly to be made, we do bind ourselves, our and each of our heirs, executors, administrators, and  
successors, jointly and severally for and in the whole firmly by these presents.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH That if the above bounden **Principal**  
who has submitted to the \_\_\_\_\_ (*insert State agency name*) a  
certain proposal to enter into this contract for the furnishing of certain material and/or services within the  
**State**, shall be awarded this Contract, and if said **Principal** shall well and truly enter into and execute this  
Contract as may be required by the terms of this Contract and approved by the \_\_\_\_\_  
\_\_\_\_\_ (*insert State agency name*) this Contract to be entered into within twenty days after  
the date of official notice of the award thereof in accordance with the terms of said proposal, then this  
obligation shall be void or else to be and remain in full force and virtue.

Sealed with \_\_\_\_\_ seal and dated this \_\_\_\_\_ day of \_\_\_\_\_ in the year of our Lord two  
thousand and \_\_\_\_\_ (20\_\_\_\_).

SEALED, AND DELIVERED IN THE  
Presence of

\_\_\_\_\_  
Name of Bidder (Organization)

Corporate  
Seal

By:

\_\_\_\_\_  
Authorized Signature

Attest \_\_\_\_\_

\_\_\_\_\_  
Title

\_\_\_\_\_  
Name of Surety

Witness: \_\_\_\_\_

By:

\_\_\_\_\_  
Title

**STATE OF DELAWARE  
PAYMENT BOND**

Bond Number: \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS, that we, \_\_\_\_\_, as principal (“**Principal**”), and \_\_\_\_\_, a \_\_\_\_\_ corporation, legally authorized to do business in the State of Delaware, as surety (“**Surety**”), are held and firmly bound unto the \_\_\_\_\_ (“**Owner**”) (*insert State agency name*), in the amount of \_\_\_\_\_ (\$ \_\_\_\_\_), to be paid to **Owner**, for which payment well and truly to be made, we do bind ourselves, our and each and every of our heirs, executors, administrations, successors and assigns, jointly and severally, for and in the whole firmly by these presents.

Sealed with our seals and dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH, that if **Principal**, who has been awarded by **Owner** that certain contract known as Contract No. \_\_\_\_\_ dated the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ (the “Contract”), which Contract is incorporated herein by reference, shall well and truly pay all and every person furnishing materials or performing labor or service in and about the performance of the work under the Contract, all and every sums of money due him, her, them or any of them, for all such materials, labor and service for which **Principal** is liable, shall make good and reimburse **Owner** sufficient funds to pay such costs in the completion of the Contract as **Owner** may sustain by reason of any failure or default on the part of **Principal**, and shall also indemnify and save harmless **Owner** from all costs, damages and expenses arising out of or by reason of the performance of the Contract and for as long as provided by the Contract; then this obligation shall be void, otherwise to be and remain in full force and effect.

**Surety**, for value received, for itself and its successors and assigns, hereby stipulates and agrees that the obligation of **Surety** and its bond shall be in no way impaired or affected by any extension of time, modification, omission, addition or change in or to the Contract or the work to be performed thereunder, or by any payment thereunder before the time required therein, or by any waiver of any provisions thereof, or by any assignment, subletting or other transfer thereof or of any work to be performed or any monies due or to become due thereunder; and **Surety** hereby waives notice of any and all such extensions, modifications, omissions, additions, changes, payments, waivers, things done and omitted to be done by and in relation to assignees, subcontractors, and other transferees shall have the same effect as to **Surety** as though done or omitted to be done by or in relation to **Principal**.

**Surety** hereby stipulates and agrees that no modifications, omission or additions in or to the terms of the Contract shall in any way whatsoever affect the obligation of **Surety** and its bond.

Any proceeding, legal or equitable, under this Bond may be brought in any court of competent jurisdiction in the State of Delaware. Notices to **Surety** or Contractor may be mailed or delivered to them at their respective addresses shown below.

IN WITNESS WHEREOF, **Principal** and **Surety** have hereunto set their hand and seals, and such of them as are corporations have caused their corporate seal to be hereto affixed and these presents to be signed by their duly authorized officers, the day and year first above written.

PRINCIPAL

Name: \_\_\_\_\_

Witness or Attest: Address: \_\_\_\_\_

\_\_\_\_\_  
Name:  
  
(Corporate Seal)

By: \_\_\_\_\_(SEAL)  
Name:  
Title:

SURETY

Name: \_\_\_\_\_

Witness or Attest: Address: \_\_\_\_\_

\_\_\_\_\_  
Name:  
  
(Corporate Seal)

By: \_\_\_\_\_(SEAL)  
Name:  
Title:

**STATE OF DELAWARE  
PERFORMANCE BOND**

Bond Number: \_\_\_\_\_

KNOW ALL PERSONS BY THESE PRESENTS, that we, \_\_\_\_\_, as principal (“**Principal**”), and \_\_\_\_\_, a \_\_\_\_\_ corporation, legally authorized to do business in the State of Delaware, as surety (“**Surety**”), are held and firmly bound unto the \_\_\_\_\_ (“**Owner**”) (*insert State agency name*), in the amount of \_\_\_\_\_ (\$\_\_\_\_\_), to be paid to **Owner**, for which payment well and truly to be made, we do bind ourselves, our and each and every of our heirs, executors, administrations, successors and assigns, jointly and severally, for and in the whole, firmly by these presents.

Sealed with our seals and dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH, that if **Principal**, who has been awarded by **Owner** that certain contract known as Contract No. \_\_\_\_\_ dated the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ (the “Contract”), which Contract is incorporated herein by reference, shall well and truly provide and furnish all materials, appliances and tools and perform all the work required under and pursuant to the terms and conditions of the Contract and the Contract Documents (as defined in the Contract) or any changes or modifications thereto made as therein provided, shall make good and reimburse **Owner** sufficient funds to pay the costs of completing the Contract that **Owner** may sustain by reason of any failure or default on the part of **Principal**, and shall also indemnify and save harmless **Owner** from all costs, damages and expenses arising out of or by reason of the performance of the Contract and for as long as provided by the Contract; then this obligation shall be void, otherwise to be and remain in full force and effect.

**Surety**, for value received, hereby stipulates and agrees, if requested to do so by **Owner**, to fully perform and complete the work to be performed under the Contract pursuant to the terms, conditions and covenants thereof, if for any cause **Principal** fails or neglects to so fully perform and complete such work.

**Surety**, for value received, for itself and its successors and assigns, hereby stipulates and agrees that the obligation of **Surety** and its bond shall be in no way impaired or affected by any extension of time, modification, omission, addition or change in or to the Contract or the work to be performed thereunder, or by any payment thereunder before the time required therein, or by any waiver of any provisions thereof, or by any assignment, subletting or other transfer thereof or of any work to be performed or any monies due or to become due thereunder; and **Surety** hereby waives notice of any and all such extensions, modifications, omissions, additions, changes, payments, waivers, assignments, subcontracts and transfers and hereby expressly stipulates and agrees that any and all things done and omitted to be done by and in relation to assignees, subcontractors, and other transferees shall have the same effect as to **Surety** as though done or omitted to be done by or in relation to **Principal**.

**Surety** hereby stipulates and agrees that no modifications, omissions or additions in or to the terms of the Contract shall in any way whatsoever affect the obligation of **Surety** and its bond.

Any proceeding, legal or equitable, under this Bond may be brought in any court of competent jurisdiction in the State of Delaware. Notices to **Surety** or Contractor may be mailed or delivered to them at their respective addresses shown below.

IN WITNESS WHEREOF, **Principal** and **Surety** have hereunto set their hand and seals, and such of them as are corporations have caused their corporate seal to be hereto affixed and these presents to be signed by their duly authorized officers, the day and year first above written.

PRINCIPAL

Name: \_\_\_\_\_

Witness or Attest: Address: \_\_\_\_\_

\_\_\_\_\_  
Name:  
  
(Corporate Seal)

By: \_\_\_\_\_(SEAL)  
Name:  
Title:

SURETY

Name: \_\_\_\_\_

Witness or Attest: Address: \_\_\_\_\_

\_\_\_\_\_  
Name:  
  
(Corporate Seal)

By: \_\_\_\_\_(SEAL)  
Name:  
Title:

## SECTION 012200 – UNIT PRICES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General, Special and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
  - 1. General Conditions and Supplementary General Conditions Section “Changes and Alterations” procedures for submitting and handling Change Orders.
  - 2. Division 01 Section "Quality Requirements" for general testing and inspecting requirements.

#### 1.3 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

### PART 2 - PRODUCTS (Not Used)

### PART 3 - EXECUTION

#### 3.1 SCHEDULE OF UNIT PRICES

- A. Unit Price 1: Provide 1 (5’-6” Bolder)
  - 1. Description: Refer to Detail 8 LA3.02 for the bolder classification.
- B. Unit Price 2: Provide all cost associated with the repointing 100 sq. ft. of brick.
  - 1. Description: Refer to section 04 0120 Maintenance of Unit Masonry.
- C. Unit Price 3: Provide all cost associated with a one day extension of time over completion date.

END OF SECTION

## SECTION 01 2300

### ALTERNATES

#### PART 1 - GENERAL

##### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

##### 1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

##### 1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

##### 1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. **Furniture** *(Only 1 Item below may be selected as an alternate)*

1. Owner to purchase and install Furnishings specified on sheet LA5.01.  
**Deduct** from Base Bid \$ \_\_\_\_\_

**OR**

2. Owner to purchase GC to install Furnishing specified on Sheet LA5.01  
**Deduct** from Base Bid \$ \_\_\_\_\_

B. **Painting**

1. Delete from scope of work painting of existing metal panel walls, storefront walls, storefront doors, and roof penthouse as noted on construction documents. Acceptance of alternate includes elimination of the following specification sections: 09 9113 Exterior Painting.  
**Deduct** from Base Bid \$ \_\_\_\_\_

C. **Not Used**

D. **Masonry Cleaning**

1. Delete from scope of work cleaning of existing brick masonry and precast concrete elements noted on construction documents. Acceptance of alternate includes elimination of the following specification sections: 04 0120 maintenance of Unit Masonry.  
**Deduct** from Base Bid \$ \_\_\_\_\_

E. **Blue Stone Pavers**

1. All location where Blue Stone Pavers are called for remove from scope and replace with poured in place concrete in accordance with requirements in the following specification sections: 03 3000 Cast-In-Place.  
**Deduct** from Base Bid \$ \_\_\_\_\_

F. **Canopy**

1. Delete from scope of work all elements associated with the canopy noted on construction documents with the exception of the footings and connections. Acceptance of alternate includes elimination of the following specification sections: 08 4513 Structured Polycarbonate Panel Assemblies.  
**Deduct** from Base Bid \$ \_\_\_\_\_

G. **Completion of Project with no Extension of time for inclement weather.**

1. Add to the Base bid the cost for the contractor to complete the project with all means necessary for any inclement weather that occurs over and above the approved amount listed in the bid documents.  
**Add** from Base Bid \$ \_\_\_\_\_

END OF SECTION

## **SECTION 055000 - METAL FABRICATIONS**

### **PART 1 - GENERAL**

#### **1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### **1.2 SUMMARY**

- A. Section Includes:

- 1. Decorative Steel Plate at Stone-Faced Wall
  - 2. Stone-Faced Wall Corners

- B. Products furnished, but not installed, under this Section:

- 1. Anchor bolts, steel pipe sleeves, slotted-channel inserts, and wedge-type inserts indicated to be cast into concrete or built into unit masonry.
  - 2. Steel weld plates and angles for casting into concrete for applications where they are not specified in other Sections.

- C. Related Sections:

- 1. Section 033000 "Cast-in-Place Concrete" for installing anchor bolts, steel pipe sleeves, slotted-channel inserts, wedge-type inserts, and other items cast into concrete.
  - 2. Section 057300 "Decorative Metal Railings".
  - 3. Division 09 – "Finishes" for Powder-coating.

#### **1.3 PERFORMANCE REQUIREMENTS**

- A. Thermal Movements: Allow for thermal movements from ambient and surface temperature changes acting on exterior metal fabrications by preventing buckling, opening of joints, overstressing of components, failure of connections, and other detrimental effects.

- 1. Temperature Change: 120 deg F, ambient; 180 deg F, material surfaces.

#### **1.4 ACTION SUBMITTALS**

- A. Product Data: For the following:

- 1. Paint products.
  - 2. Grout.

- B. Shop Drawings: Show fabrication and installation details for metal fabrications.

1. Include plans, elevations, sections, and details of metal fabrications and their connections. Show anchorage and accessory items.
- C. Samples for Verification: For each thickness of metal with powdercoat color.

#### INFORMATIONAL SUBMITTALS

- D. Mill Certificates: Signed by manufacturers of stainless-steel certifying that products furnished comply with requirements.
- E. Welding certificates.
- F. Paint Compatibility Certificates: From manufacturers of topcoats applied over shop primers certifying that shop primers are compatible with topcoats.

### 1.5 QUALITY ASSURANCE

- A. Welding Qualifications: Qualify procedures and personnel according to AWS D1.1/D1.1M, "Structural Welding Code - Steel."
- B. Welding Qualifications: Qualify procedures and personnel according to the following:
1. AWS D1.1/D1.1M, "Structural Welding Code - Steel."
  2. AWS D1.2/D1.2M, "Structural Welding Code - Aluminum."
  3. AWS D1.6, "Structural Welding Code - Stainless Steel."

### 1.6 PROJECT CONDITIONS

- A. Field Measurements: Verify actual locations of walls and other construction contiguous with metal fabrications by field measurements before fabrication.

### 1.7 COORDINATION

- A. Coordinate selection of shop primers with topcoats to be applied over them. Comply with paint and coating manufacturers' written recommendations to ensure that shop primers and topcoats are compatible with one another.
- B. Coordinate installation of anchorages and steel weld plates and angles for casting into concrete. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.

## PART 2 - PRODUCTS

### 2.1 METALS, GENERAL

- A. Metal Surfaces, General: Provide materials with smooth, flat surfaces unless otherwise indicated. For metal fabrications exposed to view in the completed Work, provide materials without seam marks, roller marks, rolled trade names, or blemishes.

### 2.2 FERROUS METALS

- A. Steel Plates, Shapes, and Bars: ASTM A 36/A 36M.

### 2.3 NONFERROUS METALS

- A. Aluminum Plate and Sheet: ASTM B 209, Alloy 6061-T6.
- B. Aluminum Extrusions: ASTM B 221, Alloy 6063-T6.
- C. Aluminum-Alloy Rolled Tread Plate: ASTM B 632/B 632M, Alloy 6061-T6.
- D. Aluminum Castings: ASTM B 26/B 26M, Alloy 443.0-F.

### 2.4 FASTENERS

- A. General: Unless otherwise indicated, provide Type 304 stainless-steel fasteners for exterior use and zinc-plated fasteners with coating complying with ASTM B 633 or ASTM F 1941, Class Fe/Zn 5, at exterior walls. Select fasteners for type, grade, and class required.
  - 1. Provide stainless-steel fasteners for fastening aluminum.
  - 2. Provide stainless-steel fasteners for fastening stainless steel.
  - 3. Provide stainless-steel fasteners for fastening nickel silver.
- B. Stainless-Steel Bolts and Nuts: Regular hexagon-head annealed stainless-steel bolts, ASTM F 593 (ASTM F 738M); with hex nuts, ASTM F 594 (ASTM F 836M); and, where indicated, flat washers; Alloy Group 1.
- C. Anchor Bolts: ASTM F 1554, Grade 36, of dimensions indicated; with nuts, ASTM A 563; and, where indicated, flat washers.
  - 1. Hot-dip galvanize or provide mechanically deposited, zinc coating where item being fastened is indicated to be galvanized.
- D. Eyebolts: ASTM A 489.
- E. Machine Screws: ASME B18.6.3.
- F. Lag Screws: ASME B18.2.1.

- G. Wood Screws: Flat head, ASME B18.6.1.
- H. Plain Washers: Round, ASME B18.22.1.
- I. Lock Washers: Helical, spring type, ASME B18.21.1.
- J. Anchors, General: Anchors capable of sustaining, without failure, a load equal to six times the load imposed when installed in unit masonry and four times the load imposed when installed in concrete, as determined by testing according to ASTM E 488, conducted by a qualified independent testing agency.
- K. Cast-in-Place Anchors in Concrete: Either threaded type or wedge type unless otherwise indicated; galvanized ferrous castings, either ASTM A 47/A 47M malleable iron or ASTM A 27/A 27M cast steel. Provide bolts, washers, and shims as needed, all hot-dip galvanized per ASTM F 2329.
- L. Post-Installed Anchors: Torque-controlled expansion anchors.
  - 1. Material for Exterior Locations and Where Stainless Steel is Indicated: Alloy Group 1 stainless-steel bolts, ASTM F 593, and nuts, ASTM F 594.
- M. Slotted-Channel Inserts: Cold-formed, hot-dip galvanized-steel box channels (struts) complying with MFMA-4, 1-5/8 by 7/8 inches by length indicated with anchor straps or studs not less than 3 inches long at not more than 8 inches o.c. Provide with temporary filler and tee-head bolts, complete with washers and nuts, all zinc-plated to comply with ASTM B 633, Class Fe/Zn 5, as needed for fastening to inserts.

## 2.5 MISCELLANEOUS MATERIALS

- A. Welding Rods and Bare Electrodes: Select according to AWS specifications for metal alloy welded.
- B. Low-Emitting Materials: Paints and coatings shall comply with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."
- C. Epoxy Zinc-Rich Primer: Complying with MPI#20 and compatible with topcoat.
- D. Galvanizing Repair Paint: High-zinc-dust-content paint complying with SSPC-Paint 20 and compatible with paints specified to be used over it.
- E. Nonshrink, Metallic Grout: Factory-packaged, ferrous-aggregate grout complying with ASTM C 1107, specifically recommended by manufacturer for heavy-duty loading applications.
- F. Nonshrink, Nonmetallic Grout: Factory-packaged, nonstaining, noncorrosive, nongaseous grout complying with ASTM C 1107. Provide grout specifically recommended by manufacturer for interior and exterior applications.

## 2.6 FABRICATION, GENERAL

- A. Shop Assembly: Preassemble items in the shop to greatest extent possible. Disassemble units only as necessary for shipping and handling limitations. Use connections that maintain structural value of joined pieces. Clearly mark units for reassembly and coordinated installation.
- B. Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges to a radius of approximately 1/32 inch unless otherwise indicated. Remove sharp or rough areas on exposed surfaces.
- C. Form bent-metal corners to smallest radius possible without causing grain separation or otherwise impairing work.
- D. Form exposed work with accurate angles and surfaces and straight edges.
- E. Weld corners and seams continuously to comply with the following:
  - 1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
  - 2. Obtain fusion without undercut or overlap.
  - 3. Remove welding flux immediately.
  - 4. At exposed connections, finish exposed welds and surfaces smooth and blended so no roughness shows after finishing and contour of welded surface matches that of adjacent surface.
- F. Form exposed connections with hairline joints, flush and smooth, using concealed fasteners or welds where possible. Where exposed fasteners are required, use Phillips flat-head (countersunk) fasteners unless otherwise indicated. Locate joints where least conspicuous.
- G. Fabricate seams and other connections that will be exposed to weather in a manner to exclude water. Provide weep holes where water may accumulate.
- H. Cut, reinforce, drill, and tap metal fabrications as indicated to receive finish hardware, screws, and similar items.
- I. Provide for anchorage of type indicated; coordinate with supporting structure. Space anchoring devices to secure metal fabrications rigidly in place and to support indicated loads.
  - 1. Where units are indicated to be cast into concrete or built into masonry, equip with integrally welded steel strap anchors, 1/8 by 1-1/2 inches, with a minimum 6-inch embedment and 2-inch hook, not less than 8 inches from ends and corners of units and 24 inches o.c., unless otherwise indicated.

## 2.7 MISCELLANEOUS FRAMING AND SUPPORTS

- A. General: Provide steel framing and supports not specified in other Sections as needed to complete the Work.

- B. Fabricate units from steel shapes, plates, and bars of welded construction unless otherwise indicated. Fabricate to sizes, shapes, and profiles indicated and as necessary to receive adjacent construction.
  - 1. Fabricate units from slotted channel framing where indicated.
  - 2. Furnish inserts for units installed after concrete is placed.
- C. Fabricate steel girders for wood frame construction from continuous steel shapes of sizes indicated.
  - 1. Provide bearing plates welded to beams where indicated.
  - 2. Drill or punch girders and plates for field-bolted connections where indicated.
  - 3. Where wood nailers are attached to girders with bolts or lag screws, drill or punch holes at 24 inches o.c.
- D. Galvanize miscellaneous framing and supports where indicated.
- E. Furnish wedge-type concrete inserts, complete with fasteners, to attach shelf angles to cast-in-place concrete.

## 2.8 MISCELLANEOUS STEEL TRIM

- A. Unless otherwise indicated, fabricate units from steel shapes, plates, and bars of profiles shown with continuously welded joints and smooth exposed edges. Miter corners and use concealed field splices where possible.
- B. Provide cutouts, fittings, and anchorages as needed to coordinate assembly and installation with other work.
  - 1. Provide with integrally welded steel strap anchors for embedding in concrete or masonry construction.
- C. Prime exterior miscellaneous steel trim with zinc-rich primer.

## 2.9 STEEL WELD PLATES AND ANGLES

- A. Provide steel weld plates and angles not specified in other Sections, for items supported from concrete construction as needed to complete the Work. Provide each unit with no fewer than two integrally welded steel strap anchors for embedding in concrete.

## 2.10 FINISHES, GENERAL

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.
- B. Finish metal fabrications after assembly with a durable powdercoat.
- C. Finish exposed surfaces to remove tool and die marks and stretch lines, and to blend into surrounding surface.

## 2.11 STEEL AND IRON FINISHES

- A. Shop prime iron and steel items unless otherwise indicated.
  - 1. Shop prime with zinc-rich primer.
- B. Preparation for Shop Priming: Prepare surfaces to comply with SSPC-SP 6/NACE No. 3, "Commercial Blast Cleaning."
- C. Shop Priming: Apply shop primer to comply with SSPC-PA 1, "Paint Application Specification No. 1: Shop, Field, and Maintenance Painting of Steel," for shop painting.
  - 1. Stripe paint corners, crevices, bolts, welds, and sharp edges.
- D. Retaining Wall Decorative Metal Banding
  - 1. Baked-Enamel or Powder-Coat Finish: AAMA 2603 except with a minimum dry film thickness of 1.5 mils (0.04 mm). Comply with coating manufacturer's written instructions for cleaning, conversion coating, and applying and baking finish. (Color as selected from manufacturers' full range).

## PART 3 - EXECUTION

### 3.1 INSTALLATION, GENERAL

- A. Cutting, Fitting, and Placement: Perform cutting, drilling, and fitting required for installing metal fabrications. Set metal fabrications accurately in location, alignment, and elevation; with edges and surfaces level, plumb, true, and free of rack; and measured from established lines and levels.
- B. Fit exposed connections accurately together to form hairline joints. Weld connections that are not to be left as exposed joints but cannot be shop welded because of shipping size limitations. Do not weld, cut, or abrade surfaces of exterior units that have been hot-dip galvanized after fabrication and are for bolted or screwed field connections.
- C. Field Welding: Comply with the following requirements:
  - 1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
  - 2. Obtain fusion without undercut or overlap.
  - 3. Remove welding flux immediately.
  - 4. At exposed connections, finish exposed welds and surfaces smooth and blended so no roughness shows after finishing and contour of welded surface matches that of adjacent surface.
- D. Fastening to In-Place Construction: Provide anchorage devices and fasteners where metal fabrications are required to be fastened to in-place construction. Provide threaded fasteners for use with concrete and masonry inserts, toggle bolts, through bolts, lag screws, wood screws, and other connectors.

- E. Provide temporary bracing or anchors in formwork for items that are to be built into concrete, masonry, or similar construction.
- F. Corrosion Protection: Coat concealed surfaces of aluminum that will come into contact with grout, concrete, masonry, wood, or dissimilar metals with the following:
  - 1. Cast Aluminum: Heavy coat of bituminous paint.
  - 2. Extruded Aluminum: Two coats of clear lacquer.

### 3.2 INSTALLING MISCELLANEOUS FRAMING AND SUPPORTS

- A. General: Install framing and supports to comply with requirements of items being supported, including manufacturers' written instructions and requirements indicated on Shop Drawings.

### 3.3 ADJUSTING AND CLEANING

- A. Touchup Painting: Immediately after erection, clean field welds, bolted connections, and abraded areas. Paint uncoated and abraded areas with the same material as used for shop painting to comply with SSPC-PA 1 for touching up shop-painted surfaces.
  - 1. Apply by brush or spray to provide a minimum 2.0-mil dry film thickness.

END OF SECTION 055000

## SECTION 092216 - NON-STRUCTURAL METAL FRAMING

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General, and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section Includes:

- 1. Non-load-bearing steel framing systems for interior gypsum board assemblies.

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.

### PART 2 - PRODUCTS

#### 2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Test-Response Characteristics: For fire-resistance-rated assemblies that incorporate non-load-bearing steel framing, provide materials and construction identical to those tested in assembly indicated, according to ASTM E 119 by an independent testing agency.
- B. STC-Rated Assemblies: For STC-rated assemblies, provide materials and construction identical to those tested in assembly indicated, according to ASTM E 90 and classified according to ASTM E 413 by an independent testing agency.

#### 2.2 FRAMING SYSTEMS

- A. Framing Members, General: Comply with ASTM C 754 for conditions indicated.
  - 1. Steel Sheet Components: Comply with ASTM C 645 requirements for metal unless otherwise indicated.
  - 2. Protective Coating: Hot-dip galvanized unless otherwise indicated.
- B. Studs and Runners: No stippled, knurl or slotted studs will be accepted.
  - 1. Steel Studs and Runners:
    - a. Stud Metal Thickness : galvanize 18 gage

- b. Soffit & Fascia Thickness: galvanized 18 gage
  - c. Depth: As indicated on Drawings
  - d. No dimpled steel framing members are to be used on this project
- C. Firestop Tracks: Top runner manufactured to allow partition heads to expand and contract with movement of the structure while maintaining continuity of fire-resistance-rated assembly indicated; in thickness not less than indicated for studs and in width to accommodate depth of studs.
  - 1. Products: Subject to compliance with requirements, provide one of the following:
    - a. Fire Trak Corp.; Fire Trak System attached to studs with Fire Trak Posi Klip.
    - b. Grace Construction Products; FlameSafe FlowTrak System.
- D. Flat Strap and Backing Plate: Steel sheet for blocking and bracing in length and width indicated.
  - 1. Minimum Base-Metal Thickness: 0.033 inch (0.84 mm)
- E. Cold-Rolled Channel Bridging: Steel, 0.053-inch (1.34-mm) minimum base-metal thickness, with minimum 1/2-inch- (13-mm-) wide flanges.
  - 1. Depth: Minimum as indicated on the drawings
  - 2. Clip Angle: Not less than 1-1/2 by 1-1/2 inches (38 by 38 mm), 0.068-inch- (1.72-mm-) thick, galvanized steel.
- F. Hat-Shaped, Rigid Furring Channels: ASTM C 645.
  - 1. Minimum Base-Metal Thickness: 0.033 inch (0.84 mm)
  - 2. Depth: 7/8 inch (22.2 mm) or as indicated on Drawings
- G. Cold-Rolled Furring Channels: 0.053-inch (1.34-mm) uncoated-steel thickness, with minimum 1/2-inch- (13-mm-) wide flanges.
  - 1. Depth: As indicated on Drawings
  - 2. Furring Brackets: Adjustable, corrugated-edge type of steel sheet with minimum uncoated-steel thickness of 0.033 inch (0.8 mm).
  - 3. Tie Wire: ASTM A 641/A 641M, Class 1 zinc coating, soft temper, 0.062-inch- (1.59-mm-) diameter wire, or double strand of 0.048-inch- (1.21-mm-) diameter wire.
- H. Z-Shaped Furring: With slotted or non-slotted web, face flange of 1-1/4 inches (32 mm), wall attachment flange of 7/8 inch (22 mm), minimum uncoated-metal thickness of 0.018 inch (0.45 mm), and depth required to fit insulation thickness indicated.

## 2.3 AUXILIARY MATERIALS

- A. General: Provide auxiliary materials that comply with referenced installation standards.
  - 1. Fasteners for Metal Framing: Of type, material, size, corrosion resistance, holding power, and other properties required to fasten steel members to substrates.

- B. Isolation Strip at Exterior Walls: Provide one of the following:
  - 1. Foam Gasket: Adhesive-backed, closed-cell vinyl foam strips that allow fastener penetration without foam displacement, 1/8 inch (3.2 mm) thick, in width to suit steel stud size.
- C. Fasteners: Provide fasteners of type, material, size corrosion resistance, holding power, and other properties required to fasten steel framing and furring members securely to substrates involved .
- D. Post Installed Anchors in Concrete: Expansion anchors fabricated from corrosion resistant materials, with holes or loops for attaching hanger wires , and with capability to sustain , without failure, a load equal to 5 times that imposed by ceiling construction, as determined by testing according to ASTM E 488 conducted by qualified independent testing agency.
- E. Power Actuated Fasteners in Concrete: Fastener capable of type suitable for application indicated, fabricated from corrosion resistant materials with clips for attaching hangers, and with capability to sustain, without failure, a load equal to 10 times that imposed by ceiling construction, as determined by testing according to ASTM E 1190 conducted by qualified independent testing agency.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine areas and substrates, with Installer present, and including welded hollow-metal frames, cast-in anchors, and structural framing, for compliance with requirements and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Suspended Assemblies: Coordinate installation of suspension systems with installation of overhead structure to ensure that inserts and other provisions for anchorages to building structure have been installed to receive hangers at spacing required to support the Work and that hangers will develop their full strength.
  - 1. Furnish concrete inserts and other devices indicated to other trades for installation in advance of time needed for coordination and construction.
- B. Coordination with Sprayed Fire-Resistive Materials:
  - 1. Before sprayed fire-resistive materials are applied, attach offset anchor plates or ceiling runners (tracks) to surfaces indicated to receive sprayed fire-resistive materials. Where offset anchor plates are required, provide continuous plates fastened to building structure not more than 24 inches (610 mm) o.c.

2. After sprayed fire-resistive materials are applied, remove them only to extent necessary for installation of non-load-bearing steel framing. Do not reduce thickness of fire-resistive materials below that required for fire-resistance ratings indicated. Protect adjacent fire-resistive materials from damage.

### 3.3 INSTALLATION, GENERAL

- A. Installation Standard: ASTM C 754.
  1. Gypsum Plaster Assemblies: Also comply with requirements in ASTM C 841 that apply to framing installation.
  2. Portland Cement Plaster Assemblies: Also comply with requirements in ASTM C 1063 that apply to framing installation.
  3. Gypsum Board Assemblies: Also comply with requirements in ASTM C 840 that apply to framing installation.
- B. Install supplementary framing, and blocking to support fixtures, equipment services, heavy trim, grab bars, toilet accessories, furnishings, or similar construction.
- C. Install bracing at terminations in assemblies.
- D. Do not bridge building control and expansion joints with non-load-bearing steel framing members. Frame both sides of joints independently.

### 3.4 INSTALLING FRAMED ASSEMBLIES

- A. Install framing system components according to spacings indicated, but not greater than spacings required by referenced installation standards for assembly types.
  1. Single-Layer Application: 16 inches (406 mm) o.c.. unless otherwise indicated.
  2. Tile Backing Panels: 16 inches (406 mm) o.c. unless otherwise indicated.
- B. Where studs are installed directly against exterior masonry walls or dissimilar metals at exterior walls, install isolation strip between studs and exterior wall.
- C. Install studs so flanges within framing system point in same direction.
- D. Install tracks (runners) at floors and overhead supports. Extend framing full height to structural supports or substrates above suspended ceilings except where partitions are indicated to terminate at suspended ceilings. Continue framing around ducts penetrating partitions above ceiling.
  1. Door Openings: Screw vertical studs at jambs to jamb anchor clips on door frames; install runner track section (for cripple studs) at head and secure to jamb studs.
    - a. Install two studs at each jamb unless otherwise indicated.
    - b. Install cripple studs at head adjacent to each jamb stud, with a minimum 1/2-inch (13-mm) clearance from jamb stud to allow for installation of control joint in finished assembly.

- c. Extend jamb studs through suspended ceilings and attach to underside of overhead structure.
- 2. Other Framed Openings: Frame openings other than door openings the same as required for door openings unless otherwise indicated. Install framing below sills of openings to match framing required above door heads.
- 3. Fire-Resistance-Rated Partitions: Install framing to comply with fire-resistance-rated assembly indicated and support closures and to make partitions continuous from floor to underside of solid structure.
  - a. Firestop Track: Where indicated, install to maintain continuity of fire-resistance-rated assembly indicated.
- 4. Sound-Rated Partitions: Install framing to comply with sound-rated assembly indicated.
- E. Direct Furring:
  - 1. Attach to concrete or masonry with stub nails, screws designed for masonry attachment, or powder-driven fasteners spaced 24 inches (610 mm) o.c.
- F. Z-Furring Members:
  - 1. Except at exterior corners, securely attach narrow flanges of furring members to wall with concrete stub nails, screws designed for masonry attachment, or powder-driven fasteners spaced 24 inches (610 mm) o.c.
  - 2. At exterior corners, attach wide flange of furring members to wall with short flange extending beyond corner; on adjacent wall surface, screw-attach short flange of furring channel to web of attached channel. At interior corners, space second member no more than 12 inches (305 mm) from corner and cut insulation to fit.
- G. Installation Tolerance: Install each framing member so fastening surfaces vary not more than 1/8 inch (3 mm) from the plane formed by faces of adjacent framing.

END OF SECTION 092216

## SECTION 092900 - GYPSUM BOARD

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General, and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section Includes:
  - 1. Interior gypsum board.
- B. Related Requirements:
  - 1. Division 09 Section "Non-Structural Metal Framing" for non-structural framing and suspension systems that support gypsum board panels.
- C. This section has been included to rebuild existing partitions which have been removed in the demolition or construction phases and to patch and repair any partitions which were not removed but were damaged during demolition and construction phases.

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Samples: For the following products:
  - 1. Trim Accessories: Full-size Sample in 12-inch- (300-mm-) long length for each trim accessory indicated.

#### 1.4 DELIVERY, STORAGE AND HANDLING

- A. Deliver materials in original packages, containers, or bundles bearing brand name and identification of manufacturer.
- B. Store materials inside under cover and keep them dry and protected against weather, condensation, direct sunlight, construction traffic, and other potential causes of damage. Stack panels flat and supported on risers on a flat platform to prevent sagging.

#### 1.5 FIELD CONDITIONS

- A. Environmental Limitations: Comply with ASTM C 840 requirements or gypsum board manufacturer's written recommendations, whichever are more stringent.

- B. Do not install paper-faced gypsum panels until installation areas are enclosed and conditioned.
- C. Do not install panels that are wet, those that are moisture damaged, and those that are mold damaged.
  - 1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
  - 2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.
- D. Ventilation: Ventilate building spaces as required to dry joint treatment materials. Avoid drafts during hot, dry weather to prevent finishing materials from drying too rapidly.

## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. Fire-Resistance-Rated Assemblies: For fire-resistance-rated assemblies, provide materials and construction identical to those tested in assembly indicated according to ASTM E 119 by an independent testing agency.
- B. STC-Rated Assemblies: For STC-rated assemblies, provide materials and construction identical to those tested in assembly indicated according to ASTM E 90 and classified according to ASTM E 413 by an independent testing agency.
- C. Recycled Content: Shall contain 95% recycled content.

### 2.2 GYPSUM BOARD, GENERAL

- A. Size: Provide maximum lengths and widths available that will minimize joints in each area and that correspond with support system indicated.

### 2.3 INTERIOR GYPSUM BOARD

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
  - 1. Georgia-Pacific Gypsum LLC.
  - 2. National Gypsum Company, Gold Bond Building Products Division.
  - 3. USG Corporation.
- B. Gypsum Board, Type X: ASTM C 1396/C 1396M, where indicated for fire resistance assemblies and where sag resistance is required for ceiling/soffit installations.
  - 1. Thickness: 5/8 inch (15.9 mm).
  - 2. Long Edges: Tapered
- C. Abuse-Resistant Gypsum Board: ASTM C 1629/C 1629M, Level 3.

1. Core: 5/8 inch (15.9 mm), Type X.
  2. Long Edges: Tapered.
  3. Mold Resistance: ASTM D 3273, score of 10.
  4. To be used in all wall installations.
- D. Moisture- and Mold-Resistant Gypsum Board: ASTM C 1396/C 1396M. With moisture- and mold-resistant core and paper surfaces.
1. Core: 5/8 inch (15.9 mm), Type X.
  2. Long Edges: Tapered.
  3. Mold Resistance: ASTM D 3273, score of 10.
  4. Install in all Toilet Rooms.

## 2.4 TRIM ACCESSORIES

- A. Interior Trim: ASTM C 1047.
1. Material: Galvanized or aluminum-coated steel sheet,
  2. Shapes:
    - a. Corner bead.
    - b. L-Bead: L-shaped; exposed long flange receives joint compound.
    - c. Expansion (control) joint.
- B. Aluminum Trim: Extruded accessories of profiles and dimensions indicated.
1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
    - a. Fry Reglet Corp.
    - b. Gordon, Inc.
    - c. Pittcon Industries.
  2. Aluminum: Alloy and temper with not less than the strength and durability properties of ASTM B 221 (ASTM B 221M), Alloy 6063-T5.
  3. Finish: Corrosion-resistant primer compatible with joint compound and finish materials specified.

## 2.5 JOINT TREATMENT MATERIALS

- A. General: Comply with ASTM C 475/C 475M.
- B. Joint Tape:
1. Interior Gypsum Board: Paper.
- C. Joint Compound for Interior Gypsum Board: For each coat use formulation that is compatible with other compounds applied on previous or for successive coats.

1. Pre-filling: At open joints, rounded or beveled panel edges, and damaged surface areas, use setting-type taping compound.
2. Embedding and First Coat: For embedding tape and first coat on joints, fasteners, and trim flanges, use setting-type taping compound.
  - a. Use setting-type compound for installing paper-faced metal trim accessories.
3. Fill Coat: For second coat, use setting-type, sandable topping compound.
4. Finish Coat: For third coat, use setting-type, sandable topping Skim Coat: For final coat of Level 5 finish, use high-build interior coating product designed for application by airless sprayer and to be used instead of skim coat to produce Level 5 finish.

## 2.6 AUXILIARY MATERIALS

- A. General: Provide auxiliary materials that comply with referenced installation standards and manufacturer's written recommendations.
- B. Steel Drill Screws: ASTM C 1002, unless otherwise indicated.
  1. Use screws complying with ASTM C 954 for fastening panels to steel members from 0.033 to 0.112 inch (0.84 to 2.84 mm) thick.
  2. For fastening cementitious backer units, use screws of type and size recommended by panel manufacturer.
- C. Acoustical Joint Sealant: Manufacturer's standard nonsag, paintable, nonstaining latex sealant complying with ASTM C 834. Product effectively reduces airborne sound transmission through perimeter joints and openings in building construction as demonstrated by testing representative assemblies according to ASTM E 90.
  1. Products: Provide acoustical sealant for exposed and concealed joints.
    - a. Pecora Corporation AC -20 FTR Acoustical and Insulation Sealant.
    - b. USG Corporation; SHEETROCK Acoustical Sealant.
    - c. Tremco, Inc.: Tremco Acoustical Sealant.
- D. Thermal Insulation: As specified in Division 07 Section "Thermal Insulation."
  1. Sound-attenuation blankets where indicated at "partitions types" on the drawings

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine areas and substrates including welded hollow-metal frames and framing, with Installer present, for compliance with requirements and other conditions affecting performance.
- B. Examine panels before installation. Reject panels that are wet, moisture damaged, and mold damaged.

- C. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 APPLYING AND FINISHING PANELS, GENERAL

- A. Comply with ASTM C 840.
- B. Install ceiling panels across framing to minimize the number of abutting end joints and to avoid abutting end joints in central area of each ceiling. Stagger abutting end joints of adjacent panels not less than one framing member.
- C. Install panels with face side out. Butt panels together for a light contact at edges and ends with not more than 1/16 inch (1.5 mm) of open space between panels. Do not force into place.
- D. Locate edge and end joints over supports, except in ceiling applications where intermediate supports or gypsum board back-blocking is provided behind end joints. Do not place tapered edges against cut edges or ends. Stagger vertical joints on opposite sides of partitions. Do not make joints other than control joints at corners of framed openings.
- E. Form control and expansion joints with space between edges of adjoining gypsum panels.
- F. Cover both faces of support framing with gypsum panels in concealed spaces (above ceilings, etc.), except in chases braced internally.
  - 1. Unless concealed application is indicated or required for sound, fire, air, or smoke ratings, coverage may be accomplished with scraps of not less than 8 sq. ft. (0.7 sq. m) in area.
  - 2. Fit gypsum panels around ducts, pipes, and conduits.
  - 3. Where partitions intersect structural members projecting below underside of floor/roof slabs and decks, cut gypsum panels to fit profile formed by structural members; allow 1/4- to 3/8-inch- (6.4- to 9.5-mm-) wide joints to install sealant.
- G. Isolate perimeter of gypsum board applied to non-load-bearing partitions at structural abutments, except floors. Provide 1/4- to 1/2-inch- (6.4- to 12.7-mm-) wide spaces at these locations and trim edges with edge trim where edges of panels are exposed. Seal joints between edges and abutting structural surfaces with acoustical sealant.
- H. Attachment to Steel Framing: Attach panels so leading edge or end of each panel is attached to open (unsupported) edges of stud flanges first.
- I. Wood Framing: Install gypsum panels over wood framing, with floating internal corner construction. Do not attach gypsum panels across the flat grain of wide-dimension lumber, including floor joists and headers. Float gypsum panels over these members or provide control joints to counteract wood shrinkage.
- J. STC-Rated Assemblies: Seal construction at perimeters, behind control joints, and at openings and penetrations with a continuous bead of acoustical sealant. Install acoustical sealant at both faces of partitions at perimeters and through penetrations. Comply with ASTM C 919 and with manufacturer's written recommendations for locating edge trim and closing off sound-flanking paths around or through assemblies, including sealing partitions above acoustical ceilings.

### 3.3 APPLYING INTERIOR GYPSUM BOARD

- A. Install interior gypsum board in the following locations:
  - 1. Wallboard Type: Type X
  - 2. Abuse-Resistant Type: As indicated on Drawings
  - 3. Moisture- and Mold-Resistant Type: As indicated on Drawings
- B. Single-Layer Application:
  - 1. On ceilings, apply gypsum panels before wall/partition board application to greatest extent possible and at right angles to framing unless otherwise indicated.
  - 2. On partitions/walls, apply gypsum panels horizontally (perpendicular to framing) unless otherwise indicated or required by fire-resistance-rated assembly, and minimize end joints.
    - a. Stagger abutting end joints not less than one framing member in alternate courses of panels.
    - b. At stairwells and other high walls, install panels horizontally unless otherwise indicated or required by fire-resistance-rated assembly.
  - 3. On Z-furring members, apply gypsum panels vertically (parallel to framing) with no end joints. Locate edge joints over furring members.
  - 4. Fastening Methods: Apply gypsum panels to supports with steel drill screws.
- C. Multilayer Application:
  - 1. On ceilings, apply gypsum board indicated for base layers before applying face layers on walls/partitions; apply face layers in same sequence. Apply base layers at right angles to framing members and offset face-layer joints one framing member, 16 inches (400 mm) minimum, from parallel base-layer joints, unless otherwise indicated or required by fire-resistance-rated assembly.
  - 2. On partitions/walls, apply gypsum board indicated for base layers and face layers vertically (parallel to framing) with joints of base layers located over stud or furring member and face-layer joints offset at least one stud or furring member with base-layer joints, unless otherwise indicated or required by fire-resistance-rated assembly. Stagger joints on opposite sides of partitions.
  - 3. On Z-furring members, apply base layer vertically (parallel to framing) and face layer either vertically (parallel to framing) or horizontally (perpendicular to framing) with vertical joints offset at least one furring member. Locate edge joints of base layer over furring members.
  - 4. Fastening Methods: Fasten base layers and face layers separately to supports with screws

### 3.4 INSTALLING TRIM ACCESSORIES

- A. General: For trim with back flanges intended for fasteners, attach to framing with same fasteners used for panels. Otherwise, attach trim according to manufacturer's written instructions.
- B. Interior Trim: Install in the following locations:

1. Corner bead: Use at all outside corners unless otherwise indicated on the Drawings
2. L-Bead: Use where indicated

- C. Aluminum Trim: Install in locations indicated on Drawings

### 3.5 FINISHING GYPSUM BOARD

- A. General: Treat gypsum board joints, interior angles, edge trim, control joints, penetrations, fastener heads, surface defects, and elsewhere as required to prepare gypsum board surfaces for decoration. Promptly remove residual joint compound from adjacent surfaces.
- B. Prefill open joints, rounded or beveled edges, and damaged surface areas.
- C. Apply joint tape over gypsum board joints, except for trim products specifically indicated as not intended to receive tape.
- D. Gypsum Board Finish Levels: Finish panels to levels indicated below and according to ASTM C 840:
1. Level 5: At panel surfaces that will be exposed to view unless otherwise indicated.
    - a. Primer and its application to surfaces are specified in other Division 09 Sections.
  2. Level 1: For concealed areas unless a higher level of finish is required for fire-resistance-rated assemblies and sound rated assemblies.

### 3.6 PROTECTION

- A. Protect adjacent surfaces from drywall compound and promptly remove from floors and other non-drywall surfaces. Repair surfaces stained, marred, or otherwise damaged during drywall application.
- B. Protect installed products from damage from weather, condensation, direct sunlight, construction, and other causes during remainder of the construction period.
- C. Remove and replace panels that are wet, moisture damaged, and mold damaged.
1. Indications that panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, or irregular shape.
  2. Indications that panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 092900

## SECTION 09 9123 - INTERIOR PAINTING

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General, Special and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section includes surface preparation and the application of paint systems on the following interior substrates:
  - 1. Steel.
  - 2. Wood.
  - 3. Gypsum board.
  - 4. Plaster.
- B. All new partitions are to receive a primer and two finish coats of paint. All existing partitions which have not been removed are to receive two finish coats of paint. Any damaged areas on existing walls are to be repaired and those areas to receive a primer prior to two finish coats of paint.

#### 1.3 DEFINITIONS

- A. Gloss Level 1: Not more than 5 units at 60 degrees and 10 units at 85 degrees, according to ASTM D 523.
- B. Gloss Level 2: Not more than 10 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- C. Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- D. Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D 523.
- E. Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D 523.
- F. Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D 523.
- G. Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D 523.

#### 1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include preparation requirements and application instructions.
- B. Samples for Initial Selection: For each type of topcoat product.

#### 1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials, from the same product run, that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
  - 1. Paint: 5 percent, but not less than 1 gal. (3.8 L) of each material and color applied.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F (7 deg C).
  - 1. Maintain containers in clean condition, free of foreign materials and residue.
  - 2. Remove rags and waste from storage areas daily.

#### 1.7 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F (10 and 35 deg C).
- B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.

### PART 2 - PRODUCTS

#### 2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
  - 1. Sherwin-Williams Company (The).
  - 2. Benjamin Moore & Co.
  - 3. PPG Architectural Finishes, Inc.

#### 2.2 PAINT, GENERAL

- A. Material Compatibility:
  - 1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.

2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.

B. Colors: Match Architect's samples. Walls will have two colors and frames will have one color.

## 2.3 SOURCE QUALITY CONTROL

A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure:

1. Owner will engage the services of a qualified testing agency to sample paint materials. Contractor will be notified in advance and may be present when samples are taken. If paint materials have already been delivered to Project site, samples may be taken at Project site. Samples will be identified, sealed, and certified by testing agency.
2. Testing agency will perform tests for compliance with product requirements.
3. Owner may direct Contractor to stop applying coatings if test results show materials being used do not comply with product requirements. Contractor shall remove noncomplying paint materials from Project site, pay for testing, and repaint surfaces painted with rejected materials. Contractor will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
- B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
  1. Gypsum Board: 12 percent.
  2. Plaster: 12 percent.
- C. Gypsum Board Substrates: Verify that finishing compound is sanded smooth.
- D. Plaster Substrates: Verify that plaster is fully cured.
- E. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
- F. Proceed with coating application only after unsatisfactory conditions have been corrected.
  1. Application of coating indicates acceptance of surfaces and conditions.

### 3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates indicated.
- B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
  - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
- C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.
  - 1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.
- D. Concrete Substrates: Remove release agents, curing compounds, efflorescence, and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces to be painted exceeds that permitted in manufacturer's written instructions.
- E. Masonry Substrates: Remove efflorescence and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces or mortar joints exceed that permitted in manufacturer's written instructions.
- F. Steel Substrates: Remove rust, loose mill scale, and shop primer, if any. Clean using methods recommended in writing by paint manufacturer, but not less than the following:
  - 1. SSPC-SP 2, "Hand Tool Cleaning."
  - 2. SSPC-SP 3, "Power Tool Cleaning."
  - 3. SSPC-SP 7/NACE No. 4, "Brush-off Blast Cleaning."
  - 4. SSPC-SP 11, "Power Tool Cleaning to Bare Metal."
- G. Shop-Primed Steel Substrates: Clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with the same material as used for shop priming to comply with SSPC-PA 1 for touching up shop-primed surfaces.
- H. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.
- I. Aluminum Substrates: Remove loose surface oxidation.
- J. Wood Substrates:
  - 1. Scrape and clean knots, and apply coat of knot sealer before applying primer.
  - 2. Sand surfaces that will be exposed to view, and dust off.
  - 3. Prime edges, ends, faces, undersides, and backsides of wood.
  - 4. After priming, fill holes and imperfections in the finish surfaces with putty or plastic wood filler. Sand smooth when dried.

### 3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions and to recommendations in "MPI Manual."
  - 1. Use applicators and techniques suited for paint and substrate indicated.
  - 2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
  - 3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.
  - 4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
  - 5. Primers specified in painting schedules may be omitted on items that are factory primed or factory finished if acceptable to topcoat manufacturers.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

### 3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
  - 1. Contractor shall touch up and restore painted surfaces damaged by testing.
  - 2. If test results show that dry film thickness of applied paint does not comply with paint manufacturer's written recommendations, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with paint manufacturer's written recommendations.

### 3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.

- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

### 3.6 INTERIOR PAINTING SCHEDULE

A. Steel Substrates:

SW	Primer:	ProCryl Universal Metal Primer
	1st coat:	DTM Acrylic finish
	2nd coat:	DTM Acrylic finish
BM	Primer:	M04 Acrylic Metal Primer
	1st coat:	M28 DTM Gloss Enamel
	2nd coat:	M28 DTM Gloss Enamel
PPG	Primer:	DTM Primer 90-172
	1st coat:	DTM Finish 90-172
	2nd coat:	DTM Finish 90-172

B. Gypsum Board, Plaster Substrates:

1. Water-base epoxy, semi-gloss.

SW	Primer:	PrepRite Primer
	1st coat:	ProIndustrial Pre-Catalyzed WasterBased Epoxy
	2nd coat:	ProIndustrial Pre-Catalyzed WasterBased Epoxy
BM	Primer:	Latex QD Sealer Primer
	1st coat:	Acrylic Epoxy m43m44
	2nd coat:	Acrylic Epoxy m43m44
PPG	Primer:	QD Latex Primer Sealer
	1st coat:	PittGlaze HS Acrylic Epoxy, 16551
	2nd coat:	PittGlaze HS Acrylic Epoxy, 16551

2. Acrylic Latex Semi-Gloss

SW	Primer:	PrepRite Primer
	1st coat:	ProMar 200 Latex Semi-gloss
	2nd coat:	ProMar 200 LatexSemi-Gloss
BM	Primer:	Latex QD Sealer Primer

1st coat: Regal AquaGlo  
2nd coat: Regal Aqua Glo

PPG  
Primer: QD Latex Primer Sealer  
1st coat: Satin Hide Latex Low Lustre  
2nd coat: Satin Hide Latex Low Lustre

END OF SECTION 09 9123

PROJECT ADDRESS  
400 Stanton Christiana Rd  
Newark DE, 19713

<b>MEP ENGINEER</b> <b>FURLOW ASSOCIATES</b> 1206 Society Drive Claymont, DE 19703  302.748.3515 302.748.9799 (FAX)	<b>CIVIL ENGINEER</b> <b>DUFFIELD ASSOCIATES</b> 5400 Limestone Rd Wilmington, DE 19808  302.239.6634	<b>LANDSCAPE</b> <b>SIKORA KELLAS APPEL</b> 5 Kings Highway West Suite A Haddonfield, NJ 08033  856.433.6320
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<u>DRAWING LIST</u>										
1	2	3	4	5	6	7	8	9	SHEET NO.	NAME

ABBREVIATIONS		(NOTE: NOT ALL ABBREVIATIONS MAY BE USED)			
Ø	AT	FE	FIRE EXTINGUISHER	PTD	PAINTED
A.B.	ANCHOR BOLT	FEC	FIRE EXTINGUISHER CABINET	PWD	PLYWOOD
A.F.F.	AFOVE FINISH FLOOR	FIN	FINISHED	QT	QUARRY TILE
ACT	ACTUATOR	FLG	FLASHING	R	RISER
ADA	AMERICANS WITH DISABILITIES ACT	FLR/L	FLOOR	R.L.	RAIN LEADER
ALT.	ALTERNATE	FLR/RC	FLOURESCENT	R.O.	ROUGH OPENING
ALUM	ALUMINUM	FND	FOUNDATION	R/RAD	RADIUS
APPROX	APPROXIMATE	FRT	FIRE-TREATED	RO	ROOF DRAIN
ARCH	ARCHITECTURAL	FTG	FOOTING	RM	ROOM
AUTO	AUTOMATIC	G.B.	GRAB BARS	RTU	ROOF TOP UNIT
B.F.F.	BELOW FINISH FLOOR	G.C.	GENERAL CONTRACTOR	SS	STAINLESS STEEL
B.O.	BOTTOM OF	GUNGE	GUTTER	SHT	SHEET
BO	BOARD	GALV	GALVANIZED	SPEC	SPECIFICATIONS
BLDG	BUILDING	GYP BDGWB	GYPSPUM WALL BOARD	SQ	SQUARE
BLK	BLACK	H.B.	HOSE BIB	STL	STEEL
BM	BEAM	H.P.	HIGH POINT	STOR	STORAGE
BRK	BRICK	HALD	HALDIE	STRUC	STRUCTURAL
BRN/BRG	BEARING	HC	HANDICAPPED/HOLLOW CORE	SYST	SYSTEM
CEILING	CEILING	HDCP	HANDICAPPED	TSG	TONGUE AND GROOVE
CELT	CERAMIC TILE	HDW	HARDWARE	TEL	TELEPHONE
CL	CENTERLINE	HGHTH	HEIGHT	TEMP	TEMPERED
CLO	CLOSET	HMM/MTL	HOLLOW METAL	THK	THICKNESS
CML	CONCRETE MASONRY UNIT	HR	HORIZONTAL	TPP	TYPICAL
COL	COLLUM	HR	HOUR	UL	UNDERCUT
CNG	CONCRETE	HWH	HOT WATER HEATER	UNCL	UNLESS NOTED OTHERWISE
CONST	CONSTRUCTION	ID	INSIDE DIAMETER	U.C.	UNDERWRITERS LABORATORY
CONT	CONTINUOUS	IG	INSULATED GLASS	V.B.	VAPOR BARRIER/VINYL COVE BASE
COOR	CORRIDOR	INCL	INCLUDE (I) (ING)	VCT	VINYL COMPOSITION TILE
CT	CERAMIC TILE	INSUL	INSULATION	VERT	VERTICAL
D	DRAIN	INT	INTERIOR	VEST	VESTIBULE
DEM	DEMOPROOFING	INV	INVERT	W	WEST/VEED/WIDTH
DEM	DEMOLISH/DEMOLITION	J.C.	JANITOR'S CLOSET	W	WITH
DF	DRINKING FOUNTAIN	JAN	JANITOR	W/IN	WITHIN
DM	DIAMETER	JT	JOINT	W/O	WITHOUT
DIA	DIMENSION	LP	LOW POINT	WC	WATER CLOSET
DN	DOWN	LAV	LAVATORY	WD	WOOD
DO	DITTO	L	LIGHT		
DR	DOOR	M.O.	MASONRY OPENING		
DS	DOWNSPOUT	M.W.P.	MEMBRANE WATER PROOFING		
DTL	DETAIL	MACH	MACHINE		
DWG	DRAWING	MAS	MASONRY		
E.F.	EXHAUST FAN	MAX	MAXIMUM		
E.P.	ELECTRIC PANEL	MECH	MECHANICAL		
E.W.	EACH WAY	MFR	MANUFACTURER		
EA	EACH	MH	MOUNTING HEIGHT/MAN-HOLE/METAL		
E/EXP./JT.	EXPANSION JOINT	MIN	MINIMUM		
ELEC	ELECTRIC	MISC	MISCELLANEOUS		
ELEV	ELEVATION	MTL	METAL		
EMER	EMERGENCY	MULL	MULLION		
EQD	EMERGENCY OVERFLOW DRAIN	N	NORTH		
EQ	EQUAL	N.I.C.	NOT IN CONTRACT/NOT INCLUDED		
EQUIP	EQUIPMENT	N.T.S.	NOT TO SCALE		
EST	ESTIMATE	NO.	NUMBER		
EW	ELECTRIC WATER COOLER	NOM.	NOMINAL		
EW	ELECTRIC WATER HEATER	N.C.	ON CENTER		
EXIST/EXO	EXISTING	O.D.	OUTSIDE DIAMETER		
EXP	EXPOSED/EXPANSION	OA	OVERALL		
EXT	EXTERIOR	OPNG	OPENING		
F.D.	FLOOR DRAIN	OPP	OPPOSITE		
F.R.	FIRE RATED	PLAM	PLASTIC LAMINATE		
FACP	FIRE ALARM CONTROL PANEL	PARTN	PARTITION		

☐

☐ DTCC STANTON  
CAMPUS  
COURTYARD  
RENOVATION

☐ **FOR CONSTRUCTION**

☐ **COVER SHEET**

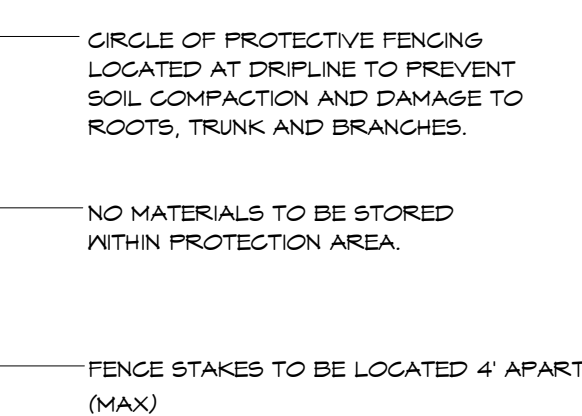
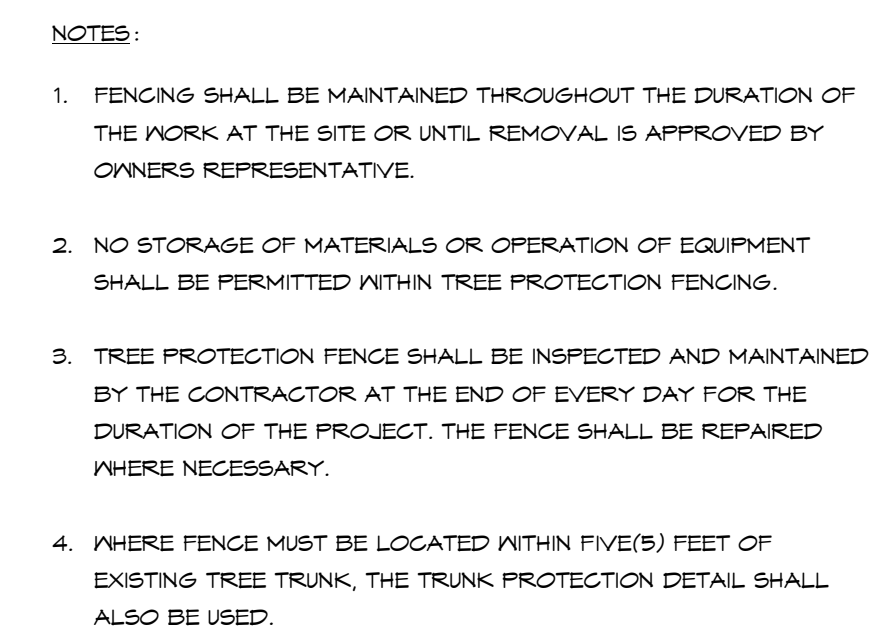
## □ REVISIONS

[illegible]

Date	11.02.2015
Scale	12" = 1'-0"
Drawn	SC, AR
Checked	SC
Approved	Approver
Project	14422

Sheet **CS1.01**



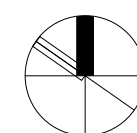


NOTE: TEMPORARY TREE PROTECTION SHALL ALREADY BE IN PLACE PRIOR TO GC CONTRACT START. GC TO MAINTAIN TEMPORARY TREE PROTECTION DURING CONSTRUCTION AND REMOVAL FOLLOW SUBSTANTIAL COMPLETION.

3 TEMPORARY TREE PROTECTION  
D1.01 Scale: 1/4" = 1'-0"

- A. EXISTING FOUNDATIONS TO BE REMOVED AS REQUIRED TO NOT INTERFERE WITH NEW PROPOSED CONSTRUCTION
- B. SEE CIVIL AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- C. NOT USED
- D. ANY BOLLERS DISCOVERED DURING DEMOLITION AND SITE EXCAVATION WITH A DIAMETER GREATER THAN 18" ARE TO BE STORED IN GC AREA FOR POTENTIAL REUSE FOLLOWING ARCHITECTS REVIEW. BOLLERS NOT REUSE BY ARCHITECTS TO BE STORED IN GC AREA AND TO BE DISPOSED OF OFFSITE BY GC. SEE LANDSCAPE ARCHITECT DRAWINGS FOR TOTAL BOLLER COUNTS AND SIZE REQUIREMENTS OF NEW BOLLERS.
- E. SEE BUILDING ELEVATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- F. EXISTING CONCRETE SLAB ON GRADE ASSUMED TO HAVE HELDED WIRE FABRIC.

- 1 DEMOLISH EXISTING HWY DOOR AND FRAME.
- 2 EXISTING BOULDER TO BE SALVAGED AND STORED IN GC LAY DOWN AREA
- 3 DEMOLISH EXISTING CONCRETE AND BRICK SIDE WALKS AND PAVING
- 4 DEMOLISH EXISTING BRICK WALL
- 5 DEMOLISH EXISTING DRY STACKED PAVER RETAINING WALLS
- 6 DEMOLISH EXISTING CONCRETE STAIR, AND RAILING. FINISHATIONS TO BE REMOVED TO EXTENT AS TO NOT INTERFERE WITH NEW CONSTRUCTION. SEE GENERAL NOTE
- 7 TREES AND EXISTING VEGETATION HAVE BEEN DEMOLISHED. TREE ROOT STRUCTURE GROUND 6" BELOW FINISH GRADE. GO TO GYM REMOVAL OF REMAINING ROOT STRUCTURE AS REQUIRED FOR NEW CONSTRUCTION
- 8 EXISTING LIGHT FIXTURES TO BE DEMOLISHED.
- 9 EXISTING TREE TO REMAIN. SEE SPECIFICATIONS AND TEMPORARY PROTECTION DRAWING DETAIL.
- 10 DEMOLISH EXISTING STOREFRONT DOOR AND FRAME.
- 11 DEMOLISH EXISTING SLAB ON GRADE
- 12 INSTALL INLET PROTECTION BEFORE START OF DEMOLITION
- 13 EXISTING STORM DRAIN TO BE REMOVED
- 14 EXISTING SECTION OF PIPE TO REMAIN IN PLACE TO KEEP EXISTING ROOF DRAIN OPERATIONAL. CONTRACTOR TO SCHEDULE REPLACEMENT OF STORM PIPE AND SIMULTANEOUS CONNECTION OF EXISTING STORM DRAIN TO NEW SYSTEM. (SEE CIVIL FOR FURTHER NOTES)
- 15 NOT USED
- 16 NOT USED
- 17 REMOVE EXISTING DOOR AND STORE IN ROOM MARKED STORAGE ON NEW CONSTRUCTION PLANS. EXISTING FRAMED TO BE DEMOLISHED. NEW DOOR TO BE PROVIDED PER DOOR SCHEDULE
- 18 EXISTING CLEAN OUT SERVING ADJACENT BUILDING TO REMAIN. (SEE NEW CONSTRUCTION DINGS FOR ADDITIONAL REQUIREMENTS).
- 19 EXISTING STORM DRAIN TO REMAIN AND BE PROTECTED DURING DEMOLITION
- 20 DEMOLISH EXISTING DOOR FRAME TO REMAIN IN PLACE. SEE NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL



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RENOVATION

☐ **FOR CONSTRUCTION**

☐ **DEMOLITION PLAN**

## □ REVISIONS

[illegible]

Date	11.02.2015
Scale	As indicated
Drawn	SC, AR
Checked	SC
Approved	Approver
Project	14422

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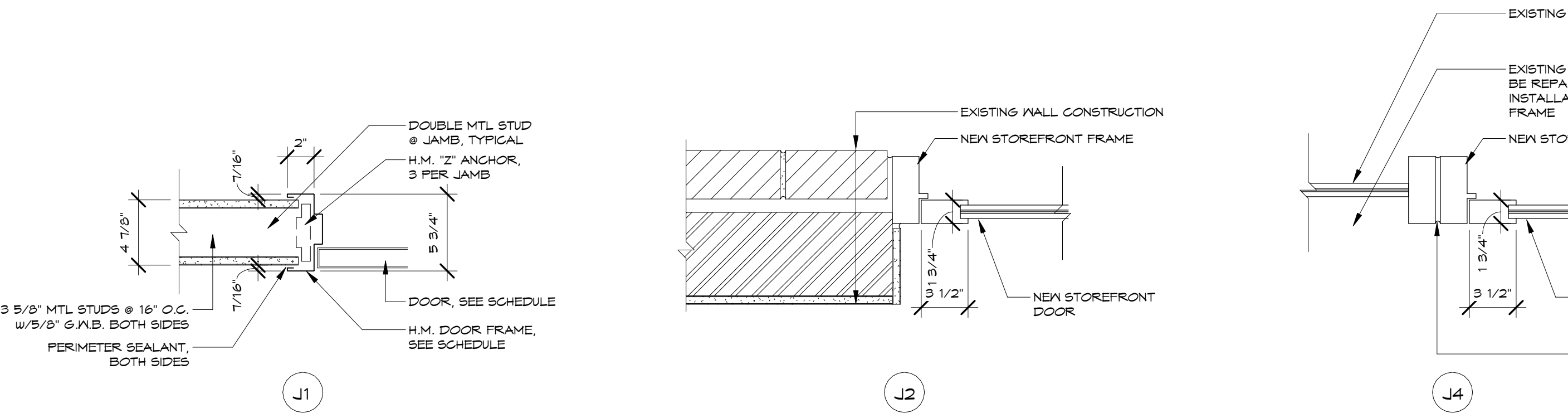
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# 1 NEW CONSTRUCTION PLAN

A1.01 Scale: 1/8" = 1'-0"

DOOR SCHEDULE												
MARK	THICKNESS	SIZE		DOOR		DOOR TYPE	FIRE RATINGS	GLAZING TYPE	FRAME			
		WIDTH	HEIGHT	MTL	HM				JAMB TYPE	HEAD TYPE	FRAME MATERIAL	FRAME TYPE
001	1 3/4"	(2) 3'-0"	T-0"	HM	A	-	-	-	J1	H1	HM	1
002	1 3/4"	(2) 3'-0"	T-0"	HM	A	-	-	-	J1	H1	HM	1
003	1 3/4"	(2) 3'-0"	T-0"	ALUM	B	-	-	G1	J2	H2	ALUM	1
004	1 3/4"	(2) 3'-0"	3'-0"	ALUM	B	-	-	G1	J2	H2	ALUM	1
005	1 3/4"	(2) 3'-10"	8'-2 1/2"	ALUM	B	-	-	G1	J3	H3	ALUM	1
006	1 3/4"	(2) 2'-10"	8'-2 1/2"	ALUM	B	-	-	G1	J3	H3	ALUM	1
007	1 3/4"	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)
008	1 3/4"	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)
009	1 3/4"	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)
004	1 3/4"	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)	(Existing)

DOOR SCHEDULE GENERAL NOTES:  
1. A TEMPORARY DOOR THAT SHALL BE IN PLACE PRIOR TO START OF DEMOLITION AND REMAIN IN PLACE UNTIL PROJECT'S SUBSTANTIAL COMPLETION.  
2. NEW ALUM STOREFRONT DOOR AND FRAME IN EXISTING OPENINGS. GC TO CONFIRM AVAILABLE ROUGH OPENING FOR SHOP DRAWING PRODUCTION.  
3. NEW ALUM STOREFRONT DOOR AND FRAME IN EXISTING OPENINGS. THE EXISTING DOOR JAMBS AND HEADS ARE TO REMAIN IN PLACE. THE NEW DOOR FRAMED WITHIN EXISTING OPENINGS. GC TO OWN REPAIRS TO EXISTING FRAME TO ACCEPT NEW DOOR FRAME (SEE JAMB AND HEAD DETAILS).  
4. EXISTING DOOR TO BE RETROFITTED WITH NEW ADA OPENER SEE HARDWARE SCHEDULE. ADA OPENER LOCATED ON SINGLE LEAF OF DOUBLE DOOR. DOOR WITH ADA OPENER TO BE MARKED WITH ADHESIVE LABEL.

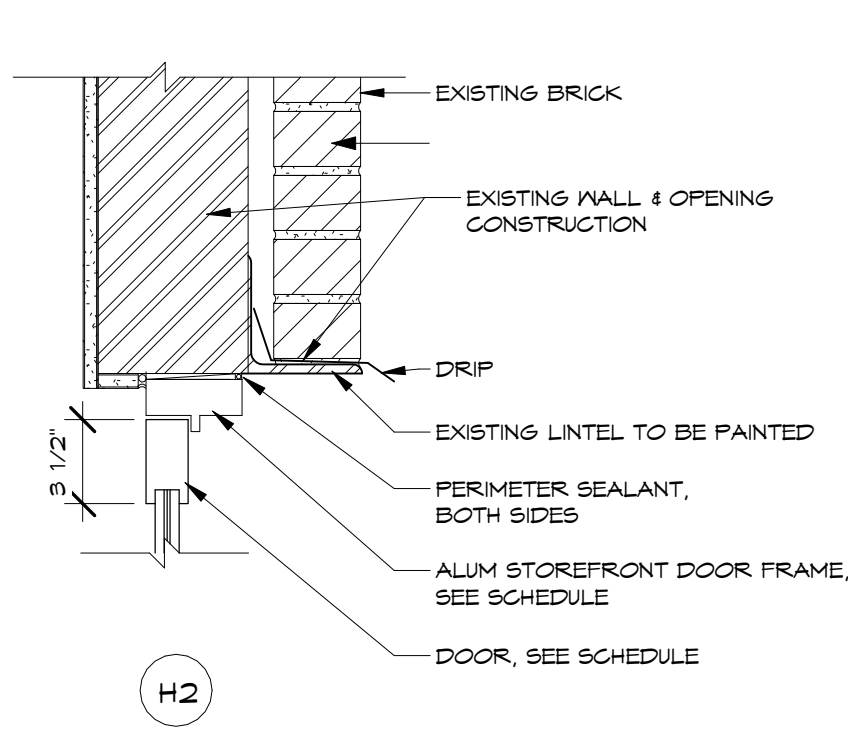


## 3 JAMB TYPES

A1.01 Scale: 1 1/2" = 1'-0"

## 4 HEAD TYPES

A1.01 Scale: 1 1/2" = 1'-0"

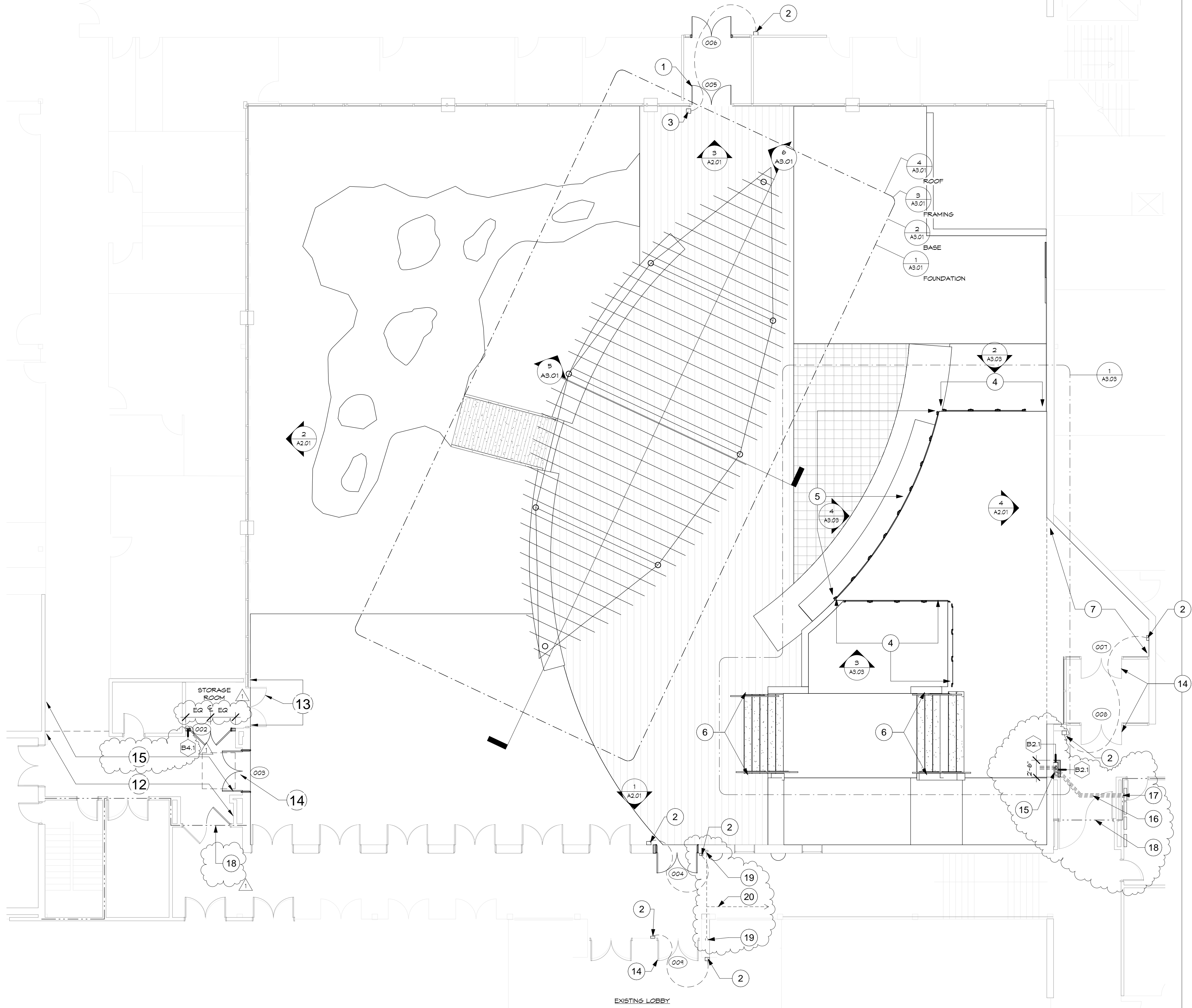
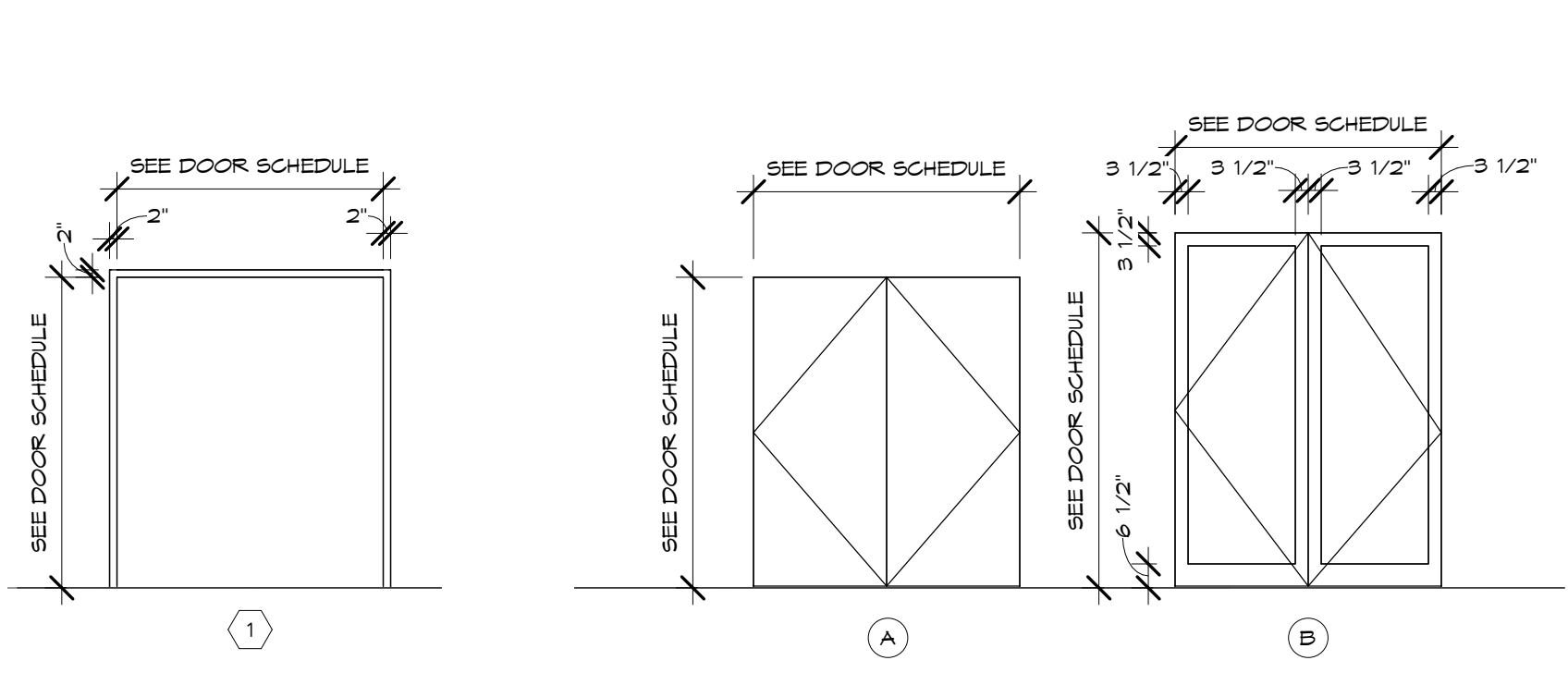


## 5 DOOR - FRAME TYPES

A1.01 Scale: 1/4" = 1'-0"

## 6 DOOR - PANEL TYPES

A1.01 Scale: 1/4" = 1'-0"



### PARTITION TYPE SCHEDULE - TYPE B2

Type	Type Comments	Fire Rating	Mill UL Test No	Width
B2-1	3 5/8" METAL STUD W/ 5/8" G.N.B. ON (1) SIDE			4 1/4"

### PARTITION TYPE SCHEDULE - TYPE B4

Type	Type Comments	Fire Rating	Mill UL Test No	Width
B4-1	3 5/8" METAL STUD W/ 5/8" G.N.B. ON EA SIDE			4 1/2"

### GENERAL NOTES

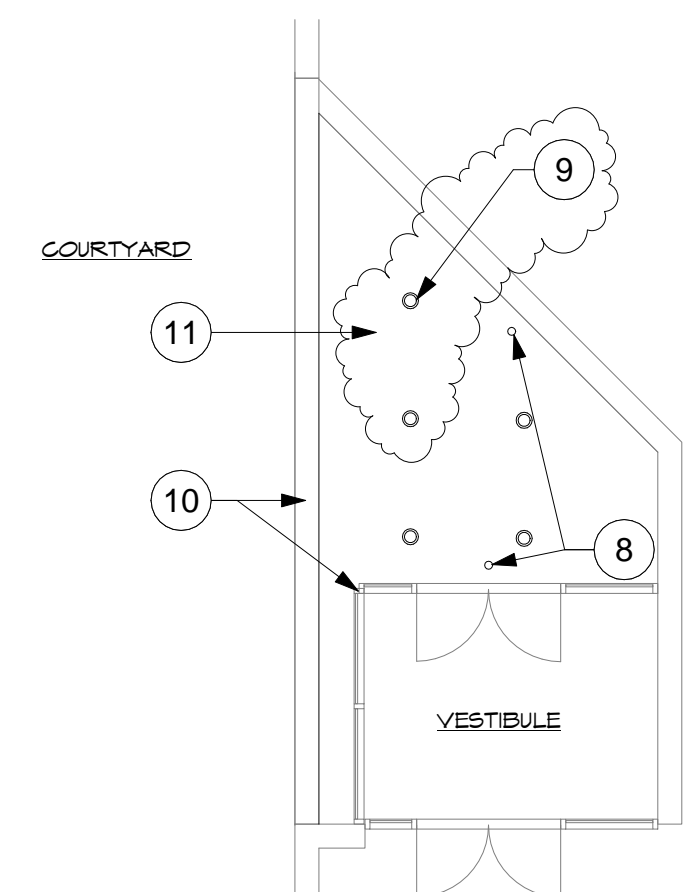
- A. REFERENCE LANDSCAPE DRAWINGS FOR DIMENSIONS NOT SHOWN.
- B. ALL METAL PANEL AND STORE FRONT WALLS FACING COURTYARD TO BE PAINTED PER SPECIFICATIONS.

### KEY NOTES

- PROVIDE ADA AUTOMATIC DOOR OPENER ON EXISTING DOOR (SINGLE LEAF). DASHED LINE INDICATES LEAF TO OPERATE.
- AUTOMATIC DOOR OPENER CONTROLLER MOUNTED TO EXISTING WALL.
- AUTOMATIC DOOR OPENER CONTROLLER MOUNTED TO S.S. POST.
- GLASS PANEL GUARD RAILING SYSTEM, FASCIA MOUNT, 42" HIGH.
- GLASS PANEL RAILING SYSTEM, FASCIA MOUNT, 42" HIGH WITH LED LIGHT INTEGRATED INTO TOP RAIL.
- GLASS PANEL GUARDRAIL WITH HANDRAIL 42" HIGH WITH LED LIGHT INTEGRATED INTO TOP RAIL.
- SEE DETAIL FOR REFLECTED CEILING PLAN WORK IN THIS AREA.
- PROVIDE NEW SS SPRINKLER HEAD.
- REMOVE EXISTING CAN LIGHT AND PROVIDE NEW FIXTURE, SEE ELEG DRAWINGS, TYP FOR (5).
- SEE GENERAL NOTE B.
- EXISTING CEILING TO BE PAINTED STRIPPED OF PEELING PAINT AND CLEANED. PROVIDE NEW PAINT.
- ONCE COURTYARD IS SUBSTANTIALLY COMPLETE GC TO REMOVE TEMPORARY PROTECTION AND EXISTING FLOOR AND BASE TO PROVIDE NEW RUBBER TILE FLOOR AND RUBBER BASE TO MATCH ADJACENT RENOVATED GRVING.
- PROVIDE WINDOW TINT ON EXISTING STOREFRONT WINDOWS AND DOOR.
- EXISTING DOORS TO REMAIN AND BE PROVIDED WITH AUTOMATIC DOOR OPENERS PER HARDWARE SCHEDULE.
- GLASS/PREFR AND PATCH ANY HOLES IN WALLS AND CEILING FOR NEW PAINT. WORK TO BE COMPLETED AT END OF JOB DURING PUNCH LIST COMPLETION.
- CONDUIT TO ENTER CHASE BELOW GRADE, RUN VERTICAL ABOVE CEILING THEN ACROSS EXISTING CORRIDOR TO ELECTRICAL ROOM.
- PROVIDE APPROVED UL PENETRATION THROUGH EXISTING 2 HOUR WALL.
- EXISTING 2HR FIRE RATED WALL.
- CONDUIT FOR POWERED DOOR TO BE LOCATED INSIDE EXISTING WALL STUD CAVITY.
- CONDUIT TO RUN ABOVE CEILING TO PANEL DENOTED ON ELEG DRAWINGS.

### 2 RCP-MID LEVEL

A1.01 Scale: 1/8" = 1'-0"



No.	Date	Revisions
1	12.02.2015	SEE APPENDIX 002

Two Mill Road, Suite 210  
Wilmington, Delaware 19806  
(302) 984-1400  
FAX (302) 984-2957



- A. ALL BRICK ON WALLS FACING THE COURTYARD TO BE CLEANED PER SPECIFICATIONS.
- B. ALL PRECAST CONCRETE ON WALLS FACING COURTYARD TO BE CLEANED PER SPECIFICATIONS.
- C. ALL METAL PANEL AND STORE FRONT WALLS FACING COURTYARD TO BE PAINTED PER SPECIFICATIONS.
- D. THE PENTHOUSE ELEVATION FACING THE COURTYARD SHALL BE PAINTED PER KEY NOTES. THE REMAINING 3 ELEVATIONS WILL NOT BE PAINTED.
- E. RE-POINTING REQUIRED AS RESULT OF BRICK FACADE CLEANING SHALL BE DOCUMENTED AND QUANTIFIED PRIOR TO THE PROCEEDING WITH THE WORK. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

- A. ALL BRICK ON WALLS FACING THE COURTYARD TO BE CLEANED PER SPECIFICATIONS.
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- 1 EXISTING BRICK WALL. SEE GENERAL NOTE A.
- 2 EXISTING PRECAST CONCRETE. SEE GENERAL NOTE B.
- 3 NOT USED
- 4 EXISTING METAL PANEL WALL. SEE GENERAL NOTE C.
- 5 EXISTING STOREFRONT WALL. SEE GENERAL NOTE C.
- 6 EXISTING LIGHT TO BE DEMOLISHED. REMAINING HOLES TO BE MADE WEATHER TIGHT.
- 7 UTILIZE EXISTING WIRING AND PROVIDE A NEW OUTDOOR WEATHER RESISTANT DUPLEX AND COVER
- 8 NEW LIGHT FIXTURE (SEE ELEC DRAWINGS).
- 9 PROVIDE NEW 55 FROST PROOF WALL HYDRANT
- 10 EXISTING ROOF ACCESS TO REMAIN
- 11 NEW STOREFRONT DOOR TO EXISTING OPENING.
- 12 ABANDONED METER TO BE REMOVED.
- 13 REPLACE EXISTING FIRE ALARM WITH NEW.
- 14 EXISTING PIPE TO BE PAINTED TO MATCH NEW SELECTED COLOR OF METAL PANELS.
- 15 EXISTING SECURITY CAMERA TO BE REMOVED AND REINSTALLED DURING PREP/CLEAN AND/OR PAINTING OF ADJACENT WALL.
- 16 PROVIDE KNOCK OUT TINT TO EXISTING STOREFRONT WINDOWS AND DOOR TO BLOCK VIEW INTO STORAGE ROOM.
- 17 CABLE GUARD RAIL SYSTEM 42" SEE PLAN FOR POST SPACING.
- 18 SEE LANDSCAPE DRAWINGS FOR DETAILS
- 19 CABLE GUARD RAIL SYSTEM 42" HIGH IV HANDRAIL
- 20 DESIGNATED MOCK UP AREA FOR METAL PANEL PAINTING.  
(2) ALTERNATE COLORS TO BE PROVIDED SELECTED FROM MANUFACTURERS FULL RANGE OF COLORS.
- 21 EXISTING LIGHT FIXTURE HOUSING TO BE PAINTED PER SPECIFICATIONS
- 22 EXISTING DOOR, FRAME, AND FLASHING ABOVE DOOR TO BE PAINTED PER SPECIFICATIONS
- 23 EXISTING PENTHOUSE LOUVERS TO BE PAINTED PER SPECIFICATIONS
- 24 EXISTING LINTEL TO BE PAINTED



☐ **FOR CONSTRUCTION**

☐ **BUILDING ELEVATIONS**

[illegible]

Date	11.02.2015
Scale	1/8" = 1'-0"
Drawn	SC, AR
Checked	SC
Approved	Approver
Project	14422

Sheet **A2.01**

Two Mill Road, Suite 210  
Wilmington, Delaware 19806  
(302) 984-1400  
FAX (302) 984-2957

## KEY NOTES

- 1 CONCRETE FOUNDATION
- 2 METAL BASE PLATE WELDED TO ROUND STEEL COLUMN
- 3 ROUND STEEL COLUMN
- 4 SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR ADDITIONAL DETAILS
- 5 EDGE OF MONOLITHIC POLYCARBONATE PANEL
- 6 ALUMINUM MULLIONS @ 2'-0" OC
- 7 TUBE STEEL BORDER
- 8 TUBE STEEL BEAM @ 2'-0" OC
- 9 SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR PAVEMENT SECTION DETAILS AND REQUIREMENTS

☐ **DTCC STANTON  
CAMPUS  
COURTYARD  
RENOVATION**

☐ **FOR CONSTRUCTION**

- **CANOPY PLANS & SECTIONS**

## □ REVISIONS

[illegible]

Date	11.02.2015
Scale	As indicated
Drawn	SC
Checked	SC
Approved	Approver
Project	14422

Sheet **A3.01**



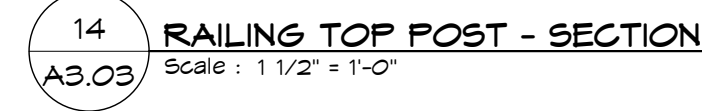
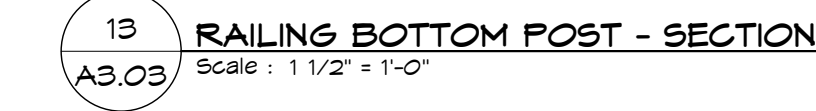
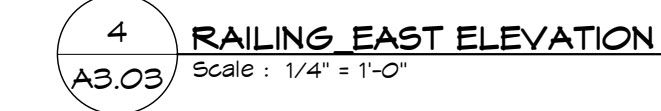
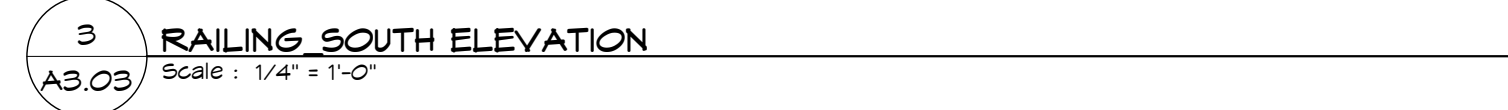
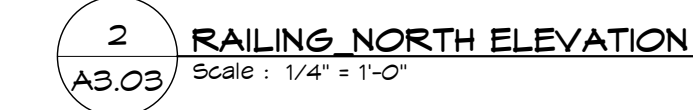
Two Mill Road, Suite 210  
Wilmington, Delaware 198

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FAX (302) 984-2957

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- C. ALL METAL PANEL AND STORE FRONT WALLS FACING COURTYARD TO BE PAINTED PER SPECIFICATIONS.

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- C. ALL METAL PANEL AND STORE FRONT WALLS FACING COURTYARD TO BE PAINTED PER SPECIFICATIONS.

- 1 EXISTING BRICK WALL. SEE GENERAL NOTE A.
- 2 EXISTING PRECAST CONCRETE. SEE GENERAL NOTE B.
- 3 NOT USED
- 4 EXISTING METAL PANEL WALL. SEE GENERAL NOTE C.
- 5 EXISTING STOREFRONT WALL. SEE GENERAL NOTE C.
- 6 EXISTING LIGHT TO BE DEMOLISHED. REMAINING HOLES TO BE MADE WEATHER TIGHT.
- 7 UTILIZE EXISTING WIRING AND PROVIDE A NEW OUTDOOR WEATHER RESISTANT DUPLEX AND COVER.
- 8 NEW LIGHT FIXTURE (SEE ELEC DRAWINGS).
- 9 PROVIDE NEW 55 FROST PROOF WALL HYDRANT
- 10 EXISTING ROOF LADDER TO REMAIN
- 11 NEW STOREFRONT DOOR IN EXISTING OPENING.
- 12 ABANDONED METER TO BE REMOVED.
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- 14 EXISTING PIPE TO BE PAINTED TO MATCH NEW SELECTED COLOR OF METAL PANELS
- 15 EXISTING SECURITY CAMERA TO BE REMOVED AND REINSTALLED DURING PREP/CLEAN AND/OR PAINTING OF ADJACENT WALL
- 16 PROVIDE KIDCON TINT ON EXISTING STOREFRONT WINDOWS AND DOOR TO BLOCK VIEW INTO STORAGE ROOM.
- 17 STEEL CABLE GUARD RAIL SYSTEM WITH INTEGRATED LIFT IN TOP RAIL.
- 18 SEE LANDSCAPE DRAWINGS FOR DETAILS
- 19 REFERENCE PLAN FOR CABLE RAIL POST SPACING ALONG ARC.
- 20 SEE LANDSCAPE DRAWINGS FOR BAR TOP
- 21 EXPOSED CONDUIT FOR DUPLEX. SEE SECTION FOR MOUNTING.



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CAMPUS  
COURTYARD  
RENOVATION

☐ **FOR CONSTRUCTION**

- **RAILING PLAN AND DETAILS**

## □ REVISIONS

[illegible]

Date	11.02.2015
Scale	As indicated
Drawn	Author
Checked	Checker
Approved	Approver
Project	14422



**DTCC STANTON  
COURTYARD  
RENOVATION**

**STORMWATER  
MANAGEMENT  
PLAN**

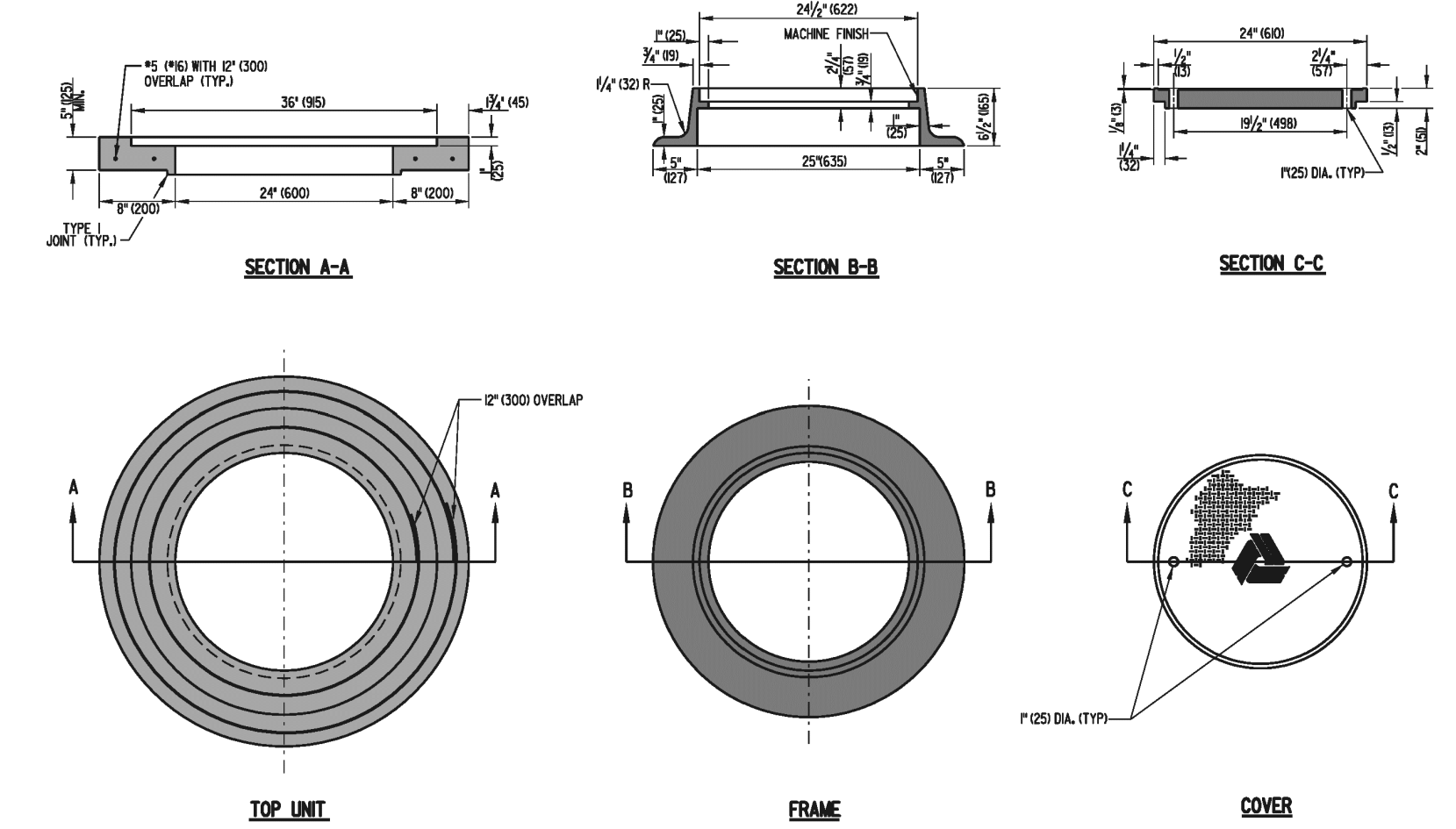
**REVISIONS**

No.	Date	Remarks
1	10/22/2015	ADDED INLET FOR FIRE PROTECTION SYSTEM DISCHARGE
2	10/29/2015	ADDED STORM DRAINS TO SEATING AND PERFORMANCE AREA. TREE TO BE REMOVED
3	11/05/2015	ADDED PERFORATED UNDERDRAINS TO PERMEABLE PAVEMENT AREA
4	12/02/2015	REVISED BID ADDENDUM NO. 2

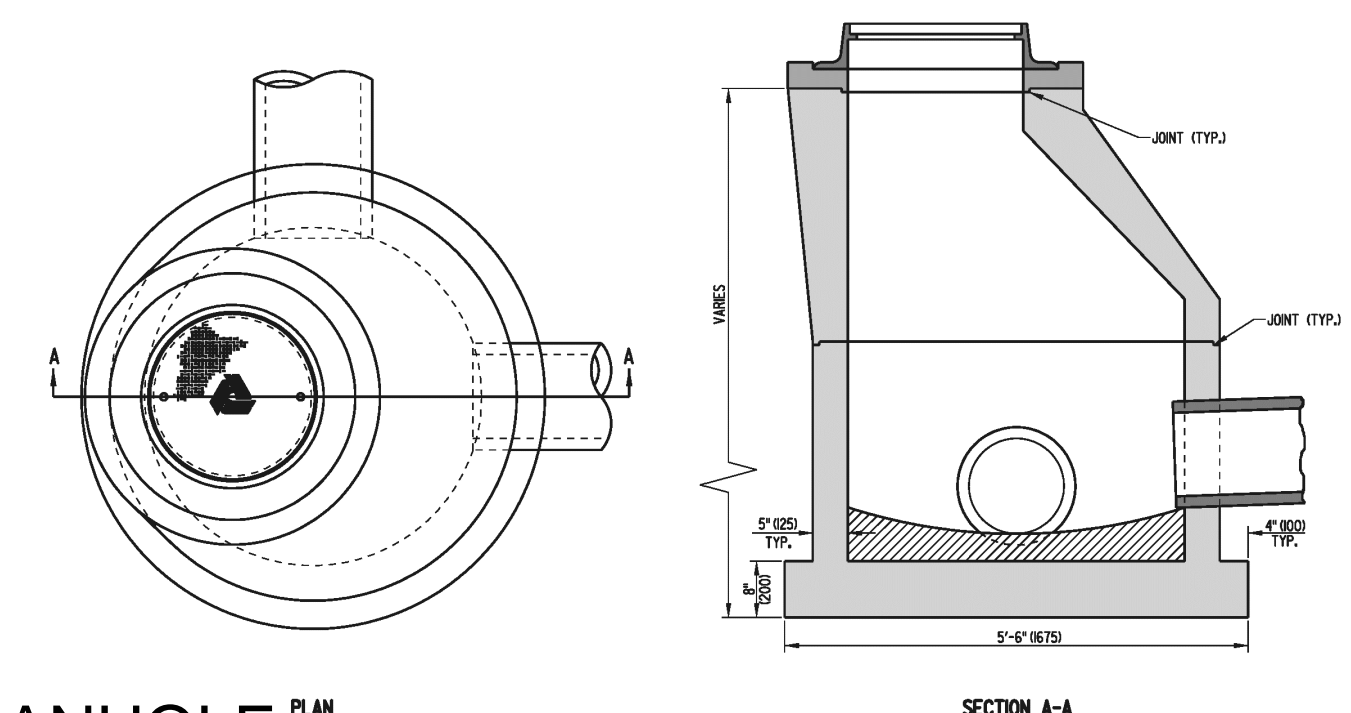
Date: 1 OCTOBER 2015  
Scale: AS SHOWN  
Drawn: KJC  
Checked: DDW  
Approved: Approver  
Project: 10553.CC

**LEGEND**

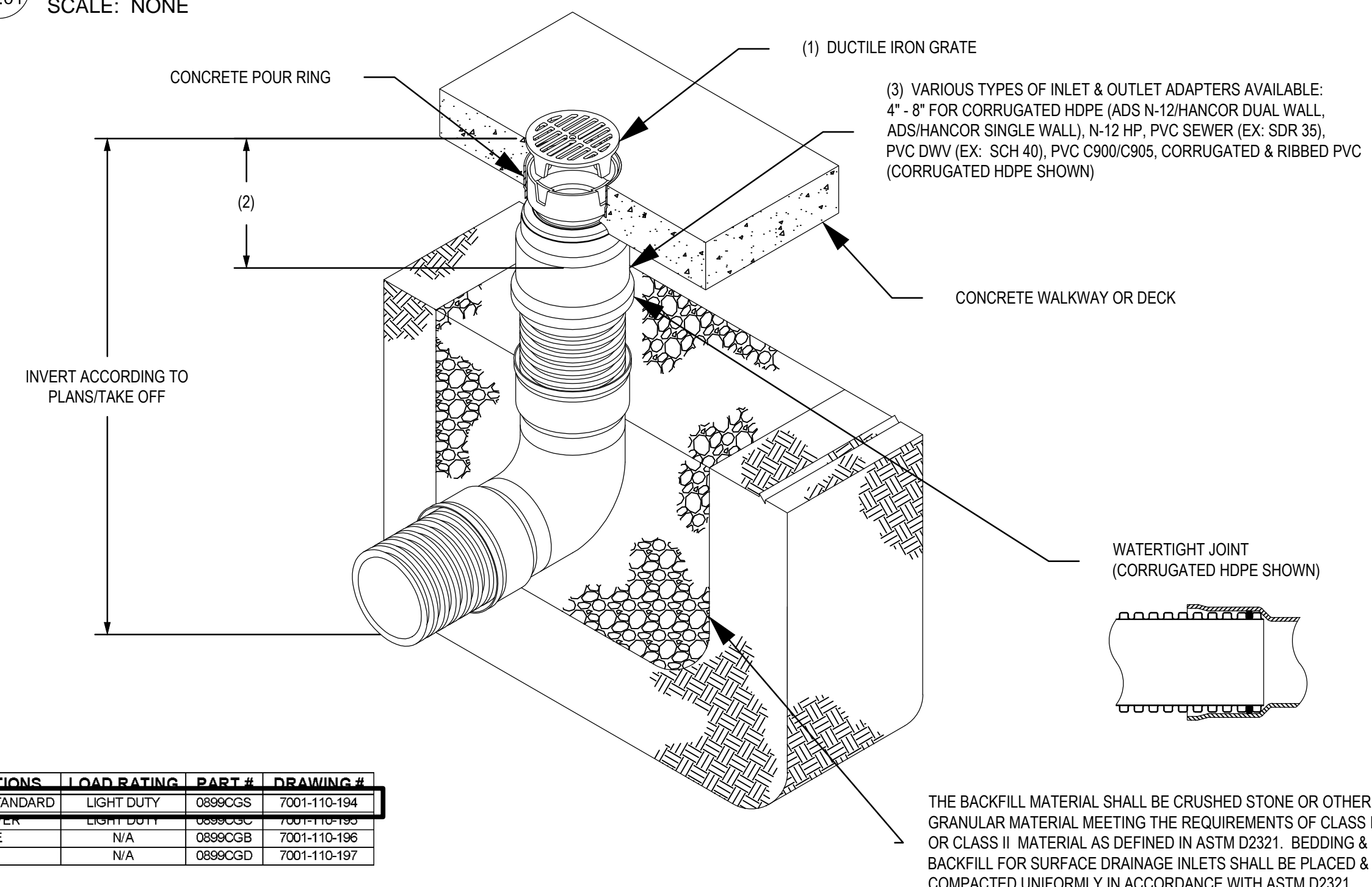
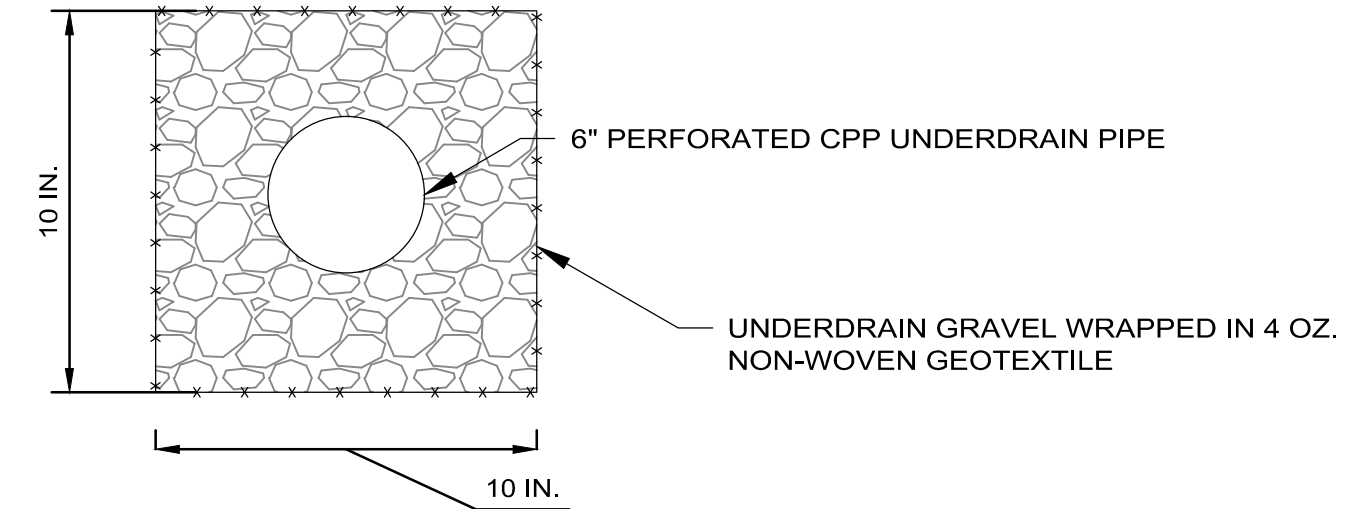
- UD PROPOSED UNDERDRAIN
- SD PROPOSED STORMDRAIN
- 4" PERF CPP PROPOSED 4" PERFORATED CPP UNDERDRAIN
- PROPOSED INLET
- X PROPOSED SPOT GRADE
- LOD PROPOSED LIMIT OF DISTURBANCE
- 67 PROPOSED CONTOUR
- PROPOSED CONCRETE
- PROPOSED PERMEABLE PAVERS
- PROPOSED DECKING
- PROPOSED FLOW ARROW



**5 DETAIL: MANHOLE**  
SCALE: NONE

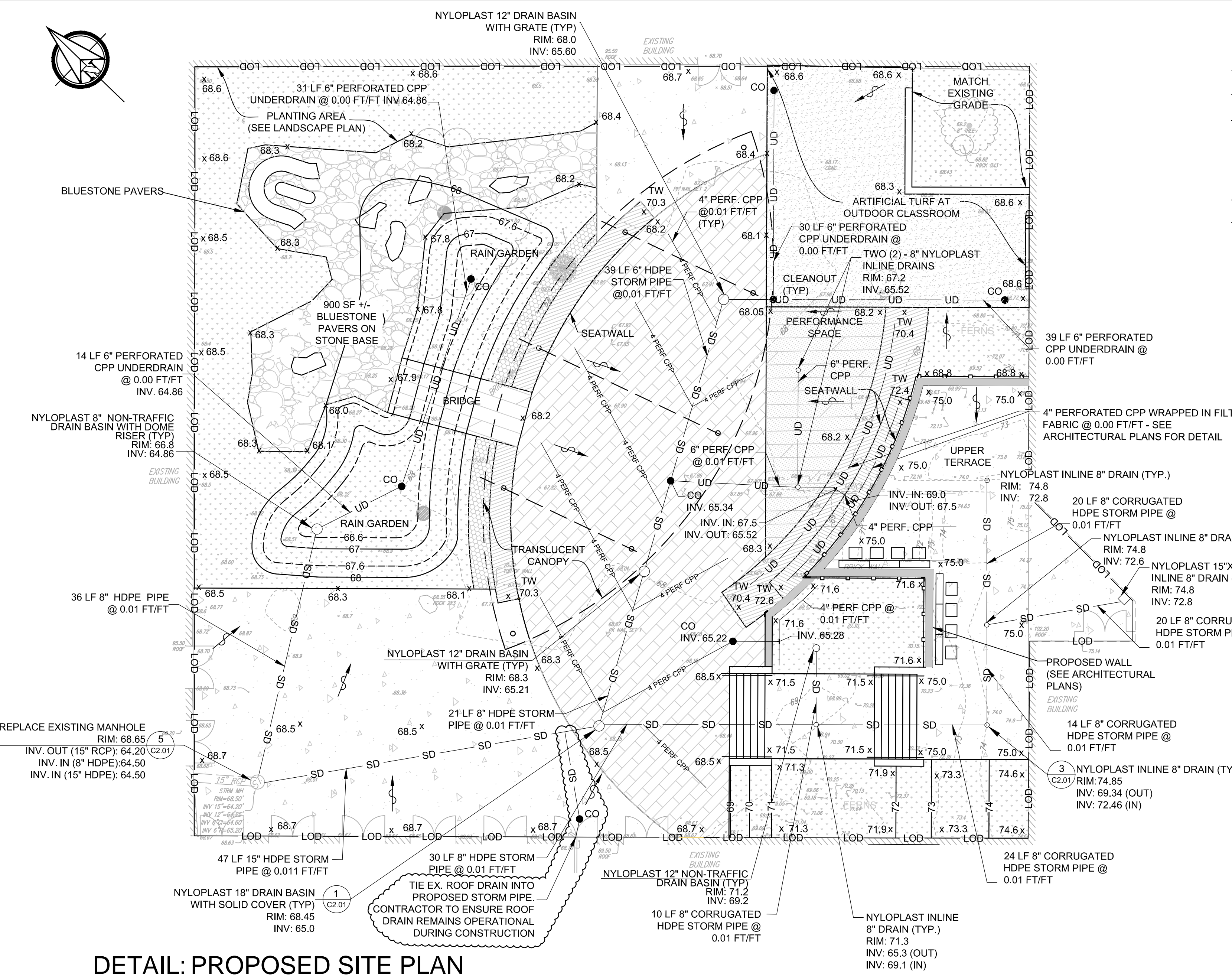


**4 DETAIL: UNDERDRAIN INSTALLATION**  
SCALE: NONE

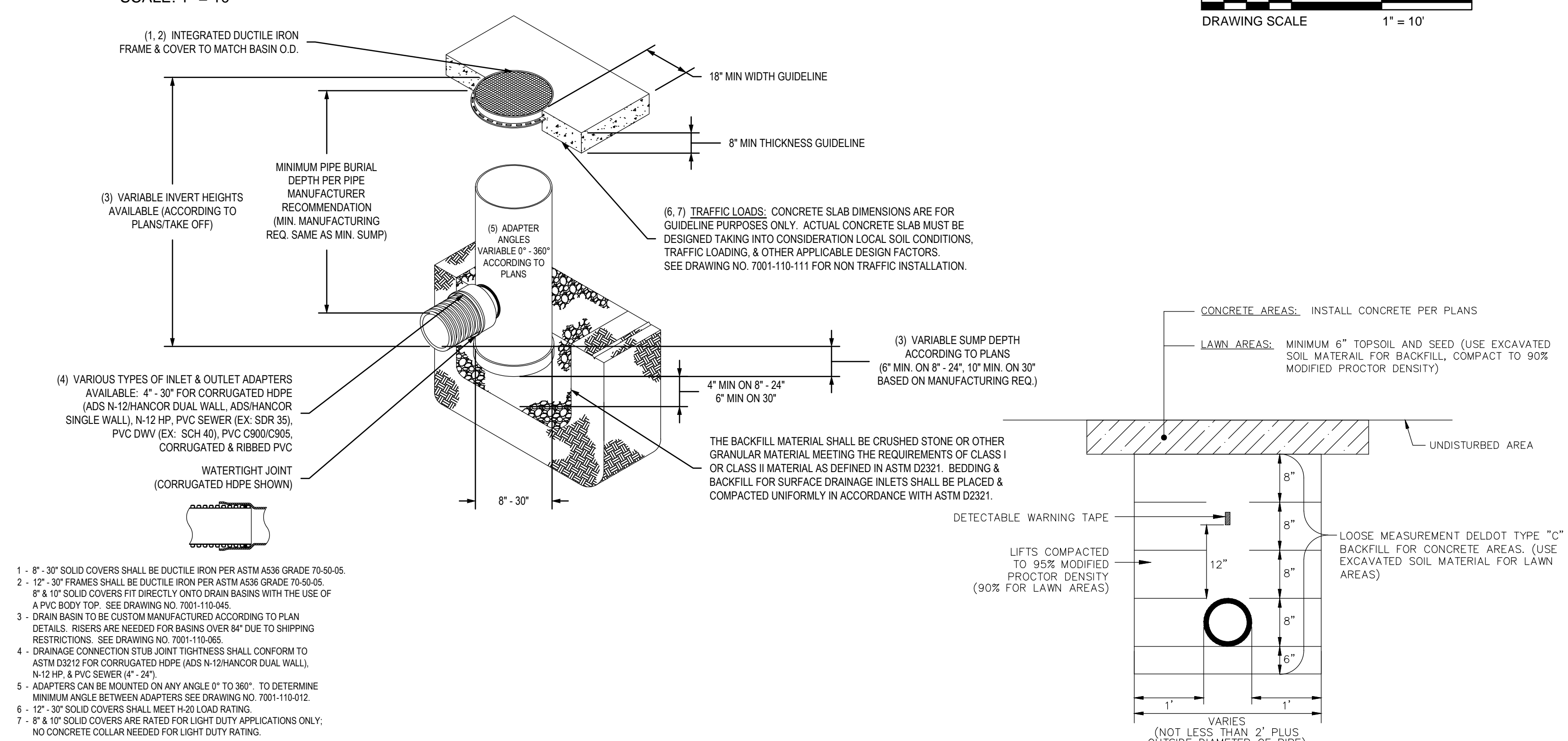


GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN/STANDARD	LIGHT DUTY	0896GGS	7001-110-194
SOLID COVER	LIGHT DUTY	0896GGS	7001-110-195
BRONZE	N/A	0896GCB	7001-110-196
DOME	N/A	0896GCD	7001-110-197

- GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 WITH THE EXCEPTION OF THE BRONZE GRATE
- FOR COMPLETE DESIGN DETAILS SEE DRAWING NO. 7003-110-000.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), & PVC SEWER.



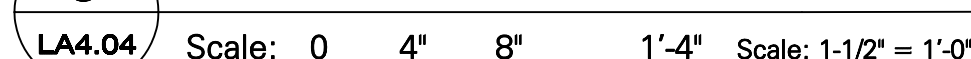
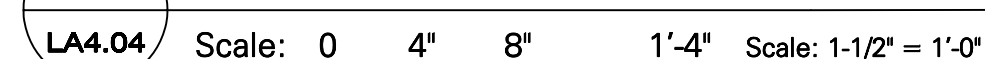
**DETAIL: PROPOSED SITE PLAN**  
SCALE: 1" = 10'



**1 DETAIL: NYLOPLAST DRAIN BASIN (COVER TYPE SPECIFIED ON PLAN)**  
SCALE: NONE

**2 DETAIL: UTILITY TRENCH**  
SCALE: NONE

**3 DETAIL: NYLOPLAST INLINE DRAIN BASIN WITH PEDESTRIAN GRATE**  
SCALE: NONE



- Sheet
- LA4.04**



1 Table - Type 1



2 Chair - Type 1  
LA5.01



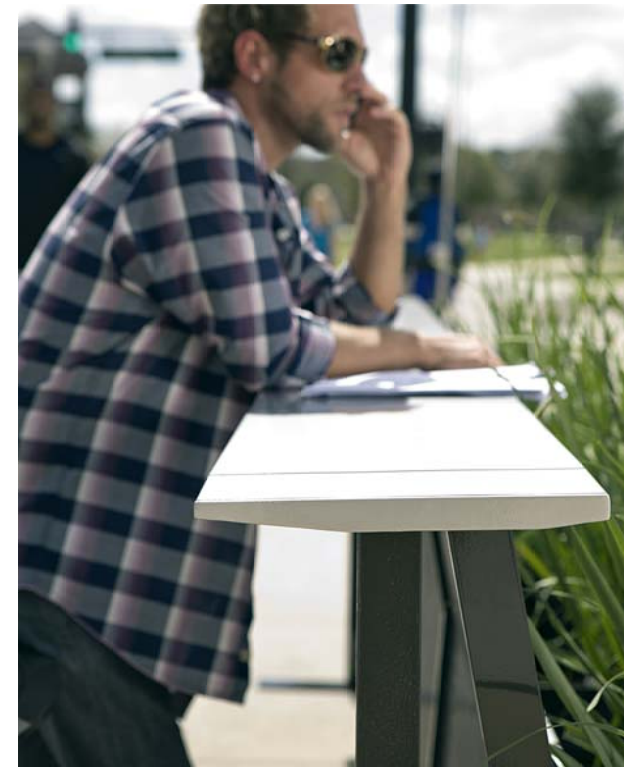
Table - Type 2



4 Chair - Type 2



5 Umbrella  
LA5.01



6 Bar Top  
LA5.01



7 Bar Stool



8 Lounge Chair



9 Arm Chair  
LA5.01

FURNISHINGS SCHEDULE				
MATERIAL	MANUFACTURER	STYLE	QTY	DESCRIPTION
TABLE - TYPE 1	LANDSCAPE FORMS 800-521-2546	CHIPMAN TABLE	5	31" DIA., DINING HEIGHT, UMBRELLA HOLE, SURFACE MOUNT, POWDERCOAT COLOR TBD
TABLE - TYPE 2	LANDSCAPE FORMS 800-521-2546	CATENA TABLE	8	36" DIA., UMBRELLA HOLE, SURFACE MOUNT, COLOR TBD
CHAIR - TYPE 1	LANDSCAPE FORMS 800-521-2546	CHIPMAN CHAIR	10	BACKED CHAIR WITH END ARMS, STACKABLE, POWDERCOAT COLOR TBD
CHAIR - TYPE 2	LANDSCAPE FORMS 800-521-2546	PARC CENTRE CHAIR	44	END ARMS, STACKABLE, POWDERCOAT COLOR TBD
UMBRELLA	LANDSCAPE FORMS 800-521-2546	TUUCI PARASOL	8	OCEAN MASTER CLASSIC, CENTER POST PARASOL, HEXAGON, 10" WIDE, FABRIC COLOR TBD, FABRIC TYPE: GRADE C; SUNBRELLA MARINE-GRADE FABRIC WITH STAIN RESISTANCE, NO PROTECTIVE COVER, SINGLE WIND VENT, TABLE MOUNT - DRILLED, STRAIGHT CANOPY EDGE; MANUAL LIFT SYSTEM, POLISHED TITANIUM FINISH
BAR TOP	LANDSCAPE FORMS 800-521-2546	JESSIE RAIL SYSTEM	2	BAR TOP WITH NO MESH INFILL, SURFACE MOUNT, BASIC UNIT + EXPANSION UNIT (154"), POWDERCOAT COLOR TBD
BAR STOOL	LANDSCAPE FORMS 800-521-2546	CHIPMAN STOOL	8	BAR HEIGHT STOOL, NO ARMS AVAILABLE, STACKABLE, POWDERCOAT COLOR TBD
LOUNGE CHAIR	FERMOB/FITNESS LIFESTYLES INC. 732-775-1432	LUXEMBOURG LOW ARMCHAIR	9	LOUNGE CHAIR WITH ARMS, STACKABLE, POWDERCOAT TBD
ARM CHAIR	FERMOB/FITNESS LIFESTYLES INC. 732-775-1432	LUXEMBOURG ARMCHAIR	13	CHAIR WITH ARMS, STACKABLE, POWDERCOAT COLOR TBD
CURVED BENCH	VICTOR STANLEY 800-368-2573		1	CUSTOM CURVED BENCH, POWDERCOAT COLOR TBD
LOW TABLE	VICTOR STANLEY 800-368-2573	ANTHROSITES AP-22 TABLE	1	6" LENGTH, IN-GROUND MOUNT, IPE WOOD AND METAL TABLE, POWDERCOAT COLOR FOR METAL COMPONENTS TBD
LITTER/RECYCLING RECEPTACLE	LANDSCAPE FORMS 800-521-2546	PARC VUE LITTER RECEPTACLE	4	23" DIA X 43" HT; SIDE OPENING; WITH LINER,COLOR TBD; POWDER COATED STEEL CAGE AND BASE, COLOR TO BE TITANIUM; (2) LITTER; (2) RECYCLING

**NOTE: JESSIE BAR TOP IS PART OF BASE BID SCOPE OF WORK. ALL OTHER FURNISHINGS NOTED ON THIS PAGE ARE PART OF SITE FURNISHINGS AND PART OF "FURNITURE" ALTERNATE LISTED IN SPECIFICATION SECTION 012300.**

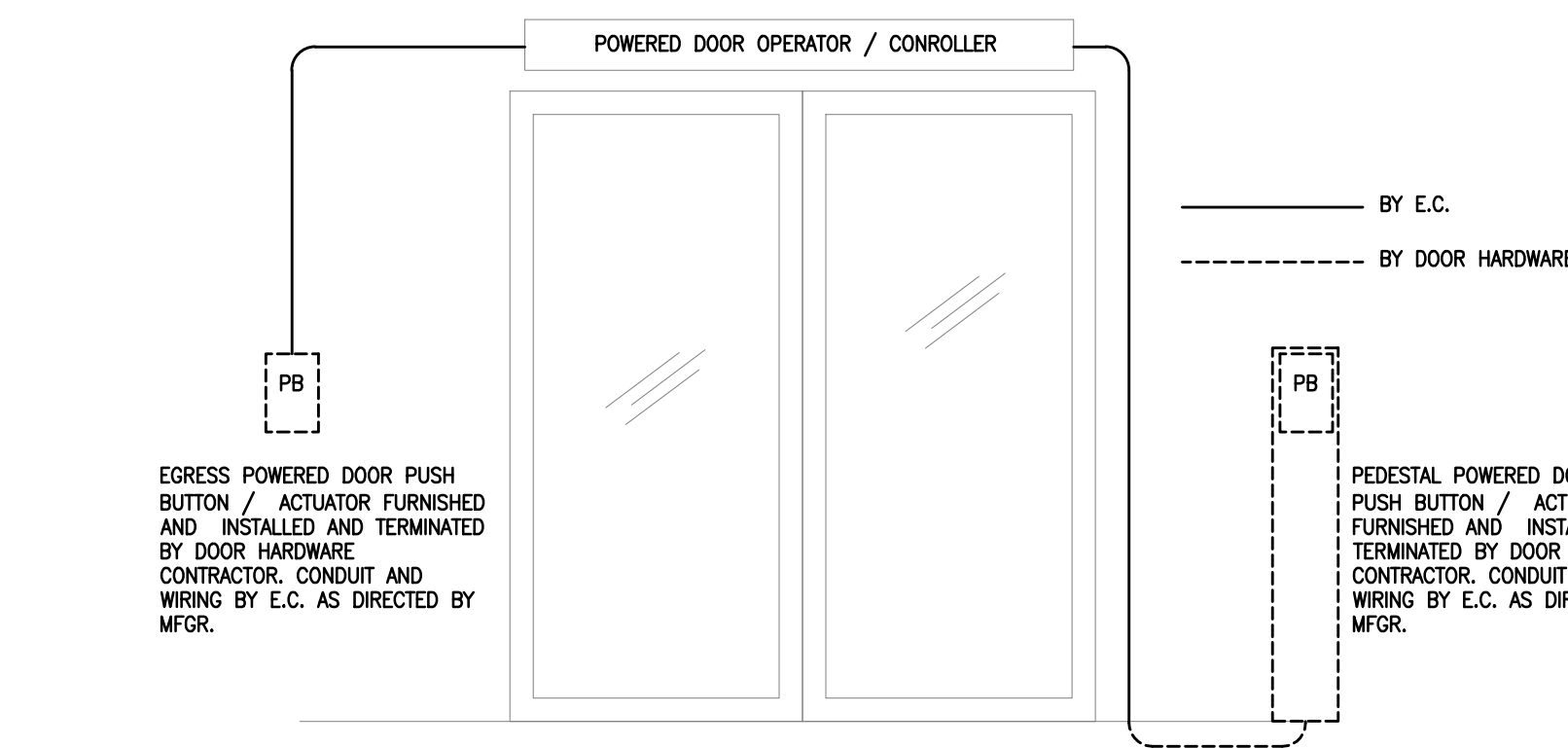


10 Curved Bench and Low Table  
LA5.01



11 Litter/Recycling Receptacle  
LA5.01

1 DEMOLITION - ELECTRICAL  
1/8" = 1'-0"

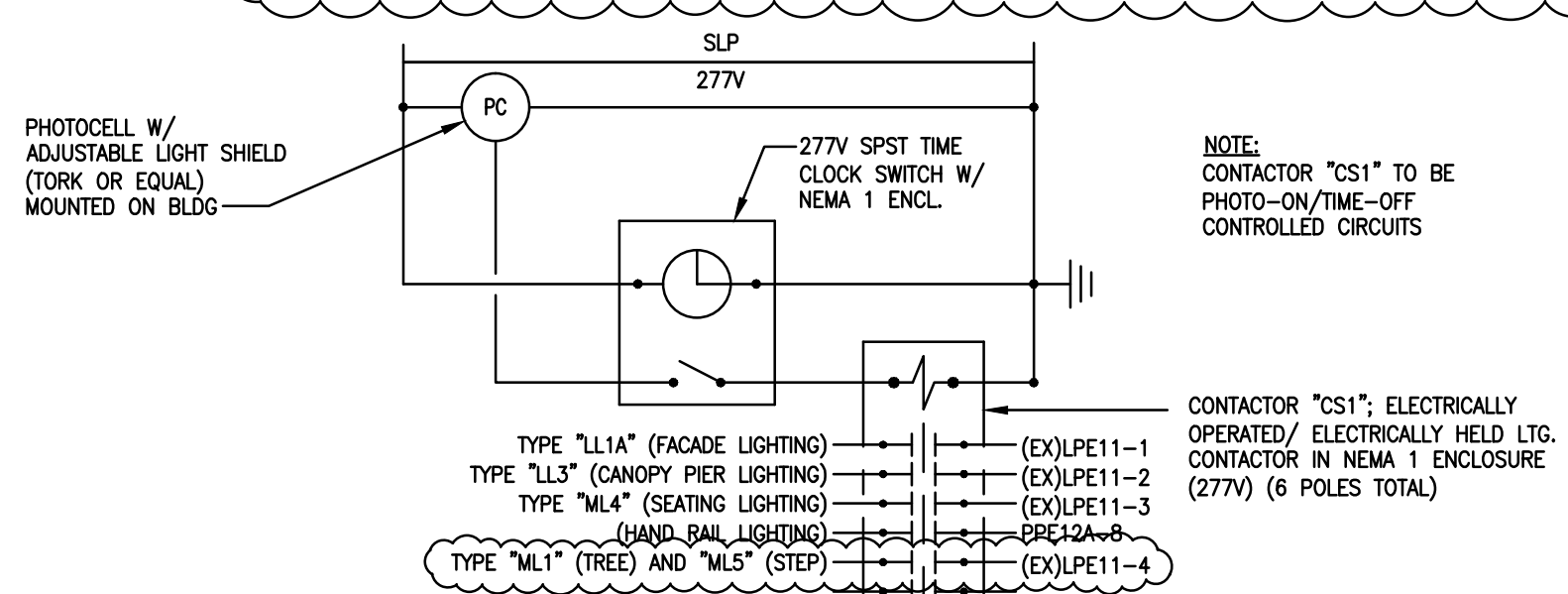


TYPICAL POWERED DOOR DIAGRAM

- NOTES:
- THIS DETAIL APPLIES TO ALL DOORS RECEIVING POWERED ADA OPERATORS AND PUSH BUTTON ACTUATORS.
  - THE DETAIL IS SHOWN FOR SIMPLICITY ONLY. THE FINAL WIRING CONFIGURATION AND TERMINATIONS SHALL BE AS DIRECTED BY THE DOOR MGR'S REPRESENTATIVE.

LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER	EQUIVALENT MANUFACTURERS, OR APPROVED EQUAL	CATALOG NUMBER	LAMPS	OPERATING VOLTAGE	MOUNTING	REMARKS
LL1A	SPECTRUM LIGHTING	NONE	SP00310ULLEDX16W 30W/DC24VLM (FINISH AS SELECTED BY ARCH)	FACTORY 8 WATT LED, 3000°K	277V	SURFACE WALL	LED LENSED 3" UP/DOWN CYLINDER, 277 VOLT, ALUMINUM CONSTRUCTION, WET LOCATION LABEL FINISH AS SELECTED BY ARCHITECT.
LL3	LUMENPULSE	NONE	LB1277R08WFL (FIN. AS SELECTED BY ARCH) DMV/80W-T02-CR-CST-277MM/TOM (FINISH AS SELECTED BY ARCH) 17N 12V PS12WB 1W ALL-LT02 LUMEN TOUCH 2.0	50 WATT LED	277V	CONCRETE BASE 2-3/8" O.D. TEND	FULLY ADJUSTABLE WIDE FLOOD LIGHT 10" DIA. 4-3/4" DEEP 14-7/8" TALL W/YOKE, ALUM. CONSTRUCTION, FULLY GASKETED (FINISH AS SELECTED BY ARCH) CLEAR TEMPERED GLASS LENS, WET LOCATION LABEL, 277V, CONTROL BOX, 50W/DC24VLM, INSTANTANEOUS ON/OFF, 12V DC CONTROLLER W/POWER SUPPLY, FLAT WALL MOUNTED DMX CONTROLLER
ML1	BK LIGHTING	NONE	C02-LED-TR-E22-ML1-A9 (FIN BY ARCH)-MT	FACTORY 8 WATT LED, 3000°K	277V	IN SOIL OR CONCRETE	LED DIRECT BURIAL OR IN CONCRETE UP LIGHT, 277V, COMPOSITE MOLDED POLYESTER HOUSING, MEDIUM FLOOD OPTIC, FINISH AS SELECTED BY ARCHITECT.
ML4	FC LIGHTING	NONE	FCSL402-277V-LED-3K-700(FIN BY ARCH)	700 LUMEN, 3000°K	277V	FLUSH WALL	7-1/2" DIA x 3.75 DEEP LED STEP LIGHT, 277V, 1/8" THICK TEMPERED GLASS CLEAR LENS, ALUM. CONSTRUCTION, LOUVER FACE, WET LOCATION LABEL, FINISH AS SELECTED BY ARCHITECT.
ML5	FC LIGHTING	NONE	FCSL433-277V-LED-3K-180-SS-PVC	180 LUMEN, 3000°K	277V	CONCRETE	2-5/8" DIA x 3" DEEP LED WALK WAY UP LIGHT, 277V, 3/8" THICK TEMPERED FROSTED GLASS LENS, DIECAST ALUM. CONSTRUCTION, WET LOCATION LABEL, STAINLESS STEEL FINISH.
A	CONTECH	NONE	RA8UR-435K-2701-CR6327L2-(CLR-CLR)	16 WATT LED, 3000°K	277V	RECESSED CEILING	6" DIA LED RECESSED DOWNLIGHT, 277V, TWO PIECE REFLECTOR W/CLAR LENS, CLEAR UPPER REFLECTOR CONE, REGRESSED PRISMATIC CONVEX GLASS LENS.

LIGHTING FIXTURE SCHEDULE NOTE:  
THE ABOVE LIGHT FIXTURES SERVE AS THE BASIS OF DESIGN (BOD). ALTERNATE PRODUCTS MAY BE APPROVED IF ARCHITECT'S REVIEW DETERMINES THAT THEY MEET OR EXCEED THE BOD REQUIREMENTS IN PERFORMANCE, CONFIGURATION, SIZE AND AESTHETIC.



PHOTO/TIME CLOCK CONTROL DIAGRAM  
NOT TO SCALE (CONTRACTOR MOUNTED IN ELEC ROOM)

2 NEW CONSTRUCTION PLAN - ELECTRICAL  
1/8" = 1'-0"



ELECTRICAL SPECIFICATIONS

ORDINANCES: ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND RULES AND REGULATIONS IN EFFECT. THE NATIONAL ELECTRICAL CODE SHALL REPRESENT THE MINIMUM REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL ARRANGE AND PAY FOR ALL PERMITS, TESTS AND INSPECTIONS REQUIRED. FURNISH CERTIFICATE OF INSPECTION TO THE OWNER AT TIME OF COMPLETION.

WORK INCLUDED: PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO INSTALL A COMPLETE AND OPERATING ELECTRICAL SYSTEM AS INDICATED ON THE DRAWING AND AS SPECIFIED HEREIN.

WORKMANSHIP: INSTALL ALL WORK IN A NEAT AND WORKMANLIKE MANNER. CUTTING AND PATCHING SHALL BE PERFORMED BY SKILLED TRADESMEN NORMALLY EMPLOYED FOR THE WORK INVOLVED.

TESTS: PROVIDE ALL REQUIRED TESTS TO ASSURE THAT ALL SYSTEMS ARE FREE OF GROUNDS, OPENS AND SHORTS.

GUARANTEE: ALL LABOR AND MATERIALS SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR OF OPERATION FROM DATE OF ACCEPTANCE BY THE OWNER.

THE INTERPRETATION OF THE OWNER'S REPRESENTATIVE WILL BE FINAL IN THE EVENT THERE IS A LACK OF UNDERSTANDING OF THE FULL SCOPE OR REQUIREMENTS OF THE SYSTEMS UNDER THIS CONTRACT.

FASTENING OF EQUIPMENT, ETC., TO THE BUILDING CONSTRUCTION SHALL BE BY USE OF APPROVED LEAD SHEATHED EXPANSION BOLTS FOR MASONRY CONSTRUCTION OR A J-HOOK, LOCK WASHER AND NUT FOR NON-MASONRY CONSTRUCTION.

FURNISH AND INSTALL ALL REQUIRED SUPPORTS AND HANGERS FOR EQUIPMENT, CONDUITS, DUCTS AND WIRE WAYS SHALL BE PROPERLY SUPPORTED TO PREVENT SAG OR STRAIN. ALL CLASS 2 WIRING SPLICES, JUNCTIONS AND TERMINATIONS SHALL BE INSTALLED IN METALLIC BOXES.

THE WORK OF ALL TRADES SHALL BE COORDINATED. NECESSARY OFFSETS TO ALLOW CLEARANCE, HEADROOM OR AVOID INTERFERENCE SHALL BE PROVIDED.

EXCAVATION: THE EXCAVATION SHALL BE OF THE OPEN-TRENCH METHOD AND TO THE DEPTHS AND WIDTHS AS MAY BE NECESSARY. THE CONTRACTOR SHALL DO ALL EXCAVATION REQUIRED IN CONNECTION WITH HIS WORK. BOTTOMS OF TRENCHES SHALL BE EXCAVATED TO A UNIFORM GRADE. ALL MATERIALS EXCAVATED SHALL BE DEPOSITED ON THE SIDE OF THE TRENCHES AND BEYOND THE REACH OF THE SLIDES. EXCAVATED MATERIAL SHALL NOT BE FILLED WHERE IT WILL INTERFERE WITH TRAFFIC.

BACKFILLING: AFTER WORK IN TRENCHES HAS BEEN COMPLETED, THEY SHALL BE FILLED WITH GOOD, CLEAN, FINE EARTH IN 8" LAYERS AND SHALL BE PYCNOMETERIALLY TAMPED BEFORE THE NEXT LAYER OF MATERIAL HAS BEEN FILLED IN. THE BACKFILL SHALL BE FREE OF EXCAVATED ROCK, CONCRETE, STONES, BRICKS OR OTHER DEBRIS. RETURN GRASS AREA TO ORIGINAL CONDITION.

SERVICE INTERRUPTION: THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO LIMIT ALL SYSTEM INTERRUPTIONS TO NIGHTS, WEEKENDS AND HOLIDAYS. ALL ARRANGEMENTS FOR SERVICE INTERRUPTIONS MUST BE CONFIRMED IN WRITING. IDENTIFICATION: PROVIDE PERMANENT IDENTIFICATION LABELS ON ALL NEW ELECTRICAL EQUIPMENT. ELECTRICAL SYSTEM: THE SECONDARY DISTRIBUTION FOR THE PROJECT SHALL BE TAKEN FROM THE EXISTING SYSTEM AT 120/208 OR 277/480 VOLT, 3 PHASE, 4 WIRE AS INDICATED. MATERIALS AND EQUIPMENT: JUNCTION BOXES: GALVANIZED SHEET STEEL AND PRESS STEEL BOXES WITH AMPLE SIZE AS REQUIRED BY N.E.C. WITH SCREW COVERS. OUTLET BOXES: 4" SQUARE GALVANIZED, PRESSED STEEL BOX WITH EXTENSION RING TO MATCH THE NUMBER OF DEVICES BEING INSTALLED. OUTLET BOXES MOUNTED TO BAR TOP TO MEET REQUIREMENTS LISTED ON ARCHITECTURAL DRAWINGS. CONDUIT AND WIRE: MINIMUM SIZE CONDUIT SHALL BE 3/4" AND SHALL BE 40 PVC FOR EXTERIOR APPLICATIONS ONLY. ALL WIRE SHALL BE COPPER CONDUCTORS. MINIMUM SIZE #12 AWG WITH 600 VOLT THERMOPLASTIC MOISTURE-RESISTANT INSULATION. WIRING SHALL BE BROWN, ORANGE AND YELLOW IN COLOR FOR 480 VOLT SYSTEMS AND BLACK, RED AND BLUE FOR 208 VOLT SYSTEMS. EXTERIOR WIRE SHALL BE COPPER CONDUCTORS, WITH 600 VOLT THERMOPLASTIC MOISTURE-RESISTANT INSULATION, TYPE 90NH. RECEPTACLES: HEAVY DUTY DUPLEX, 30 AMP, 120 VOLT, 3 WIRE GROUNDING TYPE AS MFR. BY HUBBELL, ARROW-HART, PASS AND SENOUR. NOTE TO ELECTRICAL CONTRACTOR: "ALL RECEPTACLE COVER PLATES TO BE PERMANENTLY MARKED WITH THE PANEL DESIGNATION AND CIRCUIT NUMBER". COVER PLATES: ALL EXTERIOR RECEPTACLE COVER PLATES SHALL BE LISTED 4070-15 WEATHER RESISTANT, MANUFACTURED OF DIE-CAST ZINC, GRAY IN COLOR, DESIGNED FOR HORIZONTAL MOUNTING. REMOVAL OF EXISTING RECEPTACLES: ALL RECEPTACLES TO BE REMOVED AND REPLACED WITH NEW IN SAME LOCATIONS. WIRING AND ASSOCIATED CONTROL TO REMAIN, TYPICAL FOR 5.

No.	Date	Remarks
1	12.05.2015	NO ADDENDUM 002

Date	11.02.2015
Scale	
Drawn	MRM
Checked	MRM
Approved	SAJ
Project	14422