



# DELAWARE STATE UNIVERSITY

OFFICE OF PLANNING & CONSTRUCTION

1200 N. DuPont Highway  
Dover, Delaware 19901-2277

## Addendum #01

Date: 11/13/2019

Project: Lookerman Hall Renovation – Architectural and Engineering Service

Contract: PC-19-024

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The work herein shall be considered part of the bid documents for the referenced project and carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Acknowledge receipt of addendum on the bid form as indicated.

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### Clarifications:

Please see revised evaluation criteria.

### **V. RFP Evaluation Process Section 2. Proposal Selection Criteria**

<b>Evaluation Criteria</b>	<b>Weight/ Scores</b>
Vendor qualifications and references	30
Past experience with similar type projects	50
Oral presentation	20
<b>Total</b>	<b>100</b>

### Changes to Specifications:

1. Section

### Changes to Drawings:

1. Section

### **General Information:**

1. Pre-Bid Sign-in Sheet: Please see attached sheet for a list of the attendees at the mandatory pre-bid. **See attached.**

### **Questions and Answers:**

1. **Question:** Will the building be used for assembly?  
**Answer:** **The building will be used for educational and community-building events**
2. **Question:** Who is responsible for the easement on the building?  
**Answer:** **The deed and title work related to the required easement will require an approval from the State of Delaware Office of Management and Budget, as required by code. Based on the purpose for the easement, the University does not anticipate this being an issue.**
3. **Question:** Section I, paragraph 3, page 2: Please clarify what is meant by “prepare for installing a unisex ADA compliant bathroom”. Does this include utility and building systems work/rough-in? How far will the study of this amenity be taken under this design contract?

**Answer:**

**Yes it includes utilities.**

**Design deliverables will include architectural and MEP drawings related to the ADA bathroom.**

4. **Question:** Section I, paragraph 5, page 2: “The deed and title work related to the required easement will require an approval from the State of Delaware Office of Management and Budget, as required by code” - What deed and title work will be required for this project? If needed, will this work be handled by DSU?

**Answer:**

**See answer to question 2**

5. **Question:** Section I, paragraph 3, page 2: Are modifications to the accessible entrance anticipated as a part of the scope of this project?

**Answer:**

Yes

6. **Question:** Attachment 6, paragraph IV A, page 33: Please clarify if a full fee proposal is being requested as part of the submission or if we are only to list key personnel and their billable rates.

**Answer:**

Please see clarification above.

Evaluation criteria will be based on vendor qualifications, references, experience in similar projects and oral presentation

7. **Question:** Appendix A, page 37: “This grant is funded by the Department of the Interior’s Historically Black Colleges and Universities Grant Program administered by the National Park Service”. Has a construction budget been established for this project? Has a timeline been established for the design, documentation, and construction of this project?

**Answer:**

Budget for this project has been defined but that information will not be disclosed

Schedule will be defined during programming

8. **Question:** Appendix A, page 38: “Due to the age of the facility, it is anticipated that environmental remediations may be necessary to abate hazardous materials prior to, or in conjunction, with demolition activities, in accordance with federal, state, and local regulations. “ Do any hazardous materials assessments exist for the use of the design team? If not, will DSU be soliciting these assessments separately from this contract?

**Answer:**

Environmental testing will be conducted based on the design deliverables and DSU will be directly overseeing this portion of the project

9. **Question:** Appendix A, page 38: “This change will allow the building to be used for public and educational events which are limited right now due to the lack of accessible restroom facilities. Ensuring that this building is preserved so that its unique history may be shared is a clear public benefit.” Has a structural analysis been performed of the existing building to determine if it’s suitable for the proposed future use?

**Answer:**

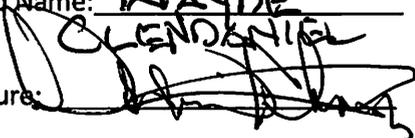
Structural analysis data is not available and can be discussed during programming.

10. **Question:** Appendix A, page 38: “Following are some pictures of the building including location map” Can you please supply the photos and building map referenced in the RFP?

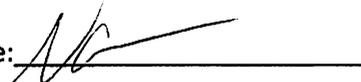
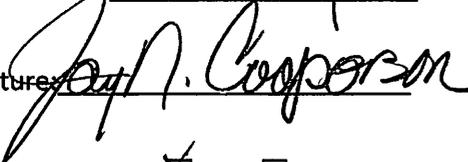
**Answer:**

See attached

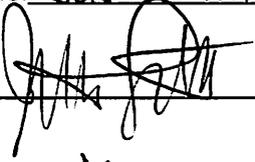
END

<p>Printed Name: <u>WAYDE CLENDANIEL</u></p> <p>Signature: </p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: <u>Wayde CLENDANIEL</u></p>	<p>Company: <u>FERN CLENDANIEL ARCHITECTS</u></p> <p>Email: <u>WAYDE CLENDANIEL @ FC ARCHITECTS.NET</u></p> <p>Phone: <u>302-998-7615</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>Khalid Zerrad</u></p> <p>Signature: </p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: <u>DS4</u></p> <p>Email: <u>kzerrad@ds4.com</u></p> <p>Phone: _____</p> <p>Email Bid Updates: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: _____</p> <p>Signature: _____</p> <p>Primary Contact: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: _____</p> <p>Email: _____</p> <p>Phone: _____</p> <p>Email Bid Updates: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	

Attendee	Company Information	Attach Business Card
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Attendee	Company Information	Attach Business Card
Printed Name: <u>Brian Zigmund</u> Signature:  Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>Studio JAED</u> Email: <u>Zigmundb@studiojaed.com</u> Phone: <u>302-832-1652</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>NALITA REED</u> Signature:  Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>NALITA REED</u>	Company: <u>QUINN EVANS</u> Email: <u>NREED@QUINNEVANS.COM</u> Phone: <u>(443) 700-9473</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>JAY COOPERSON</u> Signature:  Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>COOPERSON ASSOCIATES</u> Email: <u>JCOOPERSON@COOPERSONASSOC.COM</u> Phone: <u>302-655-1105</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	

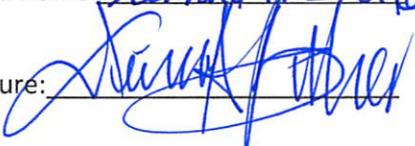
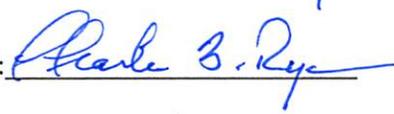
Attendee	Company Information	Attach Business Card
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<p>Printed Name: <u>TIM MARKWARD</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>Primary Contact: <u>TRACI LUCKENBILL</u></p>	<p>Company: <u>BLACKNEY HAYES ARCHITECTS</u></p> <p>Email: <u>TMARKWARD@BLACKNEYHAYES.COM</u></p> <p>Phone: <u>215-829-0922</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>JON SABATINO</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: <u>GREENMAN - PEDERSEN</u></p> <p>Email: <u>jsabatino@gpnet.com</u></p> <p>Phone: <u>443.753.5471</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>Julie Bierlein</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: <u>ABHA Architects</u></p> <p>Email: <u>jbierlein@abha.com</u></p> <p>Phone: <u>302-658-6426</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	

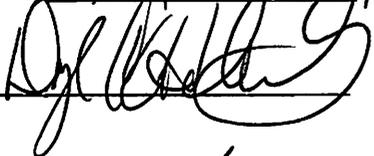
Attendee	Company Information	Attach Business Card
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<p>Printed Name: <u>Debra Traini</u></p> <p>Signature: <u>D. Traini</u></p> <p>Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>Primary Contact: <u>Carl Dress</u></p>	<p>Company: <u>Heritage Design Collaborative</u></p> <p>Email: <u>debra@hdc-ae.com</u> <sup>and/</sup> <sub>or</sub> <u>carl@hdc-ae.com</u></p> <p>Phone: <u>484-443-8540</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>Daniel G. Russoniello</u></p> <p>Signature: <u>[Signature]</u></p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: <u>Dan Russoniello</u></p>	<p>Company: <u>Archer &amp; Buchanan Arch.</u></p> <p>Email: <u>druss@archerbuchanan.com</u></p> <p>Phone: <u>410-692-9112</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: _____</p> <p>Signature: _____</p> <p>Primary Contact: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: _____</p> <p>Email: _____</p> <p>Phone: _____</p> <p>Email Bid Updates: <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	

Attendee	Company Information	Attach Business Card
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Printed Name: <u>Eric Kuchar</u> Signature: <u></u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>MCWB ARCHITECTS</u> Email: <u>ekuchar@mcwb-arch.com</u> Phone: <u>757-221-0713</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Desmond A. Baker</u> Signature: <u></u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>Desmond A. Baker &amp; Assoc.</u> Email: <u>dabaker@comcast.net</u> Phone: <u>302.658-1390</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Charles B. Ryan</u> Signature: <u></u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>Homsey Architects, Inc.</u> Email: <u>cryan@homsey.com</u> Phone: <u>(302) 656-4491 ext. 12</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	

Attendee	Company Information	Attach Business Card
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<p>Printed Name: <u>DOUGLAS HERTSENBERG</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>Primary Contact: <u>DOUG ERIKSEN</u></p>	<p>Company: <u>BERNARDON</u></p> <p>Email: <u>dhertsenberg@bernardon.com</u></p> <p>Phone: <u>302-622-9550</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>DOUGLAS ERIKSEN</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: <u>BERNARDON</u></p> <p>Email: <u>deriksen@bernardon.com</u></p> <p>Phone: <u>302-498-6071</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	
<p>Printed Name: <u>NATASHA KEARNEY</u></p> <p>Signature: <u></u></p> <p>Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>Primary Contact: _____</p>	<p>Company: <u>CANNON DESIGN</u></p> <p>Email: <u>NKEARNEY@CANNONDESIGN.COM</u></p> <p>Phone: <u>443-320-4928</u></p> <p>Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p>	

Attendee	Company Information	Attach Business Card
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Loockerman Hall

RT 13

Main Gate

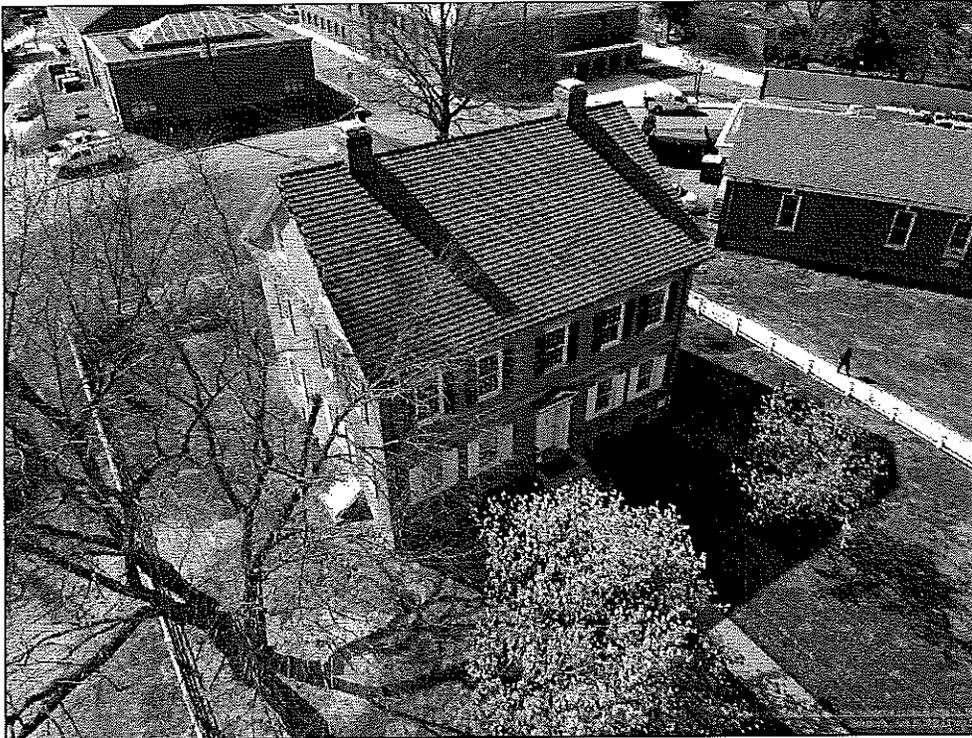
Gate 3

College RD

Save Form

### Project Image Form for National Park Service Grants

Please read instructions prior to completing this form. Each image must be limited to a maximum file size of 300 KB and a maximum resolution of 1600 x 1200.



Clear Image 1

Image 1 Label

Aerial image of the Lockerman Hall.



Clear Image 2

Image 2 Label

Aerial view of roofing system damage on the left side of the photo exposing roof deck.

Project Image Attachment Form for National Park Service Grants

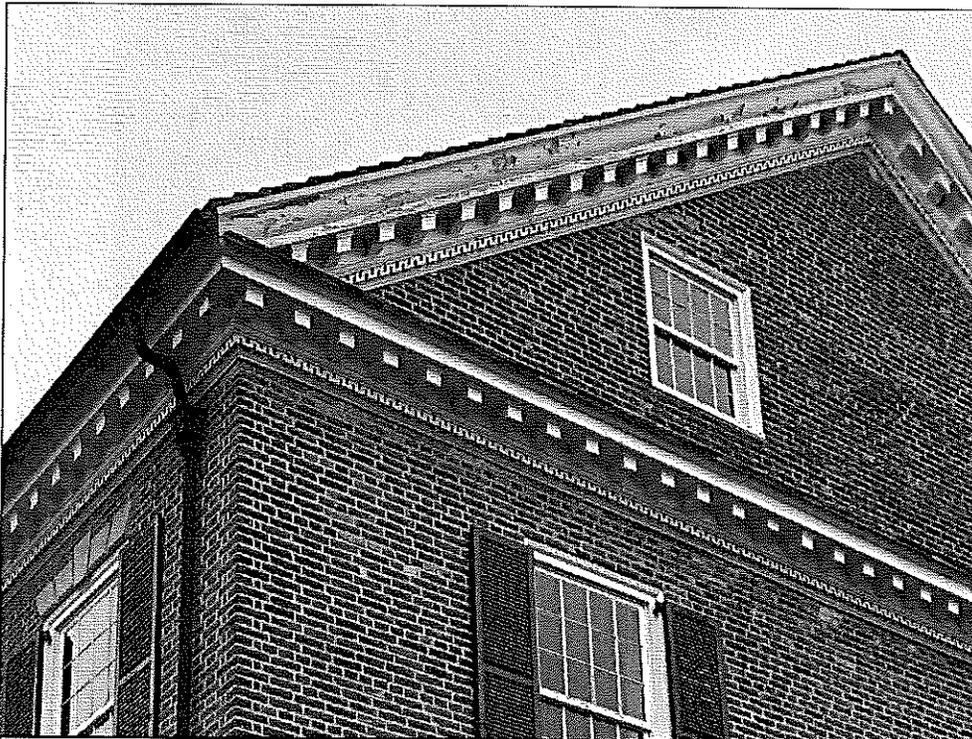
Page 2



Clear Image 3

Image 3 Label

Ground view of the roof damage shown in image 2. Notice roof deck and cornice damage are visible.



Clear Image 4

Image 4 Label

Cornices and dentils are in general need of restoration on both gable ends.

# Project Image Attachment Form for National Park Service Grants

Page 3



Clear Image 5

Image 5 Label

Existing roof flashing, as shown on chimney in this photo, will be reviewed and repaired. The flashing appears to be pulling away from the chimney.



Clear Image 6

Image 6 Label

The gutter is visibly sagging above the window causing damage and visible decay to roof fascia.

# Project Image Attachment Form for National Park Service Grants

Page 4



image 7 here.

Clear Image 7

Image 7 Label

Existing downspouts spill to grade, allowing water access into the finished basement.



Clear Image 8

Image 8 Label

Exterior window and trim heavily damaged.

# Project Image Attachment Form for National Park Service Grants

Page 5



image 9 here.

Clear Image 9

Image 9 Label

Exterior window trim beginning to fall away from the window, exposing the brick. There does not appear to be flashing beneath window frame.



Clear Image 10

Image 10 Label

Heat map of exterior of window on a mild day. Photo shows the dampness of the wood from rain event on previous day.

# Project Image Attachment Form for National Park Service Grants

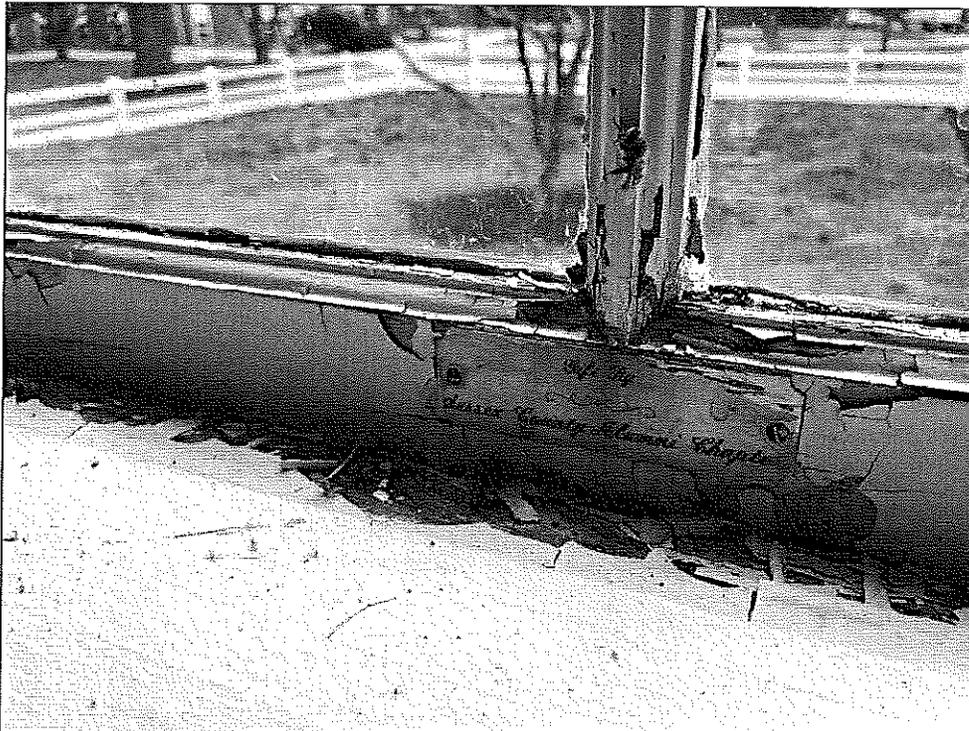
Page 6



Clear Image 11

Image 11 Label

Interior damages are beginning to surface and could be attributed to exterior moisture infiltration or interior humidity levels.



Clear Image 12

Image 12 Label

Paint is peeling away from the wood window sash.

Project Image Attachment Form for National Park Service Grants

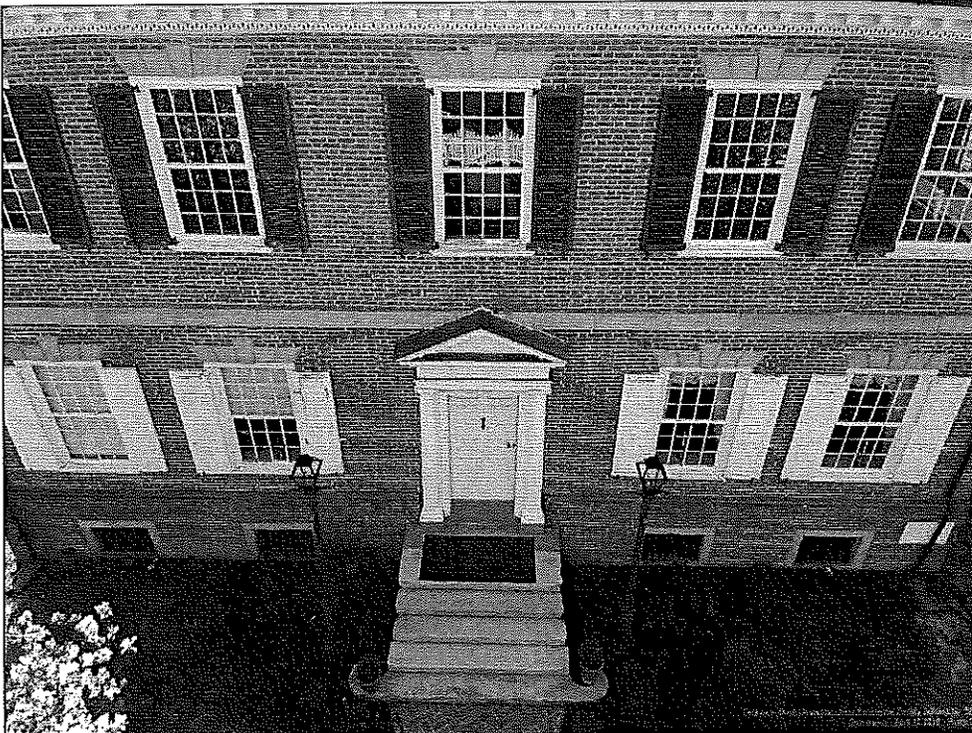
Page 7



Clear Image 13

Image 13 Label

Existing shutter and hardware is damaged. Deterioration of window muntins is visible through glass.



Clear Image 14

Image 14 Label

Front entrance to Lookerman Hall.

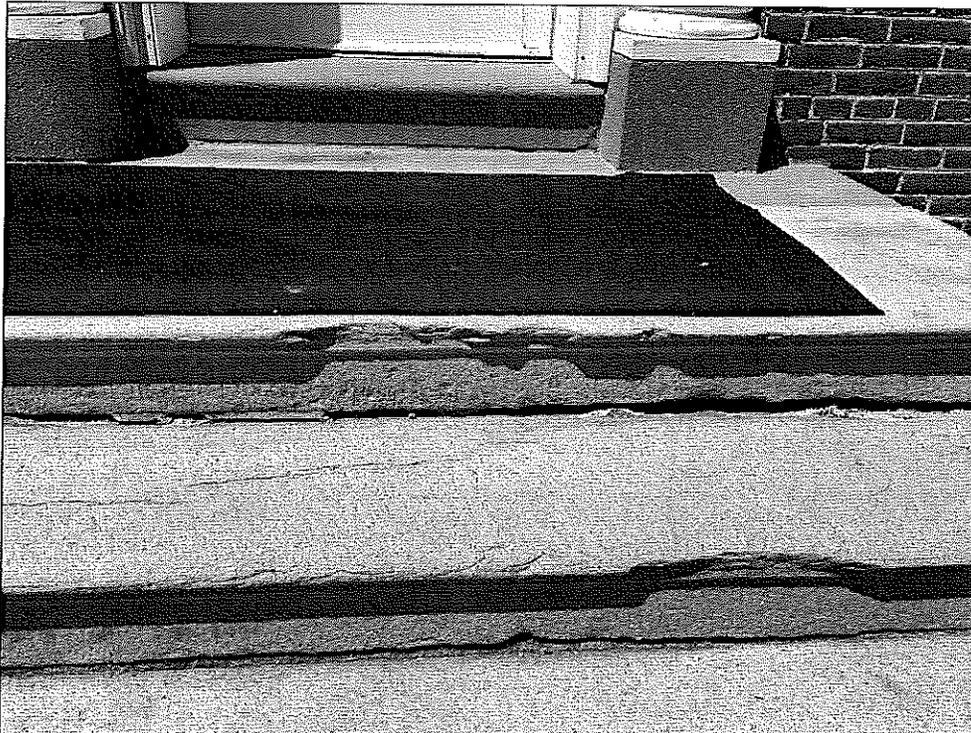
Project Image Attachment Form for National Park Service Grants

Page 8



Clear Image 15

Image 15 Label Front entry stair, with mortar visibly missing between the treads and risers.



Clear Image 16

Image 16 Label Close up of entry stair shows deterioration of existing stair treads.

# Project Image Attachment Form for National Park Service Grants

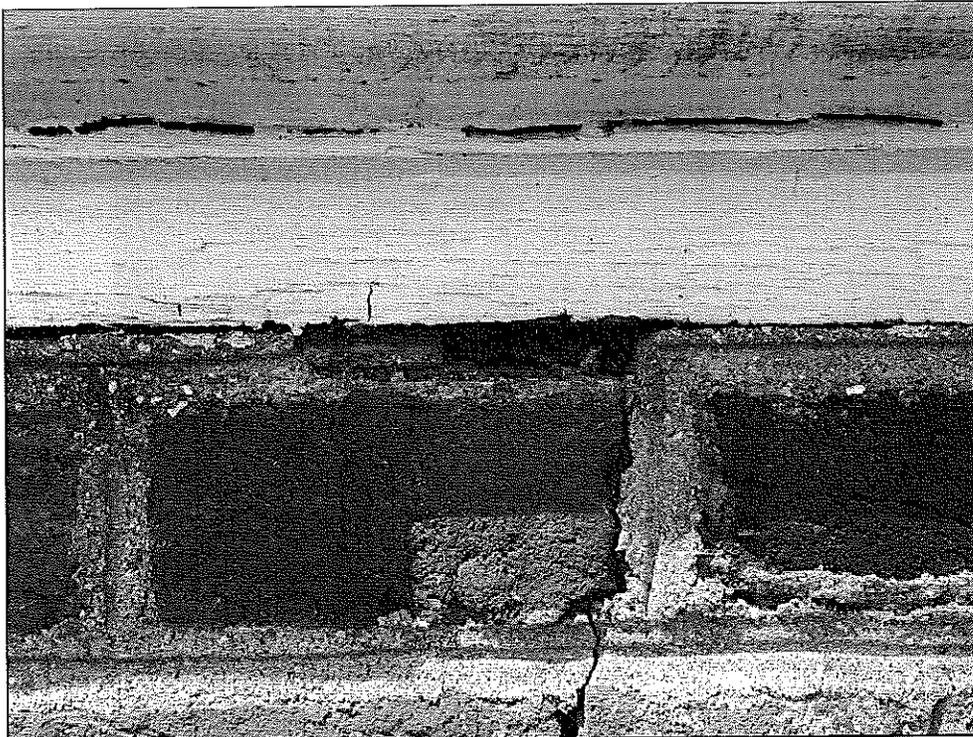
Page 9



Clear Image 17

Image 17 Label

Existing basement entry door has sustained damage to existing masonry surrounds.



Clear Image 18

Image 18 Label

Many existing mortar joints are spalling, particularly common at existing openings and material transitions.

# Project Image Attachment Form for National Park Service Grants

Page 10



image 19 here.

Clear Image 19

Image 19 Label

Vertical masonry cracks have formed, creating air and water infiltration concerns in localized areas.



Clear Image 20

Image 20 Label

Loockerman Hall has been used for many different things in its history including classrooms, residence hall, dining facilities, and recently for special events.