

Addendum #1

Date: April 27, 2015
Project: Warren Franklin East Window Replacement
Contract: FD-14-098

The work herein shall be considered part of the bid documents for the referenced project and carried out in accordance with the following supplemental instructions issued in accordance with the Contract Documents without change in Contract Sum or Contract Time. Acknowledge receipt of addendum on the bid form as indicated.

General Information:

1. **BID SUBMISSION DEADLINE HAS BEEN EXTENDED.** Bids will be accepted until 3:00pm local time on Friday, May 8, 2015.
2. Pre-Bid Sign-in Sheet: Please see attached sheet for a list of the attendees at the mandatory pre-bid. **See attached.**
3. Pre-Bid Meeting Minutes: These minutes are now integral to the bidding documents. **See attached.**

Clarifications:

1. The building, within the limits of construction, will be completely unoccupied and will be made fully accessible to contractors from May 18, 2015-August 14, 2015 and from December 12, 2015-January 7, 2016. The building will be occupied from August 20, 2015 through December 11, 2015, and after January 7, 2016.
2. Stairs and lounges may be under construction at any time, given the University is supplied with adequate notice (5 business days) of the closure of space.
3. During the occupied periods, the contractor shall have access to a single unoccupied floor. Floors must achieve final completion and be released for occupancy prior to the next floor being made available.
4. At the completion of a floor, students will relocate from an occupied floor to the recently completed floor. Relocations should be allotted 3-5 business days, during which construction activities on site will be limited to stairs and lounges.
5. There will be two construction blackout periods, during in which contract work will not underway in the best interests of the students and the contractors.
 - a. August 20, 2015- August 30, 2015
 - b. October 18, 2015- October 25, 2015

Changes to Specifications:

1. Section 00 21 13 – Liquidated Damages, Article 9 has been removed in its entirety and shall not apply to this project.
2. Section 00 41 13 – Bid Form (**See attached**)
 - a. Paragraph A.1.c – Bid Alternate #3 has been added for a deduction in costs if the University provides an unoccupied East Wing.
 - b. Paragraph C.1 – Revised to eliminate reference to liquidated damages.
 - c. Paragraph C.2.a – A line has been added to reflect the construction duration if Alternate #3 is accepted.
 - d. Paragraph C.3. – Revised to remove the 165 calendar day requirement. It is the University's understanding that local window suppliers and installers are not willing to enter into this project due to the timing. Bidders will be responsible for entering the calendar days needed based on their approach to the project. This information should reflect the completion indicated on the construction schedule that is submitted with the bid submission. (**See attached date revisions**).

Changes to Drawings:

1. Section T10-02 reissued. Revised Storefront/ Window Spec & added Window Treatment Spec.
2. AD10-02 reissued. Annotations and notes have been added.
3. AD10-03 reissued. Annotations and notes have been added.
4. Section A10-03 reissued. Added 2 details, renumbered details, added detail marks to elevations.

Questions and Answers:

1. **Question:** Construction Note #9 – this is not quantifiable. Please define allowance that all contractors should carry patching/repairing drywall and an allowance for replacement of drywall.
Answer: Refer to sheet T10-02 for specifications, which indicate a schedule of allowances. The bid form has been revised to include these allowances.
2. **Question:** Construction Note #10 – Please provide an allowance that all contractor should carry to prime new drywall.
Answer: Refer to sheet T10-02 for specifications, which indicate a schedule of allowances. The bid form has been revised to include these allowances.
3. **Question:** Will contractors be able to work on the weekend?
Answer: Weekend work is acceptable given it is accounted for in bid form.

END



DELAWARE STATE UNIVERSITY

OFFICE OF FACILITIES MANAGEMENT

1200 N. DuPont Highway
Dover, Delaware 19901-2277

DSU Main Campus
Warren Franklin East Window Replacement
Contract: FD-14-098
Mandatory Pre-bid Meeting
April 22, 2015 @ 1:00 PM

MEETING MINUTES

Meeting Location: Delaware State University
FD-14-098 – Warren Franklin East Window Replacement
Dover, Delaware

Meeting Attendees:
(Refer to attached Sign-In Sheet)

1. **Attendee Sign-In:**
 - a. Sign-in sheet was circulated. All attendees are signed in. Sign-in sheet will be distributed as part of Addendum #1.
2. **Responsible Parties:**
 - a. DSU: Jessica Wilson, Director of Purchasing
 - b. DSU: J.D. Bartlett, Director of Planning and Construction
 - c. DSU: Natalie Glasco, Construction Project Manager
 - d. Architect of Record: Fearn Clendaniel Architects, Ben Garvin: Project Architect
3. **Explanation of the project:**
 - a. As outlined in the Bid Advertisement. All documents can be obtained through the state bidding system at http://www.bids.delaware.gov/bids_detail.asp?i=3030&DOT=N. Please contact ConstructionBid@desu.edu with any questions or concerns with obtaining bid documents.
 - b. Construction Schedule
 1. Earliest Start of Construction Date – May 18, 2015
 2. Substantial Completion Date – October 30, 2015
 - c. Project architect did a brief discussion of the scope of the project. A tour was conducted immediately following the pre-bid meeting to further review the scope of the project. Tour included review of interior and exterior conditions. There were no questions by any attendees during this tour.
4. **Project Requirements:**
 - a. This project shall comply with all applicable State bid laws including, but is not limited to requirements for Bid Bonds, Payment Bonds, and Performance Bonds.
 - b. The State of Delaware Prevailing Wage Regulations apply to this project. Refer to the project manual for further information.
5. **Bid Form Review:**
 - a. The Bid Form was briefly outlined. It is essential that bid be submitted in its entirety including required forms & attachments, as indicated in the specifications. Submitted bid shall be lump sum. Submitted bid shall include pricing for each alternate.
 - b. Subcontractors List section of the bid form shall not be left blank for any reason. Noncompliance may result in a rejection of submitted bid. If bidding contractor is doing

RE: FD-14-098 – Warren Franklin East Window Replacement
Mandatory Pre-Bid Meeting Minutes
Published: April 27, 2015

the work in the place of a subcontractor, indicate accordingly on said form. The following subcontractor categories have been established and shall be reflected in each bid:

1. Demolition
 2. Windows
 3. General Trades
 4. Painting
6. **Bid Submission:**
- a. Bids will be accepted until **April 29, 2015, 10:00 AM**, at the Administration Building in Room 321 of the Delaware State University, Dover Campus. Bids will be publically opened and read immediately.
7. **Document Interpretations or Questions:**
- a. All bidding related questions should be submitted in writing to ConstructionBid@desu.edu. Questions, answers to questions, and clarifications will be provided via addendum.
 - b. Submit all requests and questions, in writing via email, no later than **April 24, 2015, 4:00PM**.
8. **Addenda**
- a. The final addendum will be issued on, or before, **April 27, 2015**.
9. **Question and Answers**
- a. None.

These notes represent the author's understanding of the issues discussed. Please contact the author with any discrepancies no later than three calendar days after receipt of these minutes. Otherwise, the contents of these minutes will be deemed accepted by all recipients.

/jdb

Enclosure(s): Pre-bid Sign-in Sheet

cc: All Attendees

Facilities Management File: N:\Planning and Construction\Projects\Warren-Franklin East & West\FD-14-098 East Window Replacement\2015 Redesign\03-Bidding\Pre-bid Meeting

~~FD-14-098~~ WARREN FRANKLIN EAST WINDOW REPLACEMENT
~~[PROJECT NUMBER]~~ ~~[PROJECT NAME]~~

Pre-Bid Meeting Sign-in
~~[INSERT DATE AND TIME OF MEETING]~~
 APRIL 22, 2015 1:00PM



Attendee	Company Information	Attach Business Card
Printed Name: <u>Ryan Jackson</u> Signature: <u>[Signature]</u> Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Primary Contact: <u>Steve Serbu</u>	Company: <u>Amaker Inc</u> Email: <u>Amaker@AOL.com</u> Phone: <u>302-834-8664</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Troy Johnson</u> Signature: <u>[Signature]</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>Troy Johnson</u>	Company: <u>Nosmer Johnson</u> Email: <u>TDJm9c@comcast.net</u> Phone: <u>302 697 2264</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Scott Schuman</u> Signature: <u>[Signature]</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>Scott Schuman</u>	Company: <u>BRS Consulting Inc</u> Email: <u>brsconsultinginc@brscanine.com</u> Phone: <u>302 786 2326</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	

FD-14-098 WARREN FRANKLIN EAST WINDOW REPLACEMENT

PROJECT NUMBER: [PROJECT NAME]
 Pre-Bid Meeting Sign-in
 INSERT DATE AND TIME OF MEETING
 APRIL 23, 2015 1:00 PM



Attendee	Company Information	Attach Business Card
Printed Name: <u>WILLIAM BOOTH</u> Signature: <u>WB</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>COMMONWEALTH CONST. CO.</u> Email: <u>dbooth@itscommonwealth.com</u> Phone: <u>302-654-6611</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>David S. Byler</u> Signature: <u>[Signature]</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>David</u>	Company: <u>Byler Home Builders</u> Email: <u>[Redacted]</u> <u>dbyler@gmail.com</u> Phone: <u>302-331-1393</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Bobby Wilson</u> Signature: <u>[Signature]</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>Bobby</u>	Company: <u>GEN II Contracting Co.</u> Email: <u>Churchdesignbuilder@gmail.com</u> Phone: <u>302 233 6463</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	



Attendee	Company Information	Attach Business Card
Printed Name: <u>Larry Scuss</u> Signature: <u>Larry Scuss</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: <u>Larry</u>	Company: <u>Kent Construction</u> Email: <u>Estimate@kentconstruction.com</u> Phone: <u>302 653-6464</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Taylor McCracken</u> Signature: <u>Taylor McCracken</u> Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Primary Contact: <u>Josh George</u>	Company: <u>Whiting-Turner</u> Email: <u>taylor.mccracken@whiting-turner.com</u> Phone: <u>302-561-5665</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>DOMINICK SCHIAVONI</u> Signature: <u>[Signature]</u> Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Primary Contact: <u>ED IDE</u>	Company: <u>ISA/EHI</u> Email: <u>ED@isa LLC.com</u> Phone: <u>302 659-9090</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	

FD-14-098 WARREN FRANKLIN ~~WEST~~ EAST WINDOW REPLACEMENT

PROJECT NUMBER: ~~PROJECT NAME~~
 Pre-Bid Meeting Sign-in
~~INSERT DATE AND TIME OF MEETING~~
 APRIL 22, 2015 1:00 PM



Attendee	Company Information	Attach Business Card
Printed Name: <u>JB Rhodes</u> Signature: <u>[Signature]</u> Primary Contact: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Primary Contact: <u>JB Rhodes</u>	Company: <u>County Group</u> Email: <u>jb Rhodes@countygrp.com</u> Phone: <u>302-322-8946</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: <u>Peter mc manus</u> Signature: <u>[Signature]</u> Primary Contact: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: <u>County Group</u> Email: <u>pmcmanus@countygrp.com</u> Phone: <u>302-309-4149</u> Email Bid Updates: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
Printed Name: _____ Signature: _____ Primary Contact: <input type="checkbox"/> YES <input type="checkbox"/> NO Primary Contact: _____	Company: _____ Email: _____ Phone: _____ Email Bid Updates: <input type="checkbox"/> YES <input type="checkbox"/> NO	



BID FORM

Project: FD-14-098 – Warren Franklin East Window Replacement

Location: Delaware State University
Warren Franklin East, Main Campus
1200 N. DuPont Hwy.
Dover, DE.

For Bids Due: May 8, 2015 @ 3:00 PM EST

To: Delaware State University
Administration Bldg,
Purchasing, Room 321
1200 N. DuPont Highway
Dover, DE 19901-2277
Attn: Jessica Wilson
Director of Purchasing

Name of Bidder: _____

Delaware Business License No.: _____ **Taxpayer ID No.:** _____
(A copy of Bidder’s Delaware Business License must be attached to this form.)

(Other License Nos.): _____

Phone No.: () _____ - _____ **Fax No.:** () _____ - _____

The undersigned, representing that he has read and understands the Bidding Documents and that this bid is made in accordance therewith, that he has visited the site and has familiarized himself with the local conditions under which the Work is to be performed, and that his bid is based upon the materials, systems and equipment described in the Bidding Documents without exception, hereby proposes and agrees to provide all labor, materials, plant, equipment, supplies, transport and other facilities required to execute the work described by the aforesaid documents for the lump sum itemized below:

\$ _____ (Written Out).
(\$ _____) (Figures).

This price includes all allowances as documented within the project manual.

A. ALTERNATES (Note: project is subject to prevailing wages)

1. Alternates: Alternate prices conform to applicable project specification section. Refer to the drawing specifications for a complete description of the following Alternates. An “ADD” or “DEDUCT” amount is indicated by the crossing out the part that does not apply.

a. Alternate #1: ADD / DEDUCT.

(1) Storefront (in lieu of two mulled Window units per opening - base bid)

- _____ (Figures).
- _____ (Written Out).

b. Alternate #2: ADD / DEDUCT.

(1) Phenolic Stool

- _____ (Figures).
- _____ (Written Out).

c. Alternate #3: DEDUCT.

(1) Complete all work within the contract in a building that is completely unoccupied.

- _____ (Figures).
- _____ (Written Out).

B. ALLOWANCES

1. Allowances: Allowance prices conform to applicable project specification section. Refer to the drawing specifications for a complete description of the following Allowances.

a. Allowance #1: INCLUDE IN LUMP SUM BASE BID

(1) Include allowance of \$45,000.00 for patching and repair of existing gypsum board finishes damages by water infiltration on normal wear and tear. This allowance is in addition to that indicated on the construction documents. Carpentry and gypsum board finished included in the construction details to complete the installation of the new windows shall not be part of the allowance.

b. Allowance #2: INCLUDE IN LUMP SUM BASE BID

(1) Include an allowance of \$18,000.00 for demolition and replacement of existing Gypsum Board finishes and thermal fiberglass batt insulation damaged by water infiltration or normal wear and tear.

C. UNIT PRICES

1. Unit prices conform to applicable project specification section. Refer to the specifications for a complete description of the following Unit Prices:

	<u>ADD</u>	<u>DEDUCT</u>
UNIT PRICE No. 1: <u>Window treatment blinds installed (EACH)</u>	\$ _____	\$ _____
UNIT PRICE No. 2: <u>Gypsum board repair (SQFT)</u>	\$ _____	\$ _____
UNIT PRICE No. 3: <u>Gypsum board replacement (SQFT)</u>	\$ _____	\$ _____

UNIT PRICE No. 4: Fiberglass insulation replacement (SQFT) \$ _____ \$ _____

UNIT PRICE No. 5: Painting per square foot (SQFT) \$ _____ \$ _____

C. WORK SCHEDULE

1. Our proposed detailed project schedule shows more fully the sequence of activities necessary to meet the specified schedule. The project schedule is a required attachment of a complete bid and failure to submit a viable schedule will be a justifiable reason to deem the bid as incomplete.
2. I/We can begin work _____ calendar days after notification of award and will require _____ calendar days thereafter to complete the work. Work on the project will begin _____ calendar days after Letter of Intent.
 - a. If Alternate #3 has been accepted: I/We can begin work _____ calendar days after notification of award and will require _____ calendar days thereafter to complete the work. Work on the project will begin _____ calendar days after Letter of Intent.

3. Alternative Work Hours

Work during “regular hours” at this site is being performed on a single shift, eight hours per day, 7:30 AM to 4:30 PM, and five days per week, Monday through Friday. To meet the schedule established on the basis of Item 1 above, our proposed work hours will be _____ hours per day, _____ AM to _____ PM, and _____ days per week, _____ through _____ the cost of which is reflected in our lump sum price. Our lump sum price also includes any mandatory off-hours work required per special conditions.

D. SITE SUPERINTENDANT

We propose to use _____ as our site superintendent. A resume of his/her qualifications is attached.

We understand that DSU reserves the right to interview him/her prior to contract award/prior to start of work and to reject him/her if not considered acceptable. If rejected, we will propose alternate personnel for the position who will be subject to the same review and acceptance procedure, at no increase in our lump sum proposal.

We also understand DSU reserves the right to reject our bid if we are unable to provide a site supervisor acceptable to DSU within thirty (30) calendar days after submission of this bid.

E. REMARKS

1. I/We acknowledge Addendums numbered _____ and the price(s) submitted include any cost/schedule impact they may have.

2. This bid shall remain valid and cannot be withdrawn for thirty (30) days from the date of opening of bids (60 days for School Districts and Department of Education), and the undersigned shall abide by the Bid Security forfeiture provisions. Bid Security is attached to this Bid.
3. The Owner shall have the right to reject any or all bids, and to waive any informality or irregularity in any bid received.
4. This bid is based upon work being accomplished by the Sub-Contractors named on the list attached to this bid.
5. Should I/We be awarded this contract, I/We pledge to achieve substantial completion of all the work within _____calendar days of the Notice to Proceed.
6. Our Bid Price(s) are firm based on contract award within thirty (30) calendar days of the date of submittal of this bid.
7. I/We understand that we will not be compensated at a later date for claimed additional costs based on any information received during the bid period, but which is not identified in our proposal and subsequently accepted in writing by DSU.

The undersigned represents and warrants that he has complied and shall comply with all requirements of local, state, and national laws; that no legal requirement has been or shall be violated in making or accepting this bid, in awarding the contract to him or in the prosecution of the work required; that the bid is legal and firm; that he has not, directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken action in restraint of free competitive bidding.

Upon receipt of written notice of the acceptance of this Bid, the Bidder shall, within twenty (20) calendar days, execute the agreement in the required form and deliver the Contract Bonds, and Insurance Certificates, required by the Contract Documents.

I am / We are an Individual / a Partnership / a Corporation

By _____ Trading as _____
(Individual's / General Partner's / Corporate Name)

(State of Corporation)

Business Address: _____

Witness: _____ By: _____
(SEAL) (Authorized Signature)

(Title)

Date: _____

ATTACHMENTS

- Sub-Contractor List
- Non-Collusion Statement
- Bid Security
- Construction Schedule
- Resume of Site Superintendent
- (Others as Required by Project Manuals)

END OF SECTION 00 41 13

STATE OF DELAWARE
OFFICE OF MANAGEMENT AND BUDGET

BID BOND

TO ACCOMPANY PROPOSAL
(Not necessary if security is used)

KNOW ALL MEN BY THESE PRESENTS That: _____
_____ of _____ in the County of _____
and State of _____ as **Principal**, and _____
_____ of _____ in the County of _____ and State of _____
as **Surety**, legally authorized to do business in the State of Delaware (“**State**”), are held and firmly unto the **State**
in the sum of _____ Dollars (\$_____),
or _____ percent not to exceed _____
_____ Dollars (\$_____) of amount of bid on Contract No. _____, to be
paid to the **State** for the use and benefit of _____ (*insert State agency
name*) for which payment well and truly to be made, we do bind ourselves, our and each of our heirs, executors,
administrators, and successors, jointly and severally for and in the whole firmly by these presents.

NOW THE CONDITION OF THIS OBLIGATION IS SUCH That if the above bonded **Principal** who has
submitted to the _____ (*insert State agency name*) a certain proposal to
enter into this contract for the furnishing of certain material and/or services within the **State**, shall be awarded this
Contract, and if said **Principal** shall well and truly enter into and execute this Contract as may be required by the
terms of this Contract and approved by the _____ (*insert State
agency name*) this Contract to be entered into within twenty days after the date of official notice of the award
thereof in accordance with the terms of said proposal, then this obligation shall be void or else to be and remain in
full force and virtue.

Sealed with _____ seal and dated this _____ day of _____ in the year of our Lord two
thousand and _____ (20____).

SEALED, AND DELIVERED IN THE
Presence of

Name of Bidder (Organization)

Corporate
Seal

By:

Authorized Signature

Attest _____

Title

Name of Surety

Witness: _____

By:

Title

SUBCONTRACTOR LIST

In accordance with Title 29, Chapter 6962 (d)(10)b Delaware Code, the following sub-contractor listing must accompany the bid submittal. The name and address of the sub-contractor **must be listed for each category** where the bidder intends to use a sub-contractor to perform that category of work. In order to provide full disclosure and acceptance of the bid by the *Owner*, **it is required that bidders list themselves as being the sub-contractor for all categories where he/she is qualified and intends to perform such work.**

<u>Subcontractor Category</u>	<u>Subcontractor</u>	<u>Address (City & State)</u>	<u>Subcontractors tax payer ID # or Delaware Business license #</u>
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____
5. _____	_____	_____	_____
6. _____	_____	_____	_____
7. _____	_____	_____	_____
8. _____	_____	_____	_____
9. _____	_____	_____	_____

NON-COLLUSION STATEMENT

This is to certify that the undersigned bidder has neither directly nor indirectly, entered into any agreement, participated in any collusion or otherwise taken any action in restraint of free competitive bidding in connection with this proposal submitted this date *(to the Office of Management and Budget, Division of Facilities Management)*.

All the terms and conditions of *(Project or Contract Number)* have been thoroughly examined and are understood.

NAME OF BIDDER: _____

**AUTHORIZED REPRESENTATIVE
(TYPED):** _____

**AUTHORIZED REPRESENTATIVE
(SIGNATURE):** _____

TITLE: _____

ADDRESS OF BIDDER: _____

E-MAIL: _____

PHONE NUMBER: _____

Sworn to and Subscribed before me this _____ day of _____ 20_____.

My Commission expires _____. NOTARY PUBLIC _____.

THIS PAGE MUST BE SIGNED AND NOTARIZED FOR YOUR BID TO BE CONSIDERED.



DELAWARE STATE UNIVERSITY

OFFICE OF FACILITIES MANAGEMENT

1200 N. DuPont Highway
Dover, Delaware 19901-2277

Date: April 27, 2015

Project: FD-14-098 Warren Franklin East Window Replacement

The revised project schedule and key events shall be considered part of the bid documents for the referenced project above and carried out in accordance with the Contract Documents.

Revised key events and dates:

April 22, 2015	Mandatory Site Visit at Warren Franklin East Lobby (1:00PM EST)
May 01, 2015	Deadline for Questions (4:00PM EST)
May 05, 2015	Posting of Answers to Contractor Questions (4:00PM EST)
May 05, 2015	Final Date for Addendums
May 08, 2015	Proposals Due (3:00 PM EST)
May 15, 2015	Contractor Selection Date
June 15, 2015	Anticipated Start of Construction Date (subject to change)
June 05, 2015	Latest Date for Contract Award

DIVISION 1

GENERAL

AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 EDITION, ARE HEREBY INCORPORATED INTO THE CONTRACT DOCUMENTS AS IF COMPLETELY REPRODUCED HEREIN, EXCEPT AS SPECIFICALLY MODIFIED BY THE CONTRACT DOCUMENTS.

ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, APPLICABLE LAWS AND REGULATIONS, AND ALL APPLICABLE REQUIREMENTS OF REGULATORY AGENCIES. IF THERE IS A CONFLICT AMONG THE DRAWINGS, SPECIFICATIONS, OTHER CONTRACT DOCUMENTS, CODES OR REGULATIONS, THE STRICTEST STANDARDS SHALL APPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THERE IS SUCH A CONFLICT WITH THE CONTRACT DOCUMENTS.

ITEMS OF WORK INDICATED ON THE DRAWINGS, BUT NOT SPECIFIED, AND ITEMS OF WORK SPECIFIED, BUT NOT SHOWN ON THE DRAWINGS, SHALL BE CONSIDERED REQUIRED AS IF INDICATED IN BOTH. DRAWINGS ARE INTENDED TO SHOW ARRANGEMENT, DESIGN, AND EXTENT OF WORK, AND ARE PARTLY DIAGNOSTIC. THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS OR TO SERVE AS SHOP DRAWINGS.

VERIFY ALL PROJECT CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN THE DOCUMENTS FOR CORRECTION BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK SHALL BE PERFORMED BY SKILLED MECHANICS EXPERIENCED IN THEIR RESPECTIVE TRADES. INSTALL ITEMS IN ACCURATE LOCATION, PLUMB, LEVEL, SQUARE, PARALLEL, STRAIGHT, FLUSH, IN PLANE LINE, TRUE TO SHAPE, AND NEAT. CHECK THE WORK OF EACH TRADE FOR SOUNDNESS OF CONSTRUCTION, LOCATION, WORKMANSHIP AND OTHER SUITABLE, AND PROCEED ONLY AFTER ALL IMPERFECTIONS HAVE BEEN ELIMINATED.

AS WORK PROGRESSES, KEEP THE PROJECT SITE FREE FROM ACCUMULATION OF WASTE MATERIALS, DEBRIS, AND RUBBISH. AT THE COMPLETION OF THE PROJECT, REMOVE FROM THE BUILDING AND SURROUNDING AREA ALL WASTE MATERIALS, DEBRIS, EQUIPMENT, TOOLS, SCAFFOLDING, SURPLUS MATERIALS NOT OTHERWISE INDICATED TO BE RETAINED BY THE OWNER. THE OWNER SHALL ALSO BE REMOVED FROM THE SITE.

MODIFICATION PROCEDURES

OWNER-INITIATED CHANGE ORDER PROPOSAL REQUESTS: THE ARCHITECT WILL ISSUE A DESCRIPTION OF THE PROPOSED CHANGES IN THE WORK THAT REQUIRE AN ADJUSTMENT IN THE CONTRACT SUM OR TIME. THE DESCRIPTION MAY INCLUDE SUPPLEMENTAL OR REVISED DRAWINGS OR SPECIFICATIONS. PROPOSAL REQUESTS ARE FOR INFORMATION ONLY AND ARE NOT AN INSTRUCTION TO STOP WORK, OR TO EXECUTE THE PROPOSED CHANGE WITHIN 14 CALENDAR DAYS. SUBMIT AN AMOUNT NECESSARY TO EXECUTE THE CHANGE FOR THE OWNER'S REVIEW. INCLUDE AN ITEMIZED LIST OF PRODUCTS REQUIRED AND UNIT COSTS, ALONG WITH ANY ADDITIONAL COSTS INCLUDING MARKUPS AND OVERHEAD, INDICATE THE EFFECT ON THE CONTRACT SUM AND THE CONTRACT TIME.

CONTRACTOR-INITIATED CHANGE ORDERS: WHEN UNFORESEEN CONDITIONS REQUIRE MODIFICATIONS, THE CONTRACTOR MAY SUBMIT A REQUEST FOR A CHANGE TO THE OWNER AND ARCHITECT. DESCRIBE THE PROPOSED CHANGE. INDICATE THE REASONS FOR THE CHANGE AND THE EFFECT OF THE CHANGE ON THE CONTRACT SUM AND THE CONTRACT TIME. INCLUDE AN ITEMIZED LIST OF THE PRODUCTS REQUIRED AND UNIT COSTS, ALONG WITH ANY ADDITIONAL COSTS INCLUDING MARKUPS AND OVERHEAD.

COORDINATION

COORDINATE CONSTRUCTION OPERATIONS INCLUDED IN THE VARIOUS TRADES OF THE WORK TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS OF DIFFERENT TRADES THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.

SCHEDULE CONSTRUCTION OPERATIONS IN THE SEQUENCE REQUIRED TO OBTAIN THE BEST RESULTS WHERE INSTALLATION OF ONE PART OF THE WORK DEPENDS ON THE INSTALLATION OF OTHER COMPONENTS, BEFORE OR AFTER ITS OWN INSTALLATION.

MAKE PROVISIONS TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.

INSPECTION OF CONDITIONS: REQUIRE THE INSTALLER OF EACH MAJOR COMPONENT TO INSPECT BOTH THE SUBSTRATE AND CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.

COORDINATE TEMPORARY ENCLOSURES WITH REQUIRED INSPECTIONS AND TESTS TO MINIMIZE THE NECESSITY OF UNCOVERING COMPLETED CONSTRUCTION FOR THAT PURPOSE.

SUBMITTALS

COORDINATE SUBMITTAL PREPARATION WITH CONSTRUCTION, FABRICATION, AND OTHER SUBMITTALS, AND ACTIVITIES THAT REQUIRE SEQUENTIAL OPERATIONS. TRANSMIT IN ADVANCE OF CONSTRUCTION OPERATIONS TO AVOID DELAY. SUBMITTALS SHALL BE PROVIDED FOR ALL WORK OF THE PROJECT.

PROCESSING: ALLOW (7) CALENDAR DAYS FOR REVIEW. ALLOW MORE TIME IF THE ARCHITECT MUST DELAY PROCESSING TO PERMIT COORDINATION. THE ARCHITECT RESERVES THE RIGHT TO WITHHOLD ACTION ON A SUBMITTAL REQUIRING COORDINATION UNTIL RELATED SUBMITTALS ARE RECEIVED.

SHOP DRAWINGS: SUBMIT NEWLY PREPARED INFORMATION DRAWN TO SCALE. INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE THE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION. SUBMIT ONE CORRECTABLE, REPRODUCIBLE PRINT AND ONE BLUE OR BLACK LINE PRINT ON SHEETS AT LEAST 8-1/2 INCHES BY 11 INCHES, BUT NO LARGER THAN 30 INCHES BY 42 INCHES. THE ARCHITECT WILL RETURN THE REPRODUCIBLE PRINT.

SAMPLES: SUBMIT FULL-SIZE SAMPLES CURED AND FINISHED AS SPECIFIED, AND IDENTICAL WITH THE MATERIAL PROPOSED. MOUNT THE SAMPLES TO FACILITATE REVIEW OF QUALITIES. SUBMIT SAMPLES FOR REVIEW OF SIZE, KIND, COLOR, PATTERN, AND TEXTURE, FOR A CHECK OF THESE CHARACTERISTICS, AND FOR A COMPARISON OF THESE CHARACTERISTICS BETWEEN THE FINAL SUBMITTAL AND THE ACTUAL COMPONENT AS DELIVERED AND INSTALLED.

PRODUCT DATA: COLLECT PRODUCT DATA INTO A SINGLE SUBMITTAL FOR EACH ELEMENT OF CONSTRUCTION. MARK EACH COPY TO SHOW APPLICABLE CHOICES AND OPTIONS, WHERE PRODUCT DATA INCLUDES INFORMATION ON SEVERAL PRODUCTS. MARK COPIES TO INDICATE APPLICABLE INFORMATION. SUBMIT 4 COPIES. THE ARCHITECT WILL RETAIN ONE AND RETURN THE OTHERS MARKED WITH ACTION TAKEN.

MATERIALS AND EQUIPMENT

SOURCE LIMITATIONS: TO THE FULLEST EXTENT POSSIBLE, PROVIDE PRODUCTS OF THE SAME KIND FROM A SINGLE SOURCE.

DELIVER, STORE AND HANDLE PRODUCTS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, USING MEANS AND METHODS THAT WILL PREVENT DAMAGE, DETERIORATION, AND LOSS, INCLUDING THEFT. STORE PRODUCTS SUBJECT TO DAMAGE BY THE ELEMENTS ABOVE GROUND, UNDER COVER IN A WEATHER TIGHT ENCLOSURE, WITH VENTILATION ADEQUATE TO PREVENT CONDENSATION, MAINTAIN TEMPERATURE AND HUMIDITY WITHIN THE RANGE REQUIRED BY THE MANUFACTURER'S INSTRUCTIONS.

PROVIDE WEATHER-RESISTANT AND DUST PROOF TEMPORARY ENCLOSURES AROUND CONSTRUCTION OPERATIONS.

PROPRIETARY SPECIFICATION REQUIREMENTS: WHERE SPECIFICATIONS NAME ONLY A SINGLE PRODUCT OR MANUFACTURER, PROVIDE THE PRODUCT SPECIFIED OR SUBMIT SUBSTITUTION REQUEST WITH DATA FOR ARCHITECT DETERMINATION EQUAL.

SEMI-PROPRIETARY SPECIFICATION REQUIREMENTS: WHERE SPECIFICATIONS NAME 2 OR MORE PRODUCTS OR MANUFACTURERS, PROVIDE ONE OF THE PRODUCTS INDICATED.

DESCRIPTIVE SPECIFICATION REQUIREMENTS: WHERE SPECIFICATIONS DESCRIBE A PRODUCT OR ASSEMBLY, LISTING EXACT CHARACTERISTICS REQUIRED, WITH OR WITHOUT THE USE OF A BRAND NAME PROVIDE A PRODUCT OR ASSEMBLY THAT PROVIDES THE CHARACTERISTICS AND OTHERWISE COMPLIES WITH THE CONTRACT REQUIREMENTS.

ALLOWANCES

CERTAIN ITEMS ARE SPECIFIED IN THE CONTRACT DOCUMENTS BY ALLOWANCES. ALLOWANCES HAVE BEEN ESTABLISHED IN LIEU OF ADDITIONAL REQUIREMENTS AND TO DEFER SELECTION OF ACTUAL MATERIALS AND EQUIPMENT TO A LATER DATE WHEN ADDITIONAL INFORMATION IS AVAILABLE FOR EVALUATION. IF NECESSARY, ADDITIONAL REQUIREMENTS WILL BE ISSUED BY CHANGE ORDER.

TYPE OF ALLOWANCES: LUMP SUM

SUBMITTAL

- 1. SUBMIT PROPOSALS FOR PURCHASE OF PRODUCTS OR SYSTEMS INCLUDED IN ALLOWANCES, IN THE FORM SPECIFIED FOR CHANGE TO ORDER, AFTER INSTALLATION HAS BEEN COMPLETED AND ACCEPTED.
2. SUBMIT INVOICES OR DELIVERY SLIPS TO SHOW ACTUAL QUANTITIES OF MATERIALS DELIVERED TO THE SITE FOR USE IN FULFILLMENT OF EACH ALLOWANCE.
3. COORDINATE AND PROCESS SUBMITTALS FOR ALLOWANCE ITEMS IN SAME MANNER AS FOR OTHER PORTIONS OF THE WORK.

LUMP SUM COST ALLOWANCES SHALL INCLUDE COST TO CONTRACTOR OF SPECIFIC PRODUCTS AND MATERIALS SELECTED BY ARCHITECT UNDER ALLOWANCE AND SHALL INCLUDE TAXES, FREIGHT, AND DELIVERY TO PROJECT SITE.

UNUSED MATERIALS: RETURN UNUSED MATERIALS PURCHASED UNDER AN ALLOWANCE TO MANUFACTURER OR SUPPLIER FOR CREDIT TO OWNER, AFTER INSTALLATION HAS BEEN COMPLETED AND ACCEPTED. PREPARATION, COORDINATE MATERIALS AND THEIR INSTALLATION FOR EACH ALLOWANCE WITH RELATED MATERIALS AND INSTALLATIONS TO ENSURE THAT EACH ALLOWANCE ITEM IS COMPLETELY INTEGRATED AND INTERFACED WITH RELATED WORK.

SCHEDULE OF ALLOWANCES:

ALLOWANCE NO. 1: INCLUDE AN ALLOWANCE OF \$45,000.00 FOR PATCHING AND REPAIR OF EXISTING GYPSUM BOARD FINISHES DAMAGED BY WATER INFILTRATION OR NORMAL WEAR AND TEAR. THIS ALLOWANCE IS IN ADDITION TO THAT INDICATED ON THE CONSTRUCTION DOCUMENTS. CARPENTRY AND GYPSUM BOARD FINISHES INCLUDED IN THE CONSTRUCTION DETAILS TO COMPLETE THE INSTALLATION OF THE NEW WINDOWS SHALL NOT BE PART OF THE ALLOWANCE.

ALLOWANCE NO. 2: INCLUDE AN ALLOWANCE OF \$10,000.00 FOR DEMOLITION AND REPLACEMENT OF EXISTING GYPSUM BOARD FINISHES AND THERMAL FIBERGLASS BATT INSULATION DAMAGED BY WATER INFILTRATION OR NORMAL WEAR AND TEAR.

UNIT PRICES: UNIT PRICE IS AN AMOUNT PROPOSED BY BIDDERS, STATED ON THE BID FORM, AS A PRICE PER UNIT OF MEASUREMENT FOR MATERIALS OR SERVICES ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BY APPROPRIATE MODIFICATION. IF ESTIMATED QUANTITIES OF WORK REQUIRED BY THE CONTRACT DOCUMENTS ARE INCREASED OR DECREASED.

UNIT PRICES INCLUDE ALL NECESSARY MATERIAL, PLUS COST FOR DELIVERY, INSTALLATION, INSURANCE, APPLICABLE TAXES, OVERHEAD, AND PROFIT.

OWNER RESERVES THE RIGHT TO SELECT CONTRACTOR'S MEASUREMENT OF WORK-IN-PLACE THAT INVOLVES USE OF ESTABLISHED UNIT PRICES AND TO HAVE THIS WORK MEASURED, AT OWNER'S EXPENSE, BY AN INDEPENDENT SURVEYOR ACCEPTABLE TO CONTRACTOR.

LIST OF UNIT PRICES:

UNIT PRICE NO. 1 ADD/DEDUCT DESCRIPTION: FINISHES AND REPAIR OF EXISTING GYPSUM BOARD FINISHES DAMAGED BY WATER INFILTRATION OR NORMAL WEAR AND TEAR. UNIT OF MEASUREMENT: SQUARE FEET

UNIT PRICE NO. 2 ADD/DEDUCT DESCRIPTION: DEMOLITION AND REPLACEMENT OF EXISTING GYPSUM BOARD FINISHES AND THERMAL FIBERGLASS BATT INSULATION. UNIT OF MEASUREMENT: SQUARE FEET

UNIT PRICE NO. 3 ADD/DEDUCT DESCRIPTION: HEAVY DUTY COMMERCIAL 1" ALUMINUM HORIZONTAL BLINDS. UNIT OF MEASUREMENT: TWO UNITS REQUIRED TO FIT 14-22 OPENING.

UNIT PRICE NO. 4 ADD DESCRIPTION: (1) COAT PRIMER, (2) COATS OF PAINT ON EXISTING WALLS. UNIT OF MEASUREMENT: SQUARE FEET

ALTERNATES

AN AMOUNT PROPOSED BY BIDDERS AND STATED ON THE BID FORM FOR CERTAIN WORK DEFINED IN THE BIDDING REQUIREMENTS THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE EITHER IN THE AMOUNT OF CONSTRUCTION TO BE PROVIDED OR IN THE PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.

THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE ALTERNATE INTO THE WORK. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

COORDINATION: MODIFY OR ADJUST AFFECTED ADJACENT WORK AS NECESSARY TO COMPLETELY INTEGRATE WORK OF THE ALTERNATE INTO PROJECT.

NOTIFICATION: IMMEDIATELY FOLLOWING AWARD OF THE CONTRACT, NOTIFY EACH PARTY INVOLVED, IN WRITING, OF THE WORK OF EACH ALTERNATE. INDICATE IF ALTERNATE HAS BEEN ACCEPTED, REJECTED, OR DEFERRED FOR LATER CONSIDERATION. INCLUDE A COMPLETE DESCRIPTION OF NEGOTIATED MODIFICATIONS TO ALTERNATES.

EXECUTE ACCEPTED ALTERNATES UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.

SCHEDULE OF ALTERNATES

ALTERNATE NO 1 COMBINE STOREFRONT UNIT WITH OPERABLE PROJECT-IN UNIT INDICATED AS ALTERNATE IN LIEU OF THE COMBINATION WINDOW UNITS INDICATED AS BASE BID.

ALTERNATE NO 2 PROVIDE SOLID PHENOLIC WINDOW STOOL INDICATED AS ALTERNATE IN LIEU OF THE SOLID SURFACE STOOL.

SUBSTITUTIONS

THE ARCHITECT WILL CONSIDER WRITTEN REQUESTS FOR SUBSTITUTIONS RECEIVED PRIOR TO END OF BIDDING PERIOD. PROVIDE THE FOLLOWING INFORMATION: COORDINATION INFORMATION, INCLUDING A LIST OF CHANGES NECESSARY TO ACCOMMODATE THE SUBSTITUTION, A COMPARISON OF THE SUBSTITUTION WITH THE WORK SPECIFIED, INCLUDING PERFORMANCE AND VISUAL EFFECT, PRODUCT DATA, SAMPLES, WHERE APPLICABLE OR REQUESTED, THE EFFECT OF THE SUBSTITUTION ON THE CONSTRUCTION SCHEDULE AND CONTRACT TIME, COST INFORMATION, INCLUDING ANY NET CHANGE TO THE CONTRACT SUM, CERTIFICATION THAT THE SUBSTITUTION CONFORMS TO THE CONTRACT DOCUMENTS AND IS APPROPRIATE FOR THE APPLICATIONS INDICATED.

WARRANTIES

WARRANTY WORK AGAINST DEFECTIVE MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, REMEDY ANY AND ALL DEFECTS IN THE WORK UPON WRITTEN NOTIFICATION FROM THE OWNER. SUBMIT A WRITTEN WARRANTY TO THE OWNER THAT ALL MATERIALS AND WORKMANSHIP SHALL BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. THERE WILL BE NO ADDITIONAL COST TO REPAIR OR REPLACE ANY SUCH WORK THAT IS FOUND TO BE DEFECTIVE WITHIN THE WARRANTY PERIOD.

CUTTING AND PATCHING

STRUCTURAL ELEMENTS: DO NOT CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT COULD CHANGE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO. STRUCTURAL ELEMENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: A. WALLS AND PARTITIONS.

- B. LINTEL AND HEADERS IN WALLS AND PARTITIONS.
C. FLOORS ABOVE GRADE.
D. ROOF DECK OR STRUCTURE.
E. BRACING AND SHORING.
F. GUY WIRES AND STRUTS.

OPERATIONAL ELEMENTS: DO NOT CUT AND PATCH OPERATING ELEMENTS AND RELATED COMPONENTS IN A MANNER THAT RESULTS IN REDUCING THEIR CAPACITY TO PERFORM AS INTENDED OR THAT RESULTS IN INCREASED MAINTENANCE OR DECREASED OPERATIONAL LIFE OR SAFETY.

MISCELLANEOUS ELEMENTS: DO NOT CUT AND PATCH MISCELLANEOUS ELEMENTS OR RELATED COMPONENTS IN A MANNER THAT RESULTS IN REDUCING THEIR LOAD-CARRYING CAPACITY, THAT RESULTS IN REDUCING THEIR CAPACITY TO PERFORM AS INTENDED, OR THAT RESULTS IN INCREASED MAINTENANCE OR DECREASED OPERATIONAL LIFE OR SAFETY.

CUTTING AND PATCHING CONFERENCE: BEFORE PROCEEDING, MEET AT PROJECT SITE WITH PARTIES INVOLVED IN CUTTING AND PATCHING, INCLUDING MECHANICAL AND ELECTRICAL TRADES. REVIEW AREAS OF POTENTIAL INTERFERENCE AND CONFLICT. COORDINATE PROCEDURES AND RESOLVE POTENTIAL CONFLICTS BEFORE PROCEEDING.

N-PLACE MATERIALS: USE MATERIALS IDENTICAL TO N-PLACE MATERIALS. FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH IN-PLACE ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE.

PROTECT IN-PLACE CONSTRUCTION DURING CUTTING AND PATCHING TO PREVENT DAMAGE. PROVIDE PROTECTION FROM ADVERSE WEATHER CONDITIONS FOR PORTIONS OF PROJECT THAT MIGHT BE EXPOSED DURING CUTTING AND PATCHING OPERATIONS.

ADJOINING AREAS: AVOID INTERFERENCE WITH USE OF ADJOINING AREAS OR INTERRUPTION OF FREE PASSAGE TO ADJOINING AREAS.

EXISTING UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS: WHERE EXISTING SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BYPASS SUCH SERVICES/SYSTEMS BEFORE CUTTING TO PREVENT INTERRUPTION TO COUPLED AREAS.

CUTTING: CUT IN-PLACE CONSTRUCTION BY SAWING, DRILLING, BREAKING, CHIPPING, GRINDING, AND SIMILAR OPERATIONS, INCLUDING EXCAVATION USING METHODS LEASAGE LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING CONSTRUCTION. IF POSSIBLE, REVIEW PROPOSED PROCEDURES WITH ORIGINAL INSTALLER, COMPLY WITH ORIGINAL INSTALLER'S WRITTEN RECOMMENDATIONS.

PATCHING: PATCH CONSTRUCTION BY FILLING, REPAIRING, REFINISHING, CLOSING UP, AND SIMILAR OPERATIONS FOLLOWING PERFORMANCE OF OTHER WORK. PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE.

- A. INSPECTION: WHERE FEASIBLE, TEST AND INSPECT PATCHED AREAS AFTER COMPLETION TO DEMONSTRATE INTEGRITY OF INSTALLATION.
B. EXPOSED FINISHES: RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE EVIDENCE OF PATCHING AND REFINISHING.
1. CLEAN PIPING, CONDUIT, AND SIMILAR FEATURES BEFORE APPLYING PAINT OR OTHER FINISHING MATERIALS.
2. RESTORE DAMAGED PIPE COVERINGS TO ITS ORIGINAL CONDITION.
D. INSERT SPECIFIC REFINISHING REQUIREMENTS FOR FLOORS, WALLS, AND CEILINGS. REVISE SUBPARAGRAPH AND ASSOCIATED SUBPARAGRAPH BELOW TO SUIT PROJECT.
E. FLOORS AND WALLS: WHERE WALLS OR PARTITIONS THAT ARE REMOVED EXTEND ONE FINISHED AREA INTO ANOTHER, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE. PROVIDE AN EVEN SURFACE OF UNIFORM FINISH, COLOR, TEXTURE, AND APPEARANCE. REMOVE IN-PLACE FLOOR AND WALL COVERINGS AND REPLACE WITH NEW MATERIALS, IF NECESSARY, TO ACHIEVE UNIFORM COLOR AND APPEARANCE.
F. CEILING: PATCH, REPAIR, OR REHANG IN-PLACE CEILINGS AS NECESSARY TO PROVIDE AN EVEN-PLANE SURFACE OF UNIFORM APPEARANCE.
G. EXTERIOR BUILDING ENCLOSURE: PATCH COMPONENTS IN A MANNER THAT RESTORES ENCLOSURE TO A WEATHER-TIGHT CONDITION.

CLEANING: CLEAN AREAS AND SPACES WHERE CUTTING AND PATCHING ARE PERFORMED. COMPLETELY REMOVE PAINT, MORTAR, OILS, PUTTY, AND SIMILAR MATERIALS.

DIVISION 6

WOOD BLOCKING

MISCELLANEOUS CARPENTRY

LUMBER: COMPLY WITH DOC P5 20. DRESSED FOUR SIDES, 54% 14 PERCENT MOISTURE CONTENT, WOOD PRESERVATIVE TREATED MATERIALS: IN ACCORDANCE WITH AFWPA C2, MINIMUM RETENTION OF 0.25 LB./CU.FT. PRESERVATIVE FOR GANTS, NAILERS, AND BLOCKING IN CONNECTION WITH ROOFING, AND ANY WOOD BLOCKING OR SIMILAR MEMBERS IN CONTACT WITH MASONRY OR CONCRETE. PLYWOOD BACKING PANELS: FIRE-RETARDANT-TREATED PLYWOOD PANELS, C-D PLYGLOSS, EXPOSURE 1, 3/4 INCH THICK. SOLID SURFACE STOOL: APRON

PROVIDE WINDOW STOOL/ SILL/ APRON THAT CONFORM TO THE FOLLOWING REQUIREMENTS OF REGULATORY AGENCIES AND THE QUALITY CONTROL OF INPRO DECORATIVE SURFACES.

1. PROVIDE SOLID SURFACE MATERIAL THAT CONFORMS TO ANSI/CFPA 55-1 FOR WORKMANSHIP AND FINISH, STRUCTURAL INTEGRITY AND MATERIAL CHARACTERISTICS.

2. FUNGAL AND BACTERIAL RESISTANCE: PROVIDE SOLID SURFACE THAT DOES NOT SUPPORT FUNGAL OR BACTERIAL GROWTH AS TESTED IN ACCORDANCE WITH ASTM G-21 AND ASTM G-22.

MANUFACTURER: DUPONT CORIAN OR EQUAL. PRICE GROUP C. COLOR: ARCHITECT TO SELECT FROM STANDARD COLORS. PROVIDE WINDOW STOOL/ SILL, SIZED TO FIT EXISTING OPENING CONDITIONS. GENERAL: INSTALL COMPONENTS PLUMB AND LEVEL, SCRIBE ADJACENT FINISHES, IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND RECOMMENDED INSTALLATION INSTRUCTIONS.

SOLID PHENOLIC COMPACT STOOL

PROVIDE 1" THICK SOLID PHENOLIC COMPACT WINDOW STOOL/ SILL/ APRON AS INDICATED. MANUFACTURER: TRESPA TOPLAB PLUS. COLOR: ARCHITECT TO SELECT FROM STANDARD COLORS. PROVIDE WINDOW STOOL/ SILL, SIZED TO FIT EXISTING OPENING CONDITIONS.

GENERAL: INSTALL COMPONENTS PLUMB AND LEVEL, SCRIBE ADJACENT FINISHES, IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND RECOMMENDED INSTALLATION INSTRUCTIONS.

DIVISION 7

BUILDING INSULATION

SOUND ATTENUATION INSULATION UNFACED FIBERGLASS INSULATION, ASTM C665, THICKNESS AS INDICATED

THERMAL INSULATION FSK-25 FIBERGLASS INSULATION, ASTM C665, THICKNESS AS INDICATED

JOINT SEALANTS

QUALITY STANDARD: ELASTOMERIC SEALANTS-ASTM C420

LATEX SEALANTS: ASTM C 284

MATERIALS: MANUFACTURER: PECORA OR APPROVED EQUIVALENT PRODUCTS:

- 2. MULTI-COMPONENT NON-SAS URETHANE SEALANT: PECORA DYNATROL II; FOR USE AT INTERIOR CONTROL, JOINT, CONTRACTION, AND EXPANSION JOINTS, AND AT INTERIOR JOINTS BETWEEN PERIMETER WALL AND WINDOW SYSTEMS AND INTERIOR JOINTS AND PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.
3. CONSTRUCTION AND EXPANSION JOINTS: PECORA DYNATROL II; FOR USE AT INTERIOR CONTROL, SYSTEMS AND INTERIOR JOINTS AND PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.
4. MEDIUM MODULUS NEUTRAL CURING SILICONE SEALANT: PECORA 045; FOR USE BETWEEN PLASTIC LAMINATE CASEWORK AND ADJACENT MATERIALS.
LATEX SEALANT: PECORA 120; FOR USE AT THE PERIMETER OF INTERIOR HOLLOW METAL DOOR FRAMES AND AT INTERIOR JOINTS OF DISMILAR MATERIALS NOT INDICATED ABOVE.
BUTYL- RUBBER- BASED SOLVENT RELEASE-SEALANT: PECORA BC-150; FOR USE BETWEEN MATERIALS OR SURFACES WHERE SLIDING MOVEMENT OCCURS.

DIVISION 8

HOLLOW METAL DOORS AND FRAMES

QUALITY STANDARD: ANSI /SDI 100 "RECOMMENDED SPECIFICATIONS FOR STANDARD STEEL DOORS AND FRAMES" MATERIALS:

- 1. HOT ROLLED SHEETS: ASTM A 561
2. COLD ROLLED SHEETS: ASTM A 366 OR ASTM A620

EXTERIOR DOOR FRAMES: FABRICATED WITH MITERED OR COPED CORNERS AND CONTINUOUSLY WELDED CORNERS, 16 GAUGE. DOOR SILENCERS: STOPS SHALL RECEIVE 3 SILENCERS ON STRIKE JAMBS OF SINGLE DOOR FRAMES AND 2 SILENCERS ON HEADS OF DOUBLE DOOR FRAMES.

EXTERIOR DOORS CONSTRUCTION WITH FULLY WELDED CORNERS, FLUSH TOP. EXTERIOR DOORS AND FRAMES SHALL BE FABRICATED FROM METALLIC-COATED SHEET STEEL, LEVEL 2 AND LEVEL B (HEAVY DUTY) PHYSICAL PERFORMANCE.

INSTALLATION:

- 1. COMPLY WITH THE PROVISIONS OF SDI 105
2. PROVIDE AT LEAST THREE WALL ANCHORS PER JAMB AT HINGE AND STRIKE LEVELS.
3. INSTALL PRE-CAST FRAMES ACCORDING TO NFPA 80.

HARDWARE:

- 1. RIM EXIT DEVICE: VON DUPRIN 98 SERIES
2. CLOSERS: LCN 4040P, COLOR: SILVER
3. OVERHEAD STOPS: GUNN-JOHNSON, 626
4. HINGES: MCKINNEY, STAINLESS STEEL
5. WALL STOPS: IVES ROCKWOOD, 626
6. ALUMINUM THRESHOLD: IVES ROCKWOOD

QUALITY STANDARD: COMPLY WITH PUBLISHED RECOMMENDATIONS OF FGMA GLAZING MANUAL. PRODUCTS: FLOAT GLASS: ASTM C1026, TYPE I, CLASS 1, QUALITY G3 UNCOATED, CLEAR, HEAT TREATED FLOAT GLASS; ASTM C1040, CONDUIT A, TYPE I, QUALITY G3, KIND HS, HEAT STRENGTHENED AND KIND FT, FULLY TEMPERED WHERE INDICATED. MANUFACTURERS: PILKINGTON, LOF, J. E. BERKOWITZ OR APPROVED EQUIVALENT.

INSULATING GLASS: 1. FACTORY ASSEMBLED UNITS CONSISTING OF SEALED LITES OF GLASS SEPARATED BY A DEHYDRATED INTERSPACE, QUALIFIED ACCORDING TO ASTM E 2190 WITH A DUAL SEAL AND MANUFACTURER'S STANDARD SPACER MATERIAL AND CONSTRUCTION. 2. INSULATING GLASS UNIT - "I"

- A. OUTDOOR LITE - CLEAR FLOAT GLASS
B. INTERSPACE CONTENT - 40 PERCENT ARGON
C. INDOOR LITE -TEMPERED CLEAR FLOAT GLASS
D. LOW-E COATING - PYROLYTIC ON SECOND SURFACE
E. SING - 48
F. U-FACTOR - .35

3. ALL GLAZING IN NEW WINDOW UNITS SHALL HAVE TEMPERED INDOOR LITE.

INSULATED SPANDREL - "SP"

MANUFACTURER: MAPES R4 OR EQUAL

PANEL FABRICATION:

- 1. EXTERIOR FACE: ANODIZED ALUMINUM
2. EXTERIOR SUBSTRATE: CEMENT BOARD
3. EXTERIOR AND INTERIOR CORE: ISOCYANURATE
4. INTERIOR SUBSTRATE: CEMENT BOARD
5. INTERIOR FACE: PORCELAIN ON ALUMINUM

ALUMINUM STOREFRONT/ WINDOW SYSTEM BASIS OF DESIGN: EFCO CORPORATION OR COMPARABLE PRODUCT BY ONE OF THE FOLLOWING:

- A. KAWNEER NORTH AMERICA
B. YKK AP AMERICA

INSPECTION - JOB CONDITIONS

- A. VERIFY THAT OPENINGS ARE DIMENSIONALLY WITHIN ALLOWABLE TOLERANCES, PLUMB, LEVEL, CLEAN, PROVIDE A SOLID ANCHORING SURFACE, AND ARE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS.
B. PROVIDE FOR MANUFACTURER REPRESENTATION TO CONDUCT PRE-INSTALLATION SITE MEETING.

INSTALLATION:

- A. USE ONLY SKILLED TRADESMEN WITH WORK DONE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SPECIFICATIONS.
B. PLUMB AND ALIGN WINDOW FACES IN A SINGLE PLANE FOR EACH WALL, PLANE, AND ERECT WINDOWS AND MATERIALS SQUARE TO EACH OTHER. PROVIDE ANCHOR TO MAINTAIN POSITIONS PERMANENTLY WHEN SUBJECTED TO NORMAL THERMAL MOVEMENT, SPECIFIED BUILDING MOVEMENT, AND SPECIFIED WIND LOADS.
C. STOREFRONT SYSTEM SHALL BE ERECTED PLUMB AND TRUE, IN PROPER ALIGNMENT AND RELATION TO ESTABLISHED LINES AND GRADES.
D. ADJUST WINDOWS FOR PROPER OPERATION AFTER INSTALLATION.
E. FURNISH AND APPLY SEALANTS TO PROVIDE A WEATHER TIGHT INSTALLATION AT ALL JOINTS AND INTERSECTIONS AND AT OPENING PERIMETERS. Wipe OFF EXCESS MATERIAL AND LEAVE ALL EXPOSED SURFACES AND JOINTS CLEAN AND SMOOTH.

ALUMINUM

A. EXTRUDED ALUMINUM SHALL BE 6063-T6 ALLOY AND TEMPERED.

HARDWARE

- A. LOCKING HANDLES SHALL BE CAM TYPE AND MANUFACTURED FROM A WHITE BRONZE ALLOY WITH A US250 BRUSHED FINISH.
B. OPERATING HARDWARE SHALL BE 4-BAR STAINLESS STEEL ARMS OR EQUAL.

WEATHER-STRIP

A. ALL WEATHER-STRIP SHALL BE SANTOPRENE® OR EQUAL.

STOREFRONT FRAME

- A. DEPTH OF FRAME SHALL NOT BE LESS THAN 4 1/2" (114 MM).
B. FACE DIMENSION SHALL NOT BE LESS THAN 2" (50 MM).
C. GLASS SHALL BE FRONT SET.

WINDOW FRAME

- A. ALL ALUMINUM FRAME AND VENT EXTRUSIONS SHALL HAVE A MINIMUM WALL THICKNESS OF .040".
B. MECHANICAL FASTENERS, WELDED COMPONENTS, AND HARDWARE ITEMS SHALL NOT BRIDGE THERMAL BARRIERS. THERMAL BARRIERS SHALL ALIGN AT ALL FRAME AND VENT CORNERS.
C. DEPTH OF FRAME SHALL NOT BE LESS THAN 3 1/4".
D. DEPTH OF VENT SHALL NOT BE LESS THAN 2 7/16" (61 MM).
E. FRAME COMPONENTS SHALL BE MECHANICALLY FASTENED.

WINDOW VENTILATOR

- A. ALL VENT EXTRUSIONS SHALL BE TUBULAR.
B. EACH CORNER SHALL BE MITERED, REINFORCED WITH AN EXTRUDED CORNER KEY, HYDRAULICALLY CRIMPED, AND COLEMAN® ARCHER WITH EPDM GASKETS.
C. EACH VENT SHALL BE UTILIZE TWO ROWS OF WEATHER STRIPPING INSTALLED IN SPECIFICALLY DESIGNED DOVETAIL GROOVES IN THE EXTRUSION. THE EXTERIOR GASKET WILL BE OMITTED AT THE VENT BOTTOM RAIL FOR WEATHER TIGHT VENTS AND AT THE TOP RAIL FOR PROJECT-IN UNITS, ALLOWING AIR TO PRESSURE EQUALIZE THE VOID BETWEEN THE VENTS AND FRAME.

THERMAL BARRIER A. ALL EXTERIOR ALUMINUM SHALL BE SEPARATED FROM INTERIOR ALUMINUM BY A RIGID, STRUCTURAL THERMAL BARRIER. FOR PURPOSES OF THIS SPECIFICATION, A STRUCTURAL THERMAL BARRIER IS DEFINED AS A SYSTEM THAT SHALL TRANSFER SHEAR DURING BENDING AND, THEREFORE, PROMOTE COMPOSITE ACTION BETWEEN THE EXTERIOR AND INTERIOR EXTRUSIONS.

B. BARRIER MATERIAL SHALL BE POLYURETHANE, TWO-PART POLYURETHANE, A NONSTRUCTURAL THERMAL BARRIER IS UNACCEPTABLE.

ANCHORAGE

A. ADEQUATELY ANCHOR TO MAINTAIN POSITIONS PERMANENTLY WHEN SUBJECTED TO NORMAL THERMAL MOVEMENT, SPECIFIED BUILDING MOVEMENT, AND SPECIFIED WIND LOADS.

BASE BID MANUFACTURER: COMBINATION EFCO SERIES 3902 THERMAL FIXED AND PROJECT-IN UNITS OR EQUAL

DESCRIPTION: 3 1/4" HEAVY COMMERCIAL WINDOW UNITS

COLOR: ANODIZED ALUMINUM #11

ALTERNATE MANUFACTURER: EFCO SERIES 433 (T) FIXED AND (1) SERIES 3902 PROJECT-IN UNIT OR EQUAL

COLOR: ANODIZED ALUMINUM #11

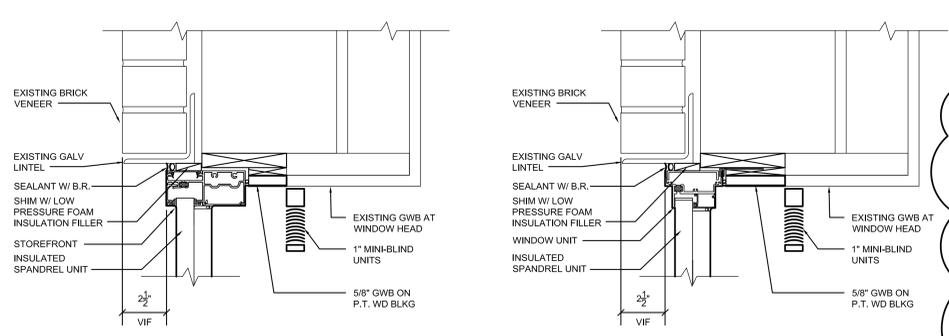
SECURITY SCREEN MANUFACTURER: EXETER ARCHITECTURAL PRODUCTS OR EQUAL

MODEL: SERIES SECURITY SHIELD BARRIER PERFORATED WINDOW BARRIER MEMBRANE - GALVANEALD STEEL

SCHEDULE: A. PROVIDE (1) SECURITY SCREEN AT EACH FIRST FLOOR OPERABLE WINDOW OPENING INCLUDING 5.5. INSECT SCREEN, SURFACE MOUNTED TO FACE OF WINDOW OR STOREFRONT FRAME.

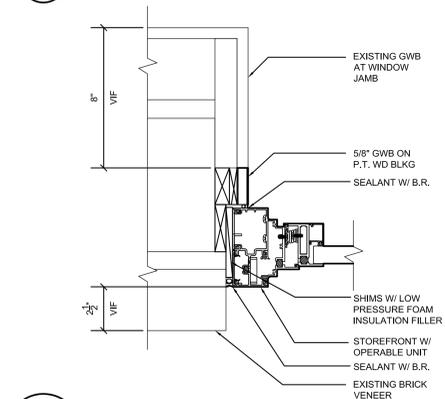
DIVISION 9

</

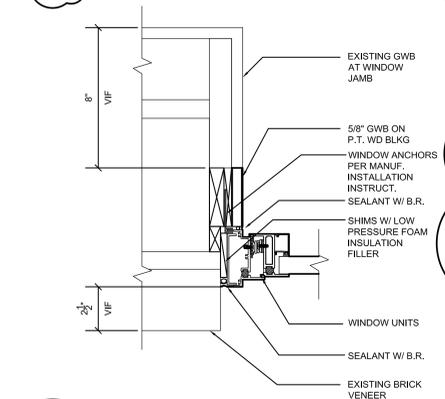


14 STOREFRONT HEAD DETAIL (ALT)
SCALE: 3/4"=1'-0"

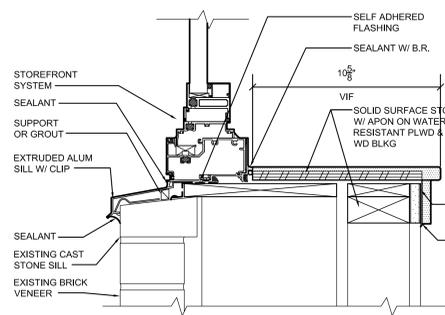
10 WINDOW HEAD DETAIL
SCALE: 3/4"=1'-0"



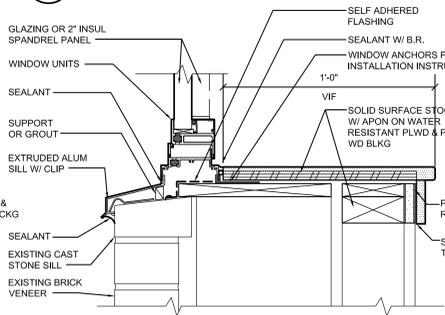
13 STOREFRONT JAMB DETAIL (ALT)
SCALE: 3/4"=1'-0"



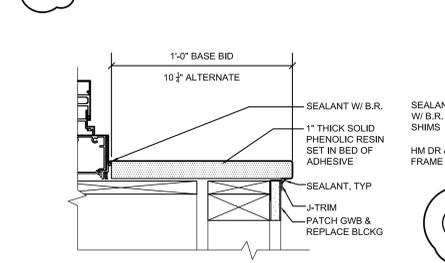
9 WINDOW JAMB DETAIL
SCALE: 3/4"=1'-0"



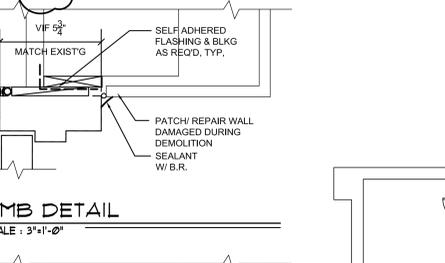
12 STOREFRONT SILL DETAIL (ALT)
SCALE: 3/4"=1'-0"



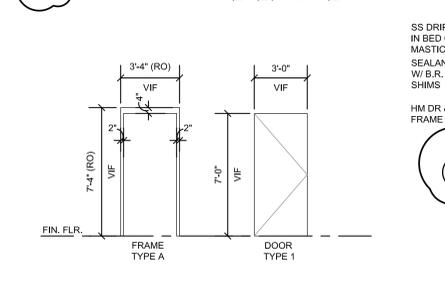
8 WINDOW SILL DETAIL
SCALE: 3/4"=1'-0"



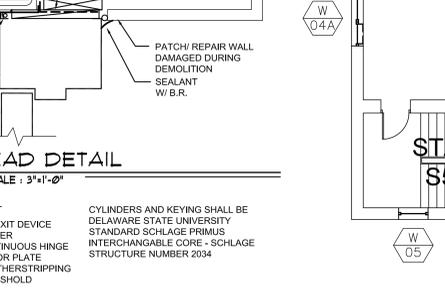
11 STOOL DETAIL (PHENOLIC)
SCALE: 3/4"=1'-0"



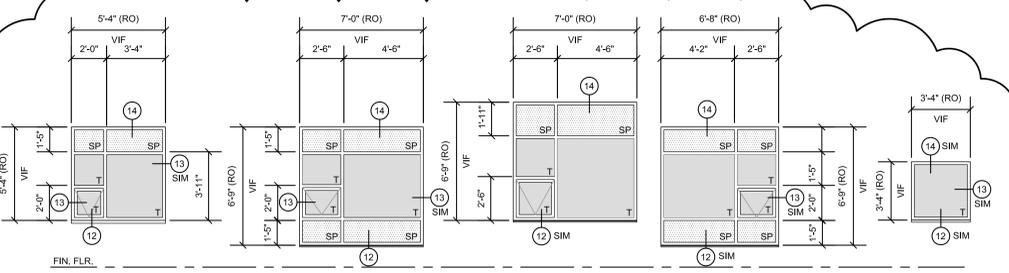
6 JAMB DETAIL
SCALE: 3/4"=1'-0"



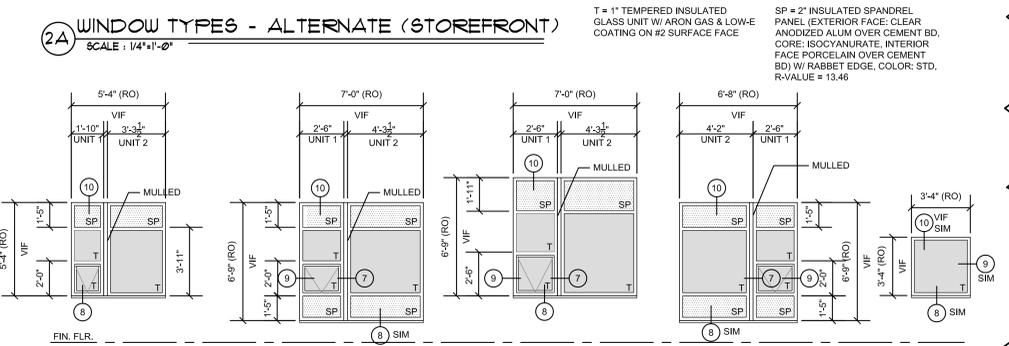
4 DOOR/FRAME TYPES
SCALE: 1/4"=1'-0"



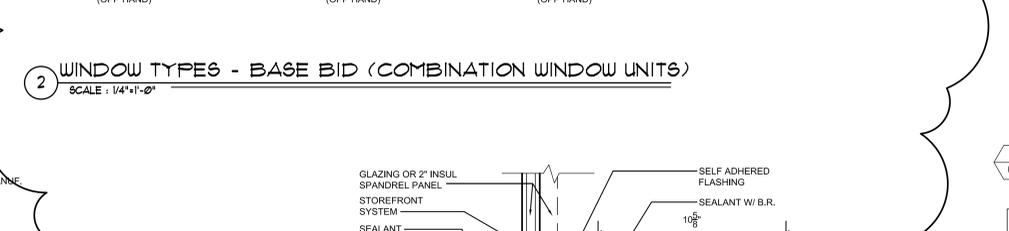
5 HEAD DETAIL
SCALE: 3/4"=1'-0"



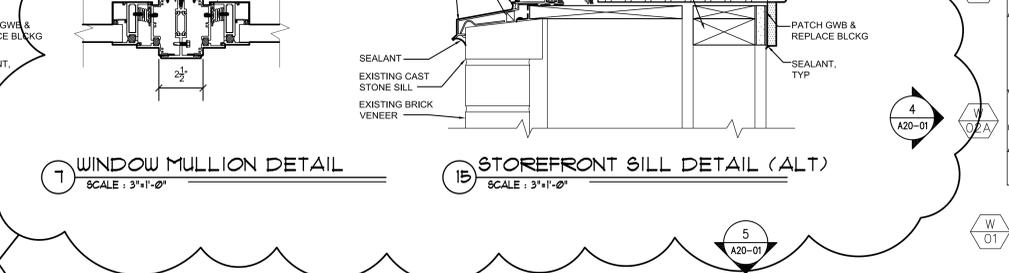
2A WINDOW TYPES - ALTERNATE (STOREFRONT)
SCALE: 1/4"=1'-0"



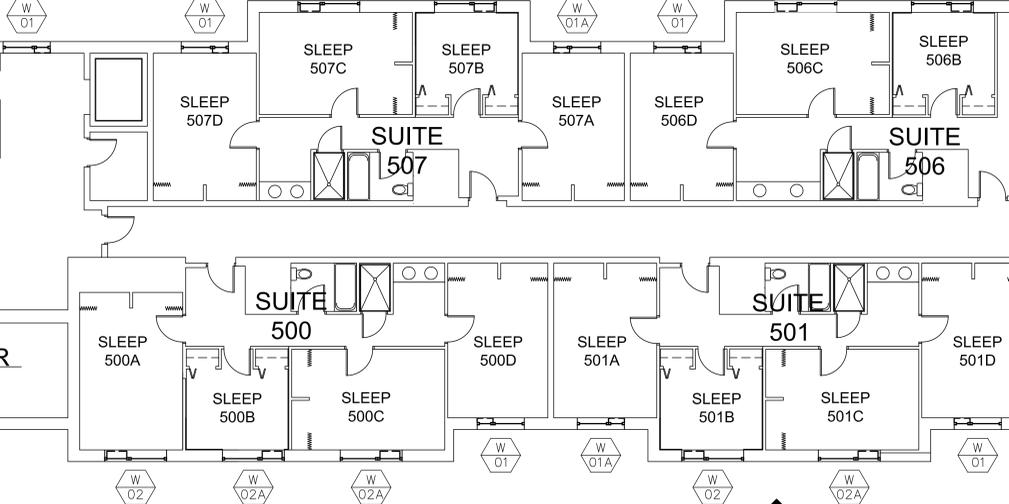
2 WINDOW TYPES - BASE BID (COMBINATION WINDOW UNITS)
SCALE: 1/4"=1'-0"



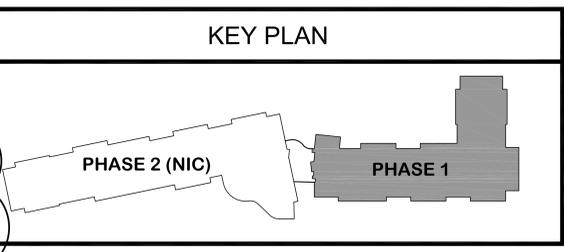
1 WINDOW MULLION DETAIL
SCALE: 3/4"=1'-0"



15 STOREFRONT SILL DETAIL (ALT)
SCALE: 3/4"=1'-0"

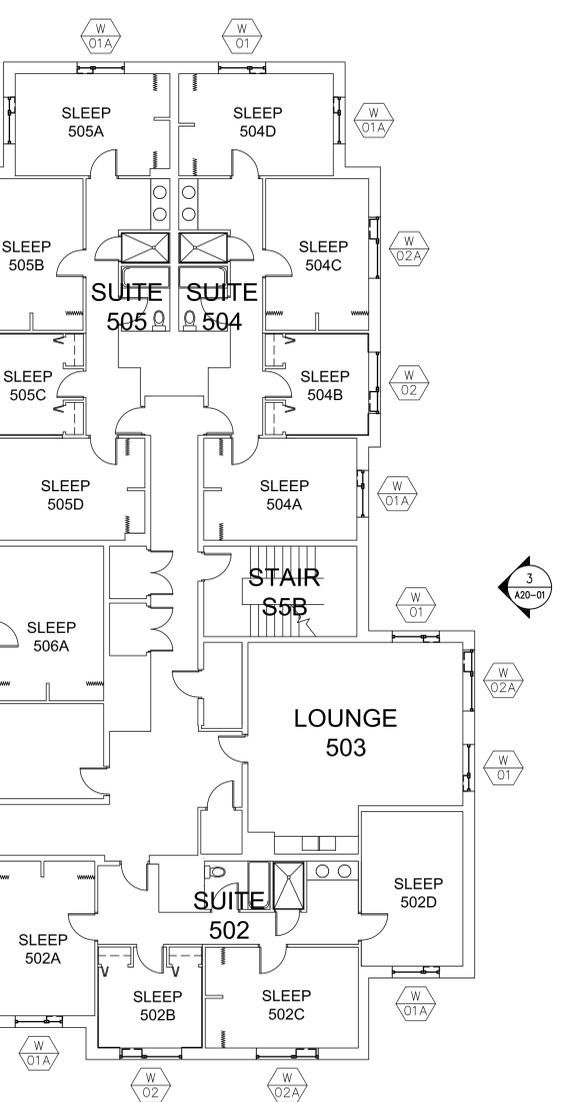


1 EAST WING - FIFTH FLOOR PLAN
SCALE: 1/8"=1'-0"



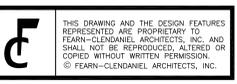
KEY PLAN

- CONSTRUCTION NOTES**
- ROOM NUMBERS IDENTIFIED ON THE FLOOR PLANS FOR THIS WINDOW REPLACEMENT PROJECT ONLY AND DO NOT REFLECT THE ACTUAL BUILDING ROOM NUMBERING SYSTEM.
 - THE OPENING DIMENSIONS INDICATED ARE APPROXIMATE AND ALL EXISTING OPENINGS SHALL BE FIELD VERIFIED AND EACH INDIVIDUAL WINDOW UNIT SHALL BE SIZED FOR EACH INDIVIDUAL OPENING.
 - THE ALLOWABLE SEALANT GAP AT THE PERIMETER OF THE NEW WINDOW UNIT TO OPENING JAMB, SILL AND HEAD SHALL BE RANGE BETWEEN 3/8" TO 5/8". THE CONTRACTOR SHALL BE RESPONSIBLE TO MODIFY OR REPLACE (DEPENDING ON MANUFACTURER'S RECOMMENDATIONS) ANY WINDOW UNITS THE GAP IS LARGER OR SMALL THAN ALLOWABLE INDICATED.
 - PROVIDE SECURITY SCREENS AT ALL OPERABLE COMPONENTS AT ALL 1ST FLOOR WINDOWS BEING REPLACED, IN LIEU OF THE INSECT SCREENS. THE SECURITY SCREENS SHALL BE LEVEL 3 AND ATTACHED DIRECTLY TO THE FACE OF THE ALUMINUM WINDOW FRAME.
 - THE GC SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY PROTECTION FOR INTERIOR SPACES, INCLUDING INTERIOR FINISHES, STUDENT OWNED ITEMS AND FURNITURE.
 - THE GC SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF TEMPORARY PROTECTION, DEMOLITION OF EXISTING WINDOW UNITS AND INSTALLATION OF NEW WINDOW UNITS.
 - PROVIDE A NEW 3/4" SOLID SURFACE WINDOW STOOL WITH BULLNOSE AND 1/2" THICK APRON. THE STOOL SHALL EXTEND 1 1/2" ON BOTH SIDES OF THE WINDOW OPENING AND THE APRON SHALL EXTEND 1" ON BOTH SIDES OF THE WINDOW OPENING.
 - PROVIDE (2) 1" ALUMINUM HORIZONTAL MINI-BLIND PER WINDOW UNIT. THE ENDS SHALL ALIGN WITH THE CENTER OF THE VERTICAL MULLION.
 - EVALUATE ALL EXISTING GYPSUM BOARD AROUND OPENINGS RECEIVING NEW WINDOW AND PATCH/REPAIR DAMAGED GYPSUM BOARD WHERE POSSIBLE. PORTIONS OF WALLS TOO DAMAGED FOR REPAIR SHALL BE REPLACED WITH NEW GYPSUM BOARD (MATCH EXISTING THICKNESS) AND PROVIDE LEVEL 4 FINISH.
 - PROVIDE (2) COATS OF PAINT TO THE INSIDE FACE OF EXTERIOR WALLS IN ROOMS RECEIVING NEW WINDOW UNITS. THE NEW FINISH SHALL EXTEND FROM FLOOR TO CEILING AND THE ENTIRE WIDTH OF THE WALL. WHERE PORTIONS OF GYPSUM BOARD HAS BEEN REPLACED, THEN (1) COAT OF PRIMER SHALL BE APPLIED PRIOR TO THE (2) COATS OF PAINT.
 - WINDOW UNIT SHALL NOT BE INSTALLED INTO THE BOTTOM OF THE EXISTING GALV. STL. LINTEL. THE CONTRACTOR SHALL COORDINATE WITH THE WINDOW/STOREFRONT MANUFACTURER TO DETERMINE THE CORRECT METHOD OF FASTENING.
 - PROVIDE NEW HOLLOW METAL DOORS AND FRAMES, GALVANIZED WITH PAINTED FINISH AT OPENINGS INDICATED ON THE SOUTH AND EAST ELEVATIONS. THE DOOR SHALL BE TYPE 1 AND THE FRAME TYPE A. THE HARDWARE SHALL BE HW#01 SET. PATCH/REPAIR THE EXISTING DRYWALL AT THE PERIMETER OF THE OPENING AND PAINT THE ENTIRE EXTERIOR WALL. PATCH/REPLACE VINYL WALL BASE AS REQUIRED.



1 EAST WING - FIFTH FLOOR PLAN
SCALE: 1/8"=1'-0"

CONSULTANTS:



ISSUE DATES:
1. ISSUED FOR BID 3/31/2015
A1. ADDENDUM 1 4/27/2015

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PROJECT:
DELAWARE STATE UNIVERSITY
WARREN-FRANKLIN HALL
1200 NORTH DUPONT HWY

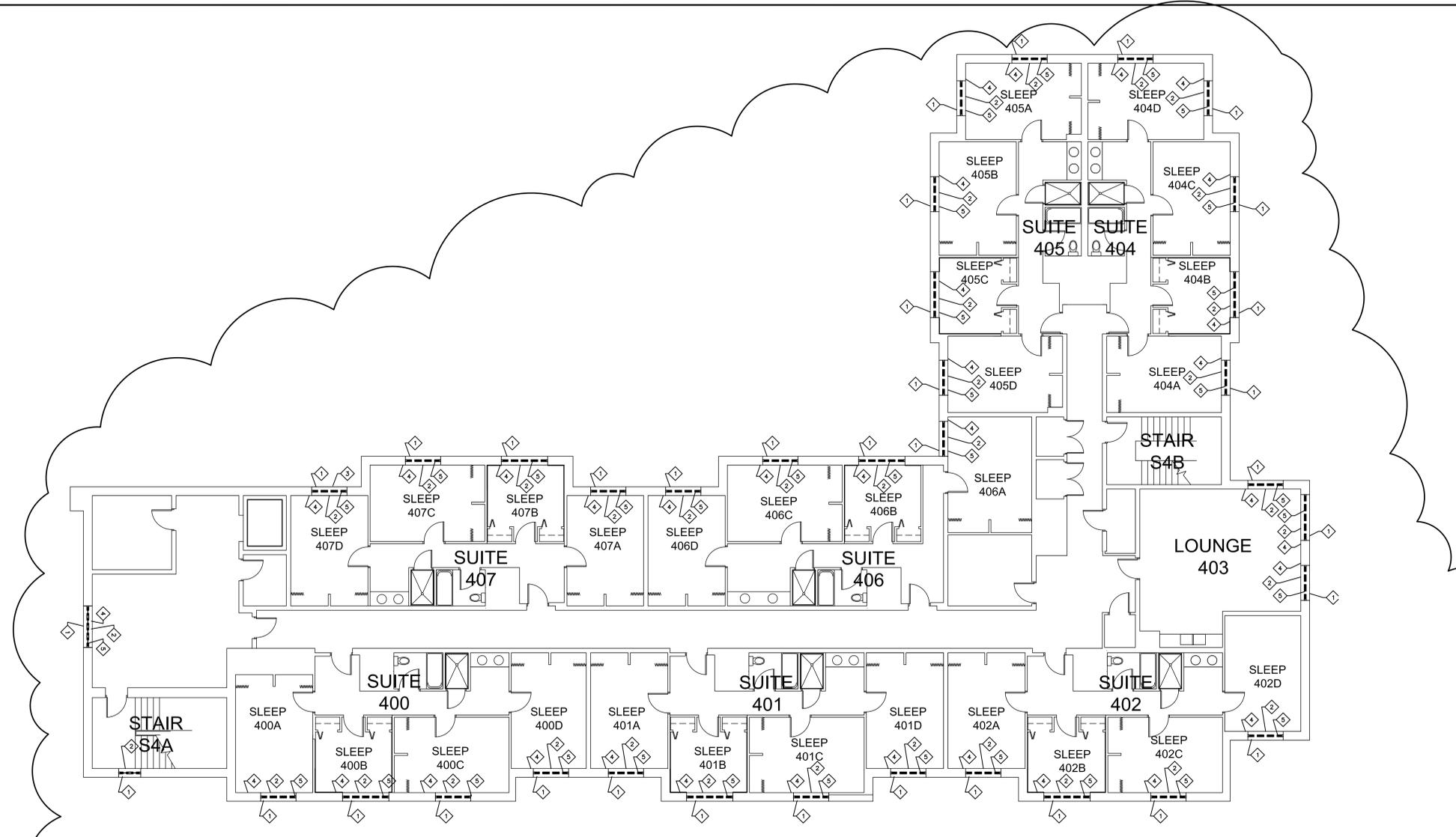
WINDOW REPLACEMENT RENOVATIONS

DRAWING TITLE: PHASE 1 - EAST FLOOR PLANS, WINDOW TYPES AND ELEVATIONS

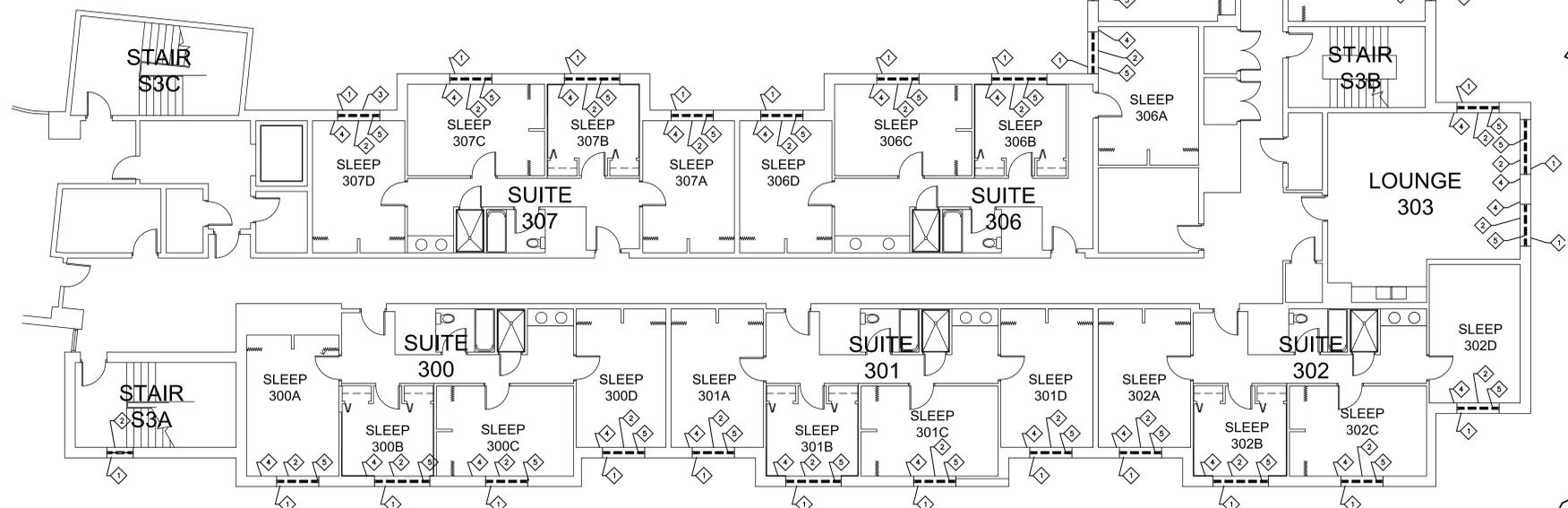
OWN. BY: MB CHK. BY: BG PROJECT NUMBER: 13101

DATE: 3-23-2015 DRAWING NUMBER: A10-03

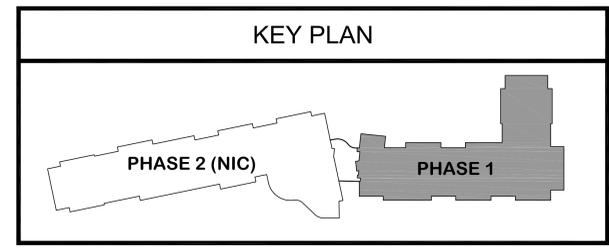
SCALE: AS NOTED



2 EAST WING - FOURTH FLOOR DEMO PLAN
SCALE: 1/8"=1'-0"



1 EAST WING - THIRD FLOOR DEMO PLAN
SCALE: 1/8"=1'-0"



- ### DEMOLITION NOTES
- 1 REMOVE THE EXISTING DOUBLE HUNG WINDOW UNITS, ORIGINAL SEALANT AND ACCESSORIES. PROTECT THE EXISTING EXTERIOR BRICK AND ADJACENT INTERIOR FINISHES.
 - 2 REMOVE EXISTING WOOD STOOL, APRON, PORTION OF GWB AND WOOD SILL BLOCKING.
 - 3 REMOVE EXISTING OPERABLE SECURITY SCREENS AND FRAMES AT THE FIRST FLOOR.
 - 4 REMOVE PORTIONS OF EXISTING GWB & FIBERGLASS INSULATION DAMAGED FROM WATER INFILTRATION AROUND WINDOW OPENING. THE CONTRACTOR SHALL PRESENT RECOMMENDATIONS FOR PATCH/REPAIR VS REMOVAL/REPLACE AND COORDINATE WITH THE OWNER/ARCHITECT TO DETERMINE THE FINAL EXTENT.
 - 5 REMOVE EXISTING WINDOW TREATMENTS (HORIZONTAL BLINDS)
 - 6 REMOVE EXISTING HOLLOW METAL DOOR, FRAME AND HARDWARE.

CONSULTANTS:

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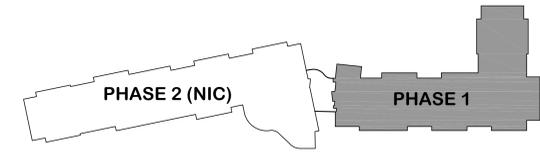
PROJECT:
DELAWARE STATE UNIVERSITY
WARREN-FRANKLIN HALL
1200 NORTH DUPONT HWY

WINDOW REPLACEMENT RENOVATIONS

DRAWING TITLE: **PHASE 1 - EAST DEMOLITION FLOOR PLANS**

OWN. BY:	CHK. BY:	PROJECT NUMBER:
MB	BG	13101
DATE:		DRAWING NUMBER:
3-31-2015		AD10-02
SCALE:		AS NOTED

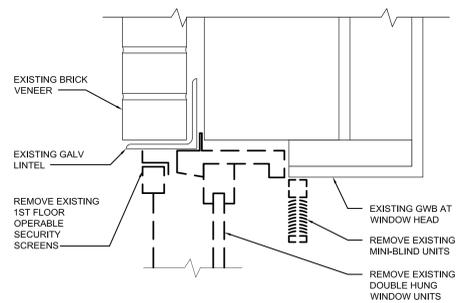
KEY PLAN



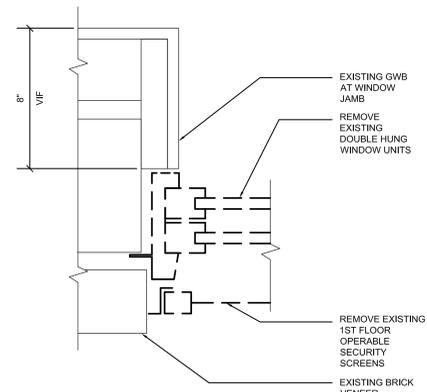
DEMOLITION NOTES

- 1 REMOVE THE EXISTING DOUBLE HUNG WINDOW UNITS, ORIGINAL SEALANT AND ACCESSORIES. PROTECT THE EXISTING EXTERIOR BRICK AND ADJACENT INTERIOR FINISHES.
- 2 REMOVE EXISTING WOOD STOOL, APRON, PORTION OF GWB AND WOOD SILL BLOCKING.
- 3 REMOVE EXISTING OPERABLE SECURITY SCREENS AND FRAMES AT THE FIRST FLOOR.
- 4 REMOVE PORTIONS OF EXISTING GWB & FIBERGLASS INSULATION DAMAGED FROM WATER INFILTRATION AROUND WINDOW OPENING. THE CONTRACTOR SHALL PRESENT RECOMMENDATIONS FOR PATCH REPAIR VS REMOVAL/REPLACE AND COORDINATE WITH THE OWNER/ARCHITECT TO DETERMINE THE FINAL EXTENT.
- 5 REMOVE EXISTING WINDOW TREATMENTS (HORIZONTAL BLINDS)
- 6 REMOVE EXISTING HOLLOW METAL DOOR, FRAME AND HARDWARE.

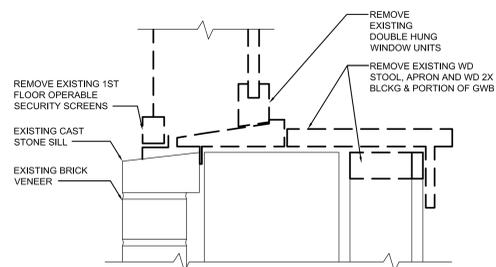
CONSULTANTS:



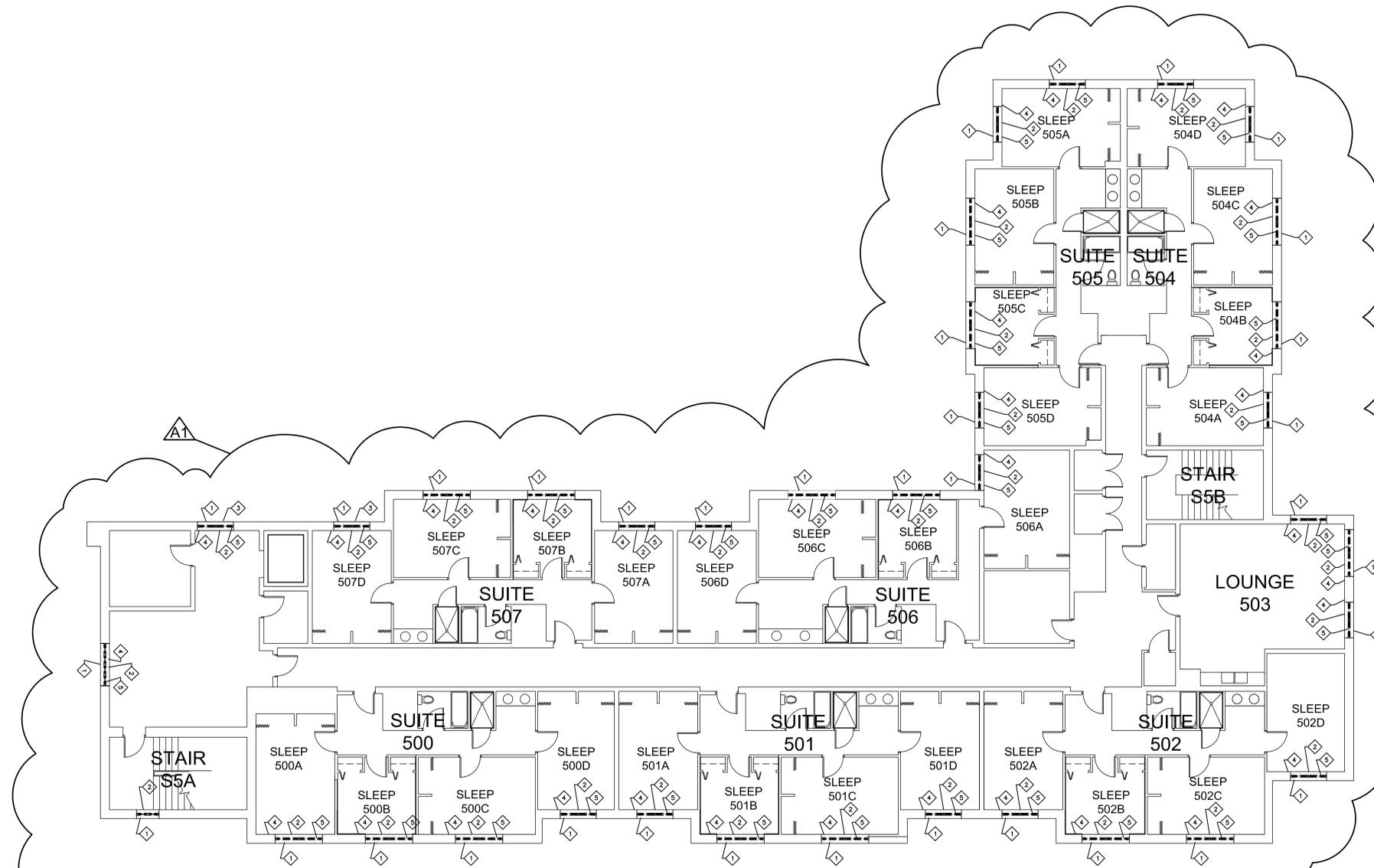
4 TYP. DEMO. WINDOW HEAD DETAIL
SCALE: 3/4"=1'-0"



3 TYP. DEMO. WINDOW JAMB DETAIL
SCALE: 3/4"=1'-0"



2 TYP. DEMO. WINDOW SILL DETAIL
SCALE: 3/4"=1'-0"



1 EAST WING - FIFTH FLOOR DEMO PLAN
SCALE: 1/8"=1'-0"

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PROJECT:
DELAWARE STATE UNIVERSITY
WARREN-FRANKLIN HALL
1200 NORTH DUPONT HWY
WINDOW REPLACEMENT RENOVATIONS
DRAWING TITLE: **PHASE 1 - EAST**
DEMOLITION PLAN & DETAIL
DWN. BY: MB CHK. BY: BG PROJECT NUMBER: 13101
DATE: 3-31-2015 DRAWING NUMBER:
SCALE: AS NOTED **AD10-03**