

200 S Dupont St. - Wilmington, DE 19805



AGSD	ACQUISITIONAL	FEN	FOUNDATION	MN	MINIMUM	RT	RIGHT
ADDL	ADDITIONAL	FE	FIRE EXTINGUISHER	MRR	MIRROR	RO	ROUGH
ADJ	ADJUST	FG	FIBERGLASS	MSG	MISCELLANEOUS	REC	RECESSED
AFF	ABOVE FINISH FLOOR	FIN	FINISH (ED)	MOG	MASONRY OPENING	ROU	ROUGH
ALT	ALTERNATE	FLS	FLASHING FL	MR	MOISTURE RESIST	SAMF	SELF ADHERED MEMBRANE
ALUM	ALUMINUM	FLR	FLOOR	MTL	METAL		FLASHING
APPROX	APPROXIMATE	MLLON	MILLION	MUL	MULLION	5F	SQUARE FEET (FOOT)
ARCH	ARCHITECT	FOF	FACE OF FINISH	MULT	MULTIPLE	SIM	SIMILAR
BD	BOARD	FOM	FACE OF MASONRY	NA	NOT APPLICABLE	SOG	SLAB ON GRADE
BIT	BITUMINOUS	FOS	FACE OF STUD	NC	NOT IN CONTRACT	SPEC	SPECIFICATION
BLS	BLOCKS	FON	FACE OF WALL	NR	NUMBER	SQ	SQUARE
BLKS	BLOCKING	FTN	FOOTING	NOM	NOMINAL	SQ	SQUARE
BM	BEAM	FUR	FURNITURE	NOR	NOT RATED	SQ N	SQUARE INCH
BO	BOTTOM OF	HARDW	HARDWARE	NTS	NOT TO SCALE	SAN	SANITARY
BOT	BOTTOM	HDYD	HARDWOOD	O	OVER	S6	STAINLESS STEEL
CAB	CABINET	H	HOLLOW METAL	OA	OVERALL	ST	STAR
CL	CENTERLINE	HORZ	HORIZONTAL	OC	ON CENTER	STC	STONE TRANSMISSION
CLG	CEILING	H	HEIGHT	OD	OUTSIDE DIAMETER		GLASS
CLR	CLEAR	HTR	HEATER	OF	OUTSIDE FACE	STD	STANDARD
CMU	CONCRETE MASONRY UNIT	HVC	HEATING, VENTILATION & AIR	OH	OVERHANG	STOR	STORAGE
COND	CONDENSATION	HC	HOLDING	OP	OPENING	STRUC	STRUCTURAL
CONC	CONCRETE	IBC	INTERNATIONAL BUILDING CODE	OPP	OPPOSITE	T46	TONGUE & GROOVE
CONC	CONTINUOUS	ID	INSIDE DIAMETER	OVD	OVERHEAD	TEL	TELEPHONE
CONT	CONTINUED	IMPACT	IMPACT RESISTANT GLASS	PAT	PATTERN	TEMP	TEMPERATURE
CPT	CARPET	INCL	INCLUDING	PBD	PARTICLE BOARD	THK	THICK (NESS)
CR	CORROSION RESISTANT	INFO	INFORMATION	PERF	PERFORATED	THRU	THROUGH
CT	CUT	INT	INTERIOR	PERF	PERFORATED	TOS	TOP OF STEEL
DB	DECIBEL	INT	INTERIOR	PERM	PERIMETER	TOW	TOP OF WALL
DEM	DEMOLISH, DEMOLITION	KIT	KITCHEN	PERM	PERMANENT	TYP	TYPICAL
DFO	DRINKING FOUNTAIN	L	LONG	PERF	PERPENDICULAR	UNFN	UNFINISHED
DIA	DIAMETER	LAN	LAMINATE (D)	PH	PHASE	UNF	UNFINISHED NOTED OTHERWISE
DM	DIMENSION	LVL	LEVEL	PL	PLASTIC LAMINATE	UTIL	UTILITY
DN	DOWN	LAV	LAVATORY	PRF	PREFABRICATED	VGT	VINYL COMPOSITE TILE
DPS	DRESSPOUT	FOUD	FOUNDER	PRELN	PRELIMINARY	VN	VERIFY IN FIELD
E	EAST	LH	LEFT HAND	PLND	PLYWOOD	VN	VINYL
EA	EACH	LHSDP	LANDSCAPE	PROP	PROPERTY	X	NEXT
ELC	ELECTRICAL	LOC	LOCATION	PS	POST	X	NEXT
ELEV	ELEVATOR, ELEVATION	MAS	MASONRY	R	RISER	X	NTH
EQ	EQUAL	MATL	MATERIAL	RAD	RADIUS, RADII		
EQUIP	EQUIPMENT	MAX	MAXIMUM	RC	REFLECTED CEILING PLAN		
EST	ESTIMATE	MECH	MECHANICAL	RD	ROOF DRAIN		
EXST	EXISTING	MEMB	MEMBRANE	REQD	REQUIRED		
EXP	EXPANSION	MEZZ	MEZZANINE	REVIS	REVISION		
EXT	EXTERIOR	MFR	MANUFACTURE (R)	REIN	REINFORCED		
FD	FLOOR DRAIN			RM	ROOM		

1. ALL WORK SHALL COMPLY WITH THE CURRENT EDITIONS OF THE LIFE SAFETY CODE (NFPA 101), ALL LOCAL AND STATE FIRE CODES, AND ALL APPLICABLE BUILDING CODE WITH LOCAL AMENDMENTS.
2. IF THE CONTRACT DOCUMENTS ARE FOUND TO BE UNCLEAR, AMBIGUOUS, OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
3. ALL CONSTRUCTION DETAIL WORK NOT SPECIFICALLY CALLED OUT AS "EXISTING" IS ASSUMED TO BE NEW WORK IN THIS CONTRACT. SHADDED AREA DENOTES EXISTING CONSTRUCTION.
4. THE PROJECT CONSISTS OF EXTERIOR ROOF REPAIR/REPLACE AND ROOF REPAIRS ONLY. NO CHANGES ARE MADE TO THE EXISTING BUILDING'S MEANS OF EGRESS, OCCUPANCY, USE GROUP, OR AREA.
5. ORIGINAL CONSTRUCTION DOCUMENTS ARE NOT VERIFIED. ASSUMPTIONS ARE BASED ON FIELD OBSERVATION OF EXISTING STRUCTURE WHERE POSSIBLE, AND INFORMATION FROM ORIGINAL CONSTRUCTION DOCUMENTS WHERE AVAILABLE.
6. ORIGINAL CONSTRUCTION DRAWINGS INDICATE THE EXISTING ROOF IS COMPRISED OF A 3" METAL DECK WITH 2" RIGID INSULATION, BUILT-UP ROOF SYSTEM, AND GRAVEL PROTECTION COURSE.
7. UNLESS NOTED OTHERWISE, ALL EXISTING ROOF SYSTEMS SHALL BE REMOVED DOWN TO EXISTING METAL DECK. EXAMINE CONDITION OF EXISTING DECK PRIOR TO INSTALLING NEW ROOFING SYSTEM. CONTACT ARCHITECT TO OBSERVE EXPOSED STRUCTURE OF EACH AREA AND INDICATE AREAS REQUIRING ATTENTION.
8. NEW CONSTRUCTION SHOWN ILLUSTRATES THE DESIGN INTENT OF NEW ROOF SYSTEM. FIELD OBSERVATIONS, CONDITIONS, ETC. MAY VARY TO SUIT UNCOVERED FIELD CONDITIONS.
9. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. REVIEW ALL PROPOSED DRAWINGS AND VERIFICATION DIMENSIONS FOR ANY DISCREPANCIES WITH THE ARCHITECT AND STRUCTURAL ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED TO OBTAIN CERTIFICATION OF OCCUPANCY.
11. THE CONTRACTOR SHALL PROVIDE ALL UTILITIES REQUIRED FOR CONSTRUCTION, AND SHALL PROVIDE TEMPORARY SANITARY FACILITIES UNTIL CONSTRUCTION IS COMPLETE.
12. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS REGARDING CONTROL OF POLLUTION AS IT APPLIES TO THE WORK.
13. PROPERLY DISPOSE OF ALL SCRAP, DEMOLISHED, OR REMOVED MATERIALS OFF SITE.
14. CORE SAMPLES HAVE NOT BEEN TAKEN AT THE EXISTING ROOF. IF BIDDERS WISH TO TAKE SAMPLES, COORDINATE SCHEDULE AND LOCATIONS WITH THE ARCHITECT. BIDDER IS RESPONSIBLE FOR RETURNING ROOF TO WATERIGHT CONDITION AFTER SAMPLING.
15. HIDDEN CONDITIONS / OWNER ALLOWANCE - BIDDERS BID TO INCLUDE ALLOWANCE FOR ALL HIDDEN CONDITIONS AND FOR CONCEALED CONDITIONS OR AS REQUESTED BY OWNER. POTENTIAL ALLOWANCE (NOTED OTHERWISE IS NOT LIMITED TO) REPAIRS TO EXISTING METAL DECK OR OTHER CONCEALED ITEMS. SEE PROJECT MANUAL AND BID FORM FOR DETAILED INFORMATION.
16. TYPICAL NEW ROOFING SYSTEM TO BE FULLY ADHERED MEMBRANE SYSTEM ON 1/2" COVER BOARD OVER 2" (min) FLAT INSULATION BOARD. WITH ADDITIONAL 1/4" PER FOOT TAPEDED INSULATION WHERE NOTED. INSULATION BOARD TO BE FULLY ADHERED TO DECK SURFACE BY SYSTEM MANUFACTURER. SEE SPECIFICATIONS FOR DETAILED INFORMATION.
17. EXISTING ROOF STRUCTURE / DECK SLOPES FROM INDICATED RIDGE LINE TOWARD EAST AND WEST EDGES AT 1/8" PER FOOT (approx).
18. TYPICAL EXISTING ROOF CONDITIONS PHOTOGRAPHS ARE SHOWN ON COVER SHEET AND ARI1-04. THESE ARE PROVIDED FOR REFERENCE AND MAY NOT INDICATE ALL CONDITIONS.
19. ALL OTHER EXISTING ROOFING ON BUILDING IS TO REMAIN UNLESS NOTED OTHERWISE.
20. WHERE SHOWN, ALL ROOF PERIMETER BLOCKING SHALL BE FULL DEPTH OF ADJACENT INSULATION. ADDITIONAL THICKNESS AT TAPEDED AND CRICKET AREAS, ETC. INCLUDING THICKNESS ABOVE MASONRY. BLOCKING AT CRICKETS IS SHOWN TO MATCH THICKNESS OF TYPICAL FLAT INSULATION. PROVIDE ADDITIONAL COVER BOARD AS REQ TO MEET FULL DEPTH OF ALL INSULATION.
21. ALL WOOD BLOCKING, NAILERS, AND CURBS PLACED IN ROOF CONSTRUCTION SHALL BE PRESSURE PRESERVATIVE TREATED.
22. ALL NOMINAL DIMENSIONS GIVEN FOR WOOD BLOCKING ARE MINIMUM SIZES. CONTRACTOR SHALL INCREASE SIZE OR QUANTITY AS REQUIRED TO SUIT FIELD CONDITIONS.
23. WHERE INSULATION THICKNESS REQUIRES MULTIPLE COURSES OF BLOCKING (PARTICULARLY ALONG TAPEDED SLOPES), CONTRACTOR MAY PROVIDE 2x PFT ND MEMBERS (RIFFED AS REQUIRED) SET ON EDGES OVER THE EXISTING BLOCKING AND CAPPED WITH A TOP COURSE LAID HORIZONTALLY TO FORM A BOX.
24. REMOVE EXISTING CAST STONE CAP AT ALL AREAS AS REQUIRED FOR NEW ROOF INSTALLATION. INSTALL NEW ROOF BLOCKING AND FLASHING TO SYSTEM AT ALL LOCATIONS UNLESS NOTED OTHERWISE. WHERE CAPS ARE INDICATED TO BE REUSED, PROTECT FROM DAMAGE DURING REMOVAL, STORAGE, AND REINSTALLATION. REPLACE ALL DAMAGED FLASHINGS TO MATCH EXISTING.
25. PROTECT AND REUSE ALL EXISTING THROUGH-WALL FLASHING AND COUNTERFLASHING UNLESS OTHERWISE NOTED. REPAIR AS REQUIRED. PROVIDE NEW BASE FLASHINGS AT REMAINING ROOF CURBS WALL JOINTS AT SIMILAR CONDITIONS. ALL NEW FLASHINGS TO BE INSTALLED PER MEMBRANE MANUFACTURER'S RECOMMENDED DETAILS.
26. EXIST PARAPET / EXPANSION JOINT HEIGHT VARIES - FIELD VERIFY ALL DIMENSIONS.
27. REMOVE AND REINSTALL EXISTING EQUIPMENT AS REQUIRED TO PERFORM ROOF WORK. PROJECT INTENT IS TO REUSE EXISTING CURBS IN PLACE WHERE FEASIBLE. IF EXISTING CURBS ARE FOUND TO BE DAMAGED OR PETERIORATED, REVIEW WITH OWNER AND ARCHITECT BEFORE PROCEEDING WITH FLASHING AND EQUIPMENT RESETING.
28. RETAIN A MANUFACTURER-APPROVED CONTRACTOR TO PERFORM EQUIPMENT REMOVAL AND REINSTALLATION. MAINTAIN INTEGRITY OF SYSTEMS AND WARRANTIES IN EFFECT. CAPTURE AND REPLACE REFRIGERANTS IN ANY SYSTEMS THAT ARE ORDERED RETURNED TO SYSTEMS TO FULLY OPERATIONAL STATUS.
29. PROVIDE CRICKETS ON UPSLOPE SIDE OF ALL EQUIPMENT CURBS AND AS REQUIRED TO

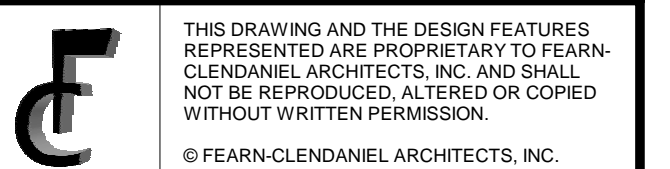
1. TYPICAL, NAD ROOFING SYSTEM TO BE FULLY ADHERED MEMBRANE SYSTEM ON 1/2" COVER BOARD OVER 2" (min) FLAT INSULATION BOARD. PROVIDE AN ADDITIONAL 1/4" PER FOOT TAPERED INSULATION WHERE NOTED. INSULATION BOARD TO BE FULLY ADHERED TO DECK SURFACE AS REQUIRED BY SYSTEM MANUFACTURER. SEE SPECIFICATIONS FOR DETAILED INFORMATION.
2. EXISTING ROOF STRUCTURE / DECK SLOPES FROM INDICATED RIDGE LINE TOWARD EAST AND WEST EDGES AT 1/8" PER FOOT (approx).
3. TYPICAL EXISTING ROOF CONDITIONS. PHOTOGRAPHS ARE SHOWN ON COVER SHEET AND AR11-04. THESE ARE PROVIDED FOR REFERENCE AND MAY NOT INDICATE ALL CONDITIONS.
4. ALL OTHER EXISTING ROOFING ON BUILDING IS TO REMAIN UNLESS NOTED OTHERWISE.
5. WHERE SHOWN, ALL ROOF PERIMETER BLOCKING SHALL BE THE SAME TYPE OF ADJACENT INSULATION, INCLUDING ADDITIONAL THICKNESS AT TAPERED AND CRICKET AREAS, ETC. INCLUDING THICKNESS AT ROOF MASONRY. WHERE SHOWN, BLOCKING IS SHOWN TO MATCH THICKNESS OF TYPICAL FLAT INSULATION. PROVIDE AN ADDITIONAL COURSE OF INSULATION AS REQ TO MEET FULL DEPTH OF ALL INSULATION.
6. ALL MOOD BLOCKING, NAILERS, AND CURBS PLACED IN ROOF CONSTRUCTION SHALL BE PRESSURE PRESERVATIVE TREATED.
7. ALL NOMINAL DIMENSIONS GIVEN FOR MOOD BLOCKING ARE MINIMUM SIZES. CONTRACTOR SHALL INCREASE SIZE OR QUANTITY AS REQUIRED TO SUIT FIELD CONDITIONS.
8. WHERE INSULATION THICKNESS REQUIRES MULTIPLE COURSES OF INSULATION (PARTICULARLY ALONG TAPERED SLOPES), CONTRACTOR MAY PROVIDE 2X PFT KD MEMBERS (RIPPED AS REQUIRED) SET ON EDGE OVER THE HORIZONTAL BOTTOM COURSE AND CAFFEED WITH A TOP COURSE LAID HORIZONTALLY TO FORM A BOX.
9. REMOVE EXISTING CAST STONE CAP AT ALL AREAS AS REQUIRED FOR NEW ROOF RESTORATION. PROVIDE MOOD BLOCKING AND CAP FLASHING SYSTEM AT ALL LOCATIONS UNLESS NOTED OTHERWISE. PROVIDE CAP FLASHING TO BECHING REUSED, PROTECT FROM DAMAGE DURING REMOVE, STORAGE, AND REINSTALLATION. REPLACE ALL DAMAGED FLASHINGS TO MATCH EXISTING.
10. PROTECT AND REUSE ALL EXISTING THROUGH-ROOF FLASHING BG AND FLAP. COUNTERFLASHING UNLESS OTHERWISE NOTED. REPAIR AS REQUIRED. PROVIDE NEW CAP FLASHING AT REMAINING ROOF CRACKS/NAIL JUNCTIONS AND SIMILAR CONDITIONS. ALL NEW FLASHINGS TO BE INSTALLED PER MEMBRANE MANUFACTURERS RECOMMENDED DETAILS.
11. EXIST PARAPET / EXPANSION JOINT HEIGHT VARIES - FIELD VERIFY ALL DIMENSIONS.
12. REMOVE AND REINSTALL EXISTING CURBS AS REQUIRED TO PERFORM ROOF WORK. PROJECT INTENT IS TO REUSE EXISTING CURBS IN PLACE WHERE FEASIBLE. IF EXISTING CURBS ARE FOUND TO BE DAMAGED OR DETERIORATED, REVIEW WITH OWNER AND ARCHITECT BEFORE PROCEEDING WITH FLASHING AND EQUIPMENT RESETTING.
13. RETAIN A MANUFACTURER-APPROVED CONTRACTOR TO PERFORM PERIMETER REMOVAL AND REINSTALLATION. MAINTAIN INTEGRITY OF SYSTEMS AND WARRANTIES IN EFFECT. CAPTURE AND REPLACE ALL COMPONENTS IN PLACE THAT ARE OPENED. RETURN ALL SYSTEMS TO FULLY OPERATIONAL STATUS.
14. PROVIDE CRICKETS ON UPSLOPE SIDE OF ALL EQUIPMENT CURBS AND AS REQUIRED TO DIVERT WATER TO DRAIN / RVC SYSTEM.
15. ALL EXISTING PENETRATIONS TO RECEIVE NEW FLASHINGS, TE INS, BOOTS, TRIMS, ETC. ARE NOTED IN THE FIELD. PROVIDE PREMANUFACTURED BOOT TYPE FLASHINGS AT VTRIS AND OTHER GOLD PIPING. PROVIDE INSULATION AND FLASHING AT HOT PIPING OR WHERE REQUIRED.
16. WHERE ROOF ACCESS OR EQUIPMENT REQUIRING SERVICE IS WITHIN 10 FEET OF ROOF EDGE, PROVIDE NON-PENETRATING BLASTED GARDEN RAIL SYSTEM (42" HIGH MIN).

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PROJECT

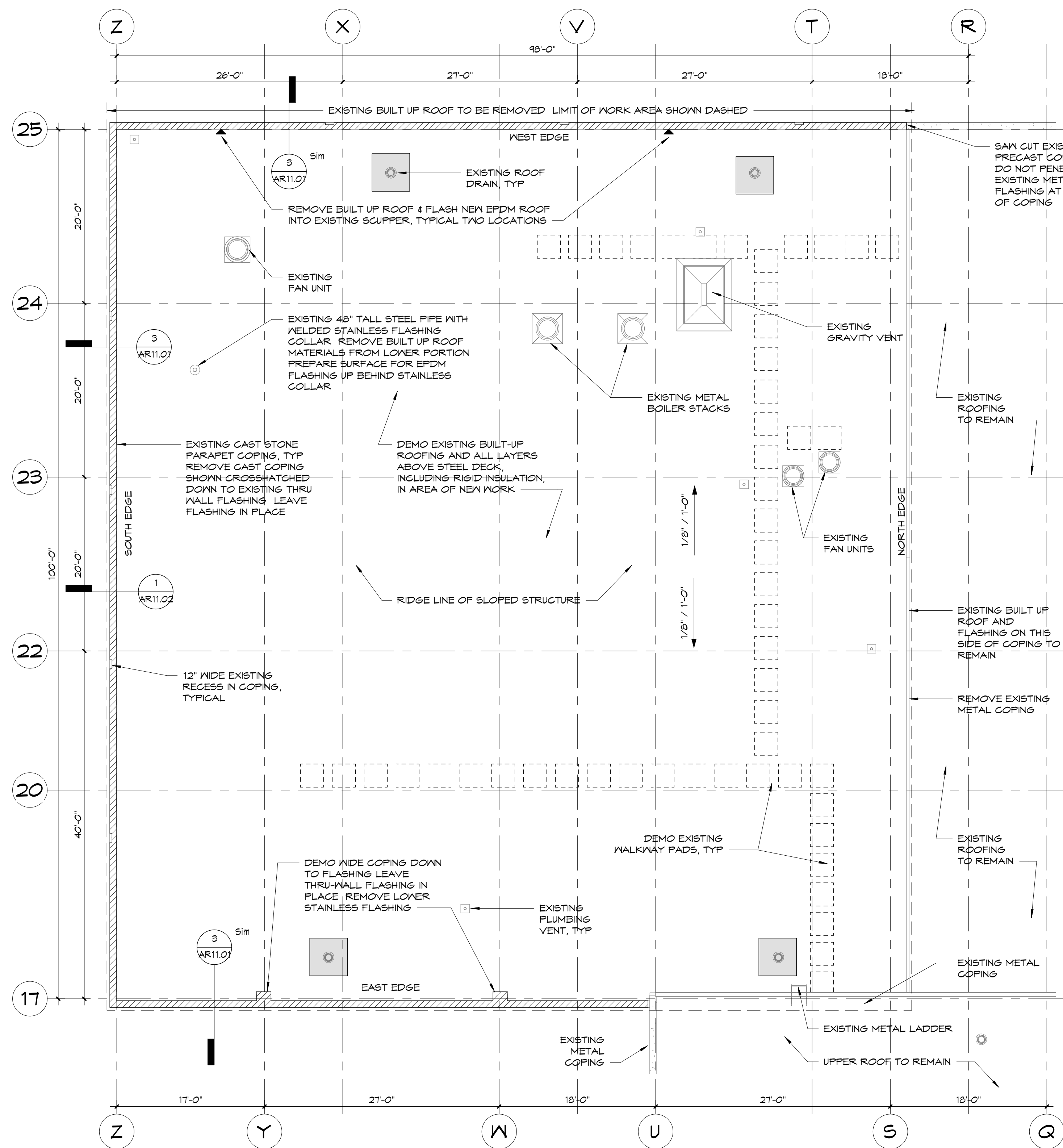
CHRISTINA SCHOOL DISTRICT

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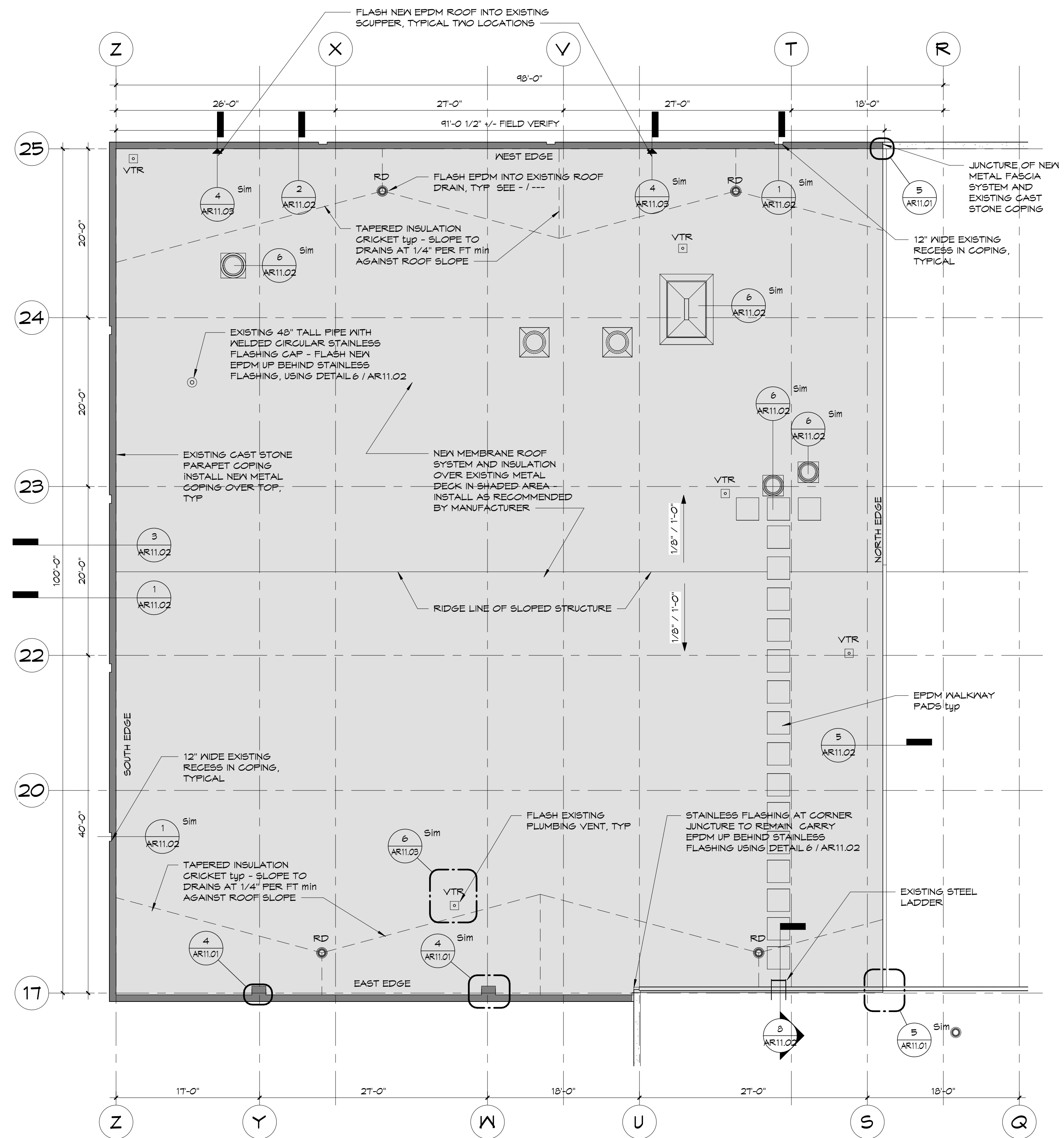
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ROOF REPLACEMENT

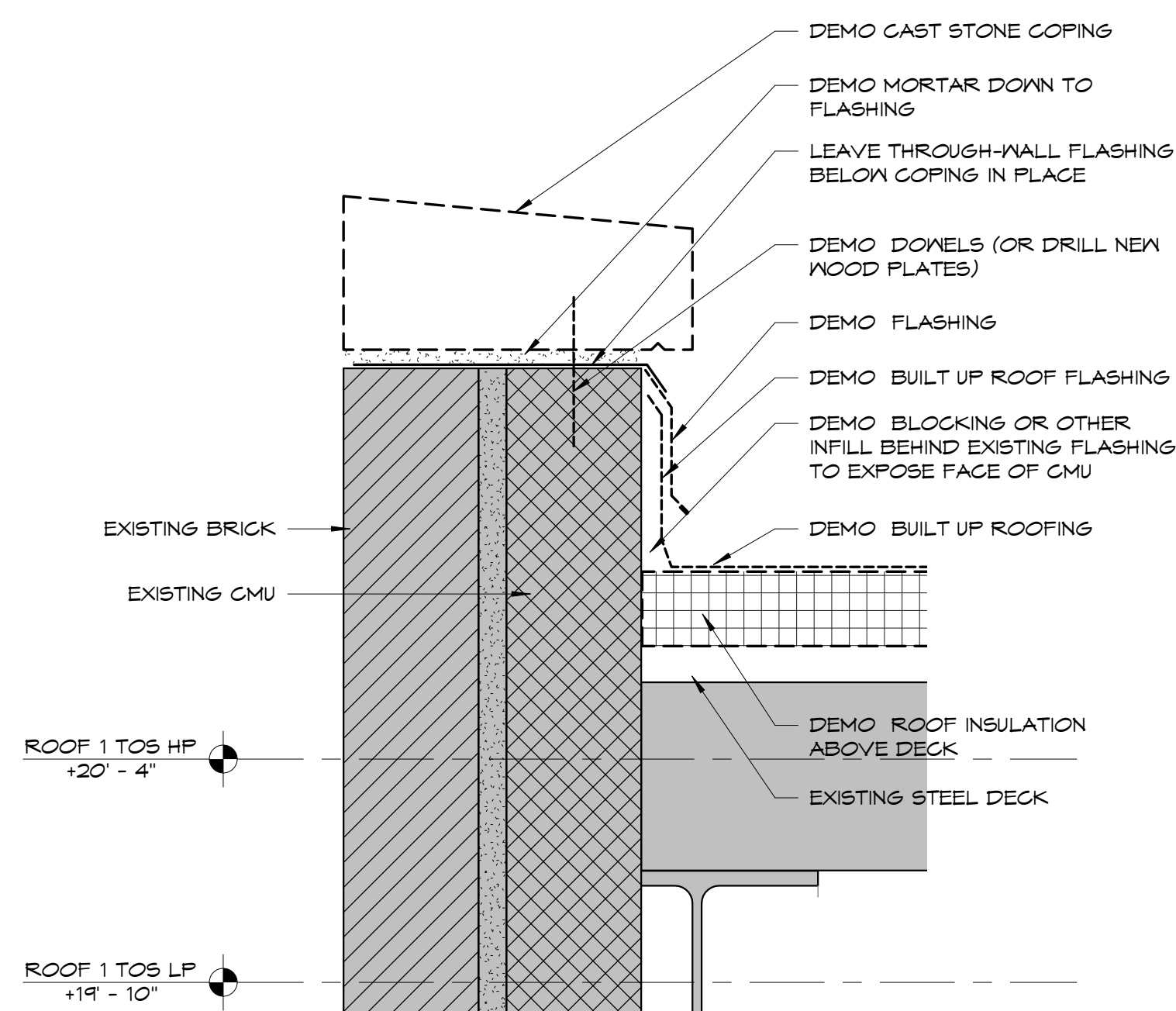
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DATE: 2019-10-17		DRAWING NUMBER: AR10.01
SCALE: As indicated		



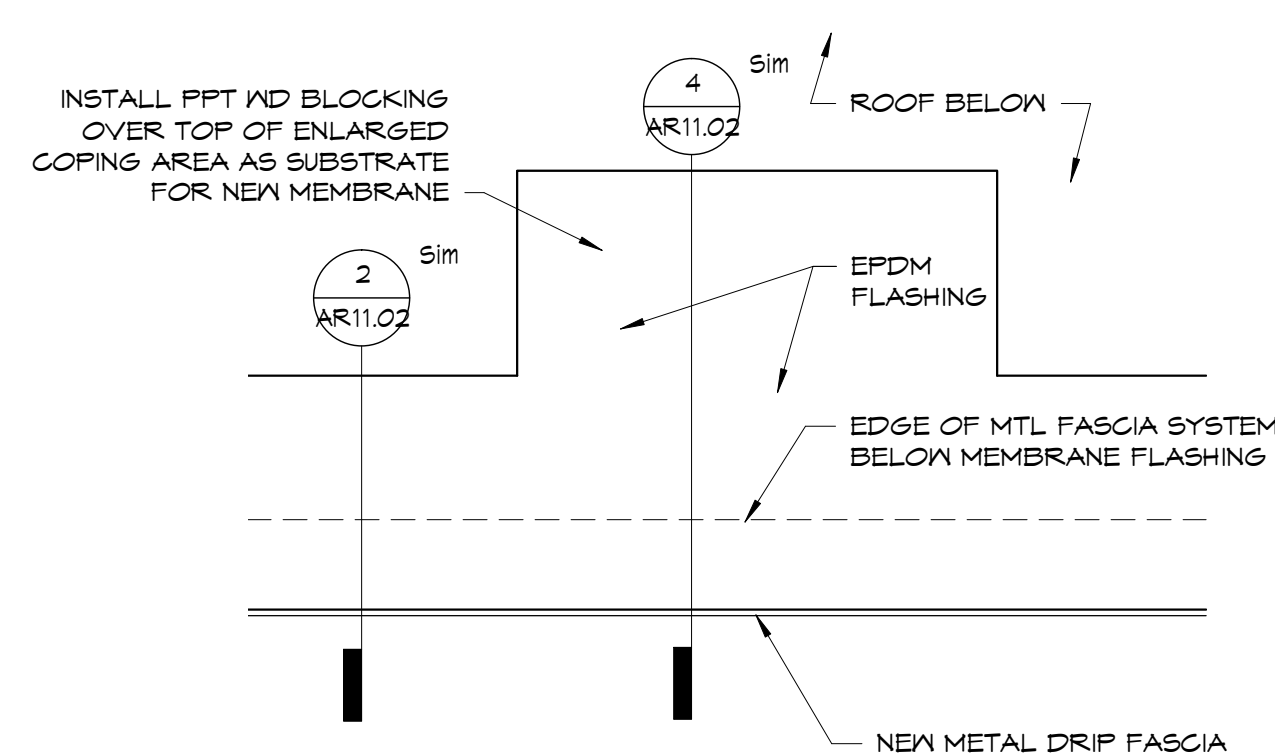
1 ROOF PLAN - DEMOLITION
1/8" = 1'-0"



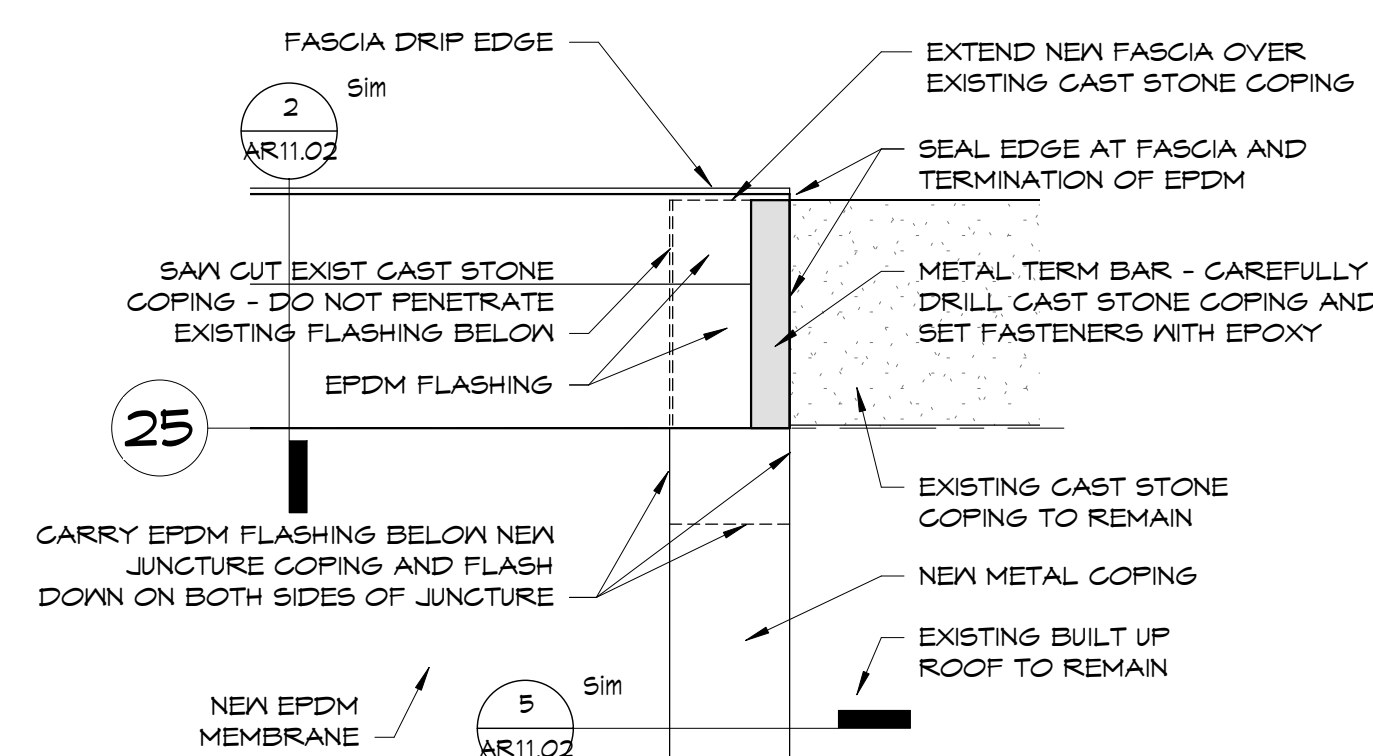
2 ROOF PLAN - NEW WORK
1/8" = 1'-0"



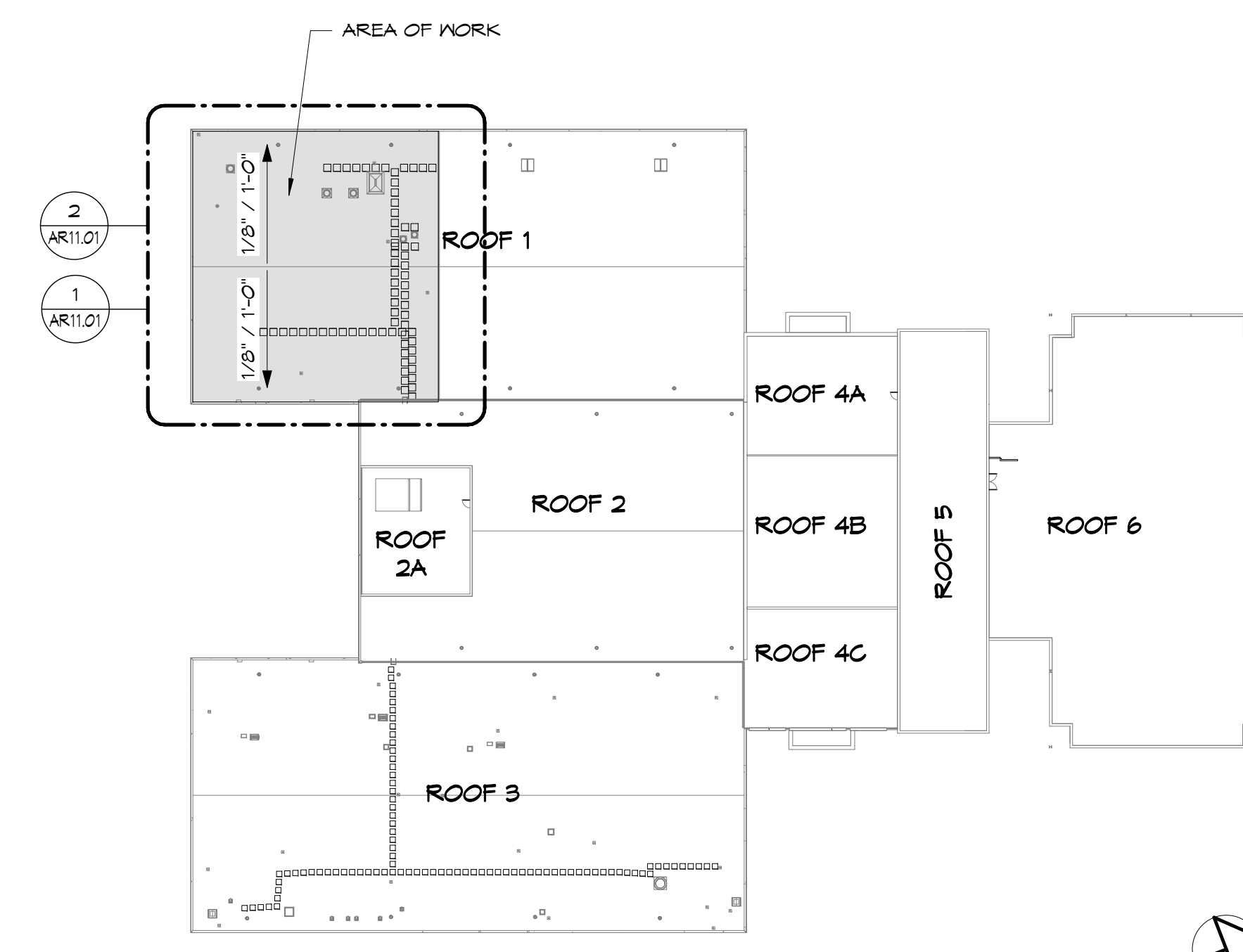
3 DETAIL - COPING DEMO
3" = 1'-0"



4 DETAIL - PLAN AT WIDE PARAPET
1 1/2" = 1'-0"



5 DETAIL - PLAN AT COPING JUNCTURE
1 1/2" = 1'-0"



6 KEY PLAN - ROOF
NO SCALE

CONSULTANTS:

STRUCTURAL ENGINEER

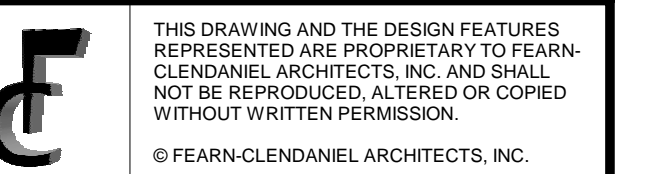
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PROJECT

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BAYARD SCHOOL

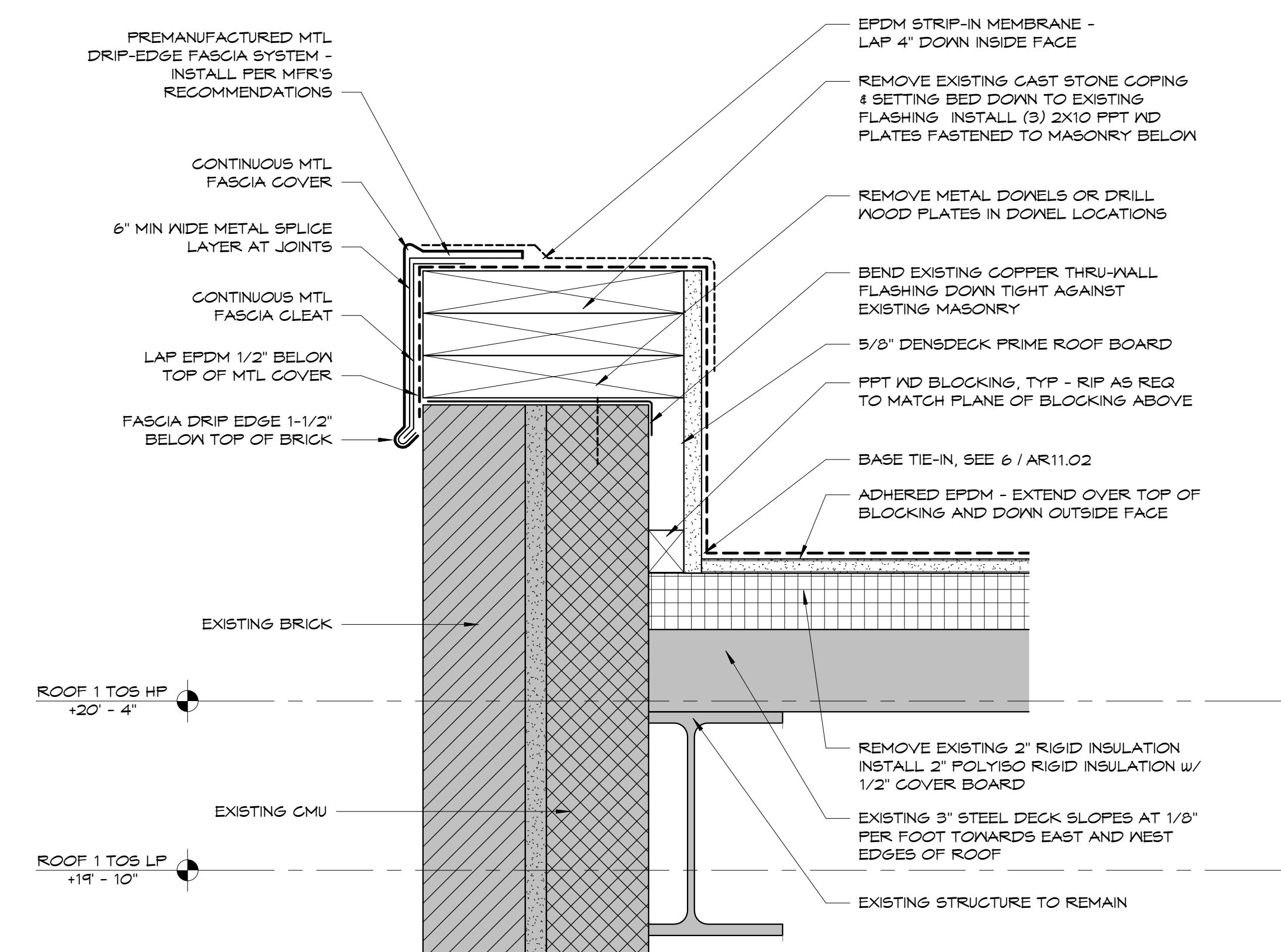
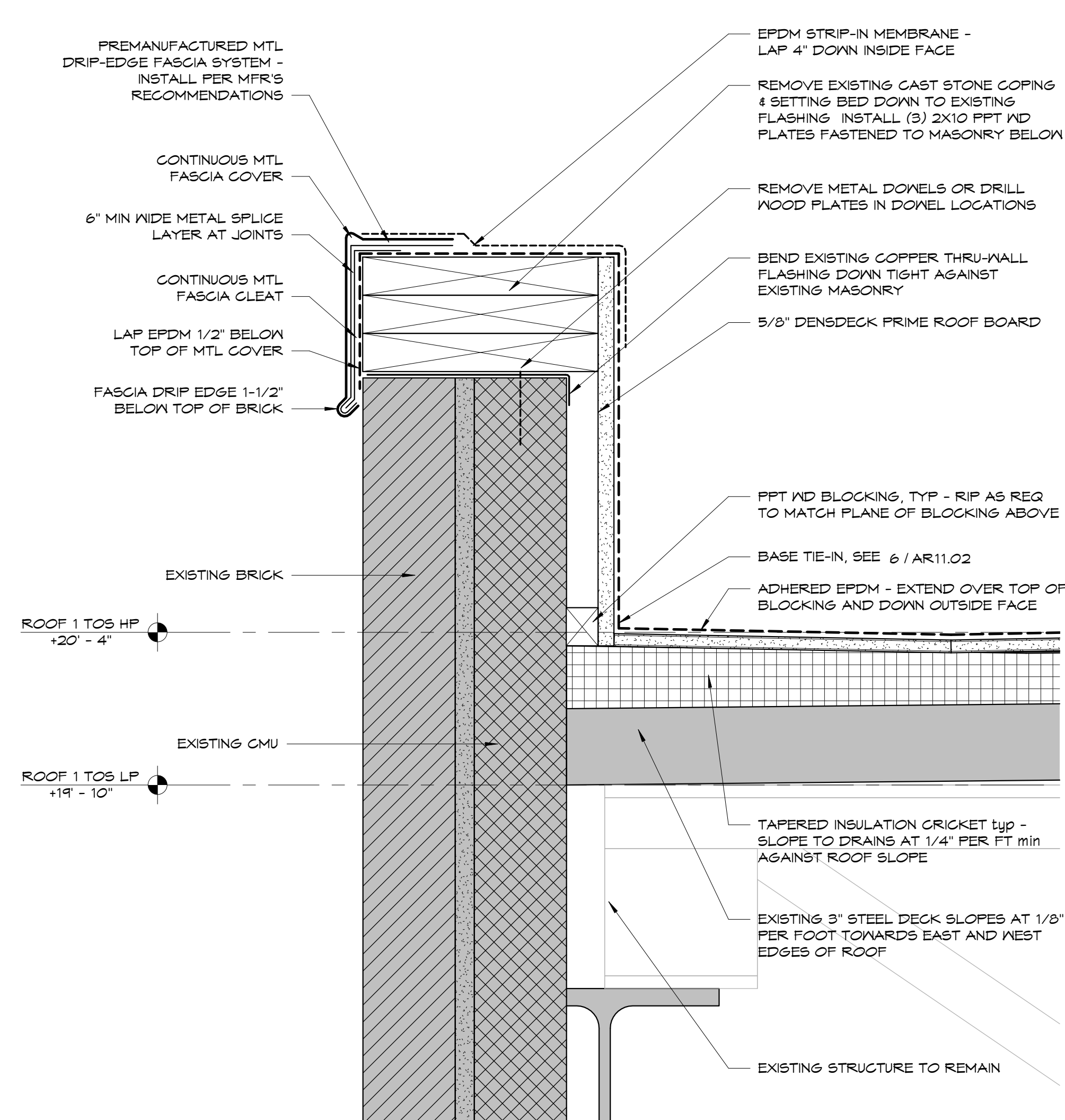
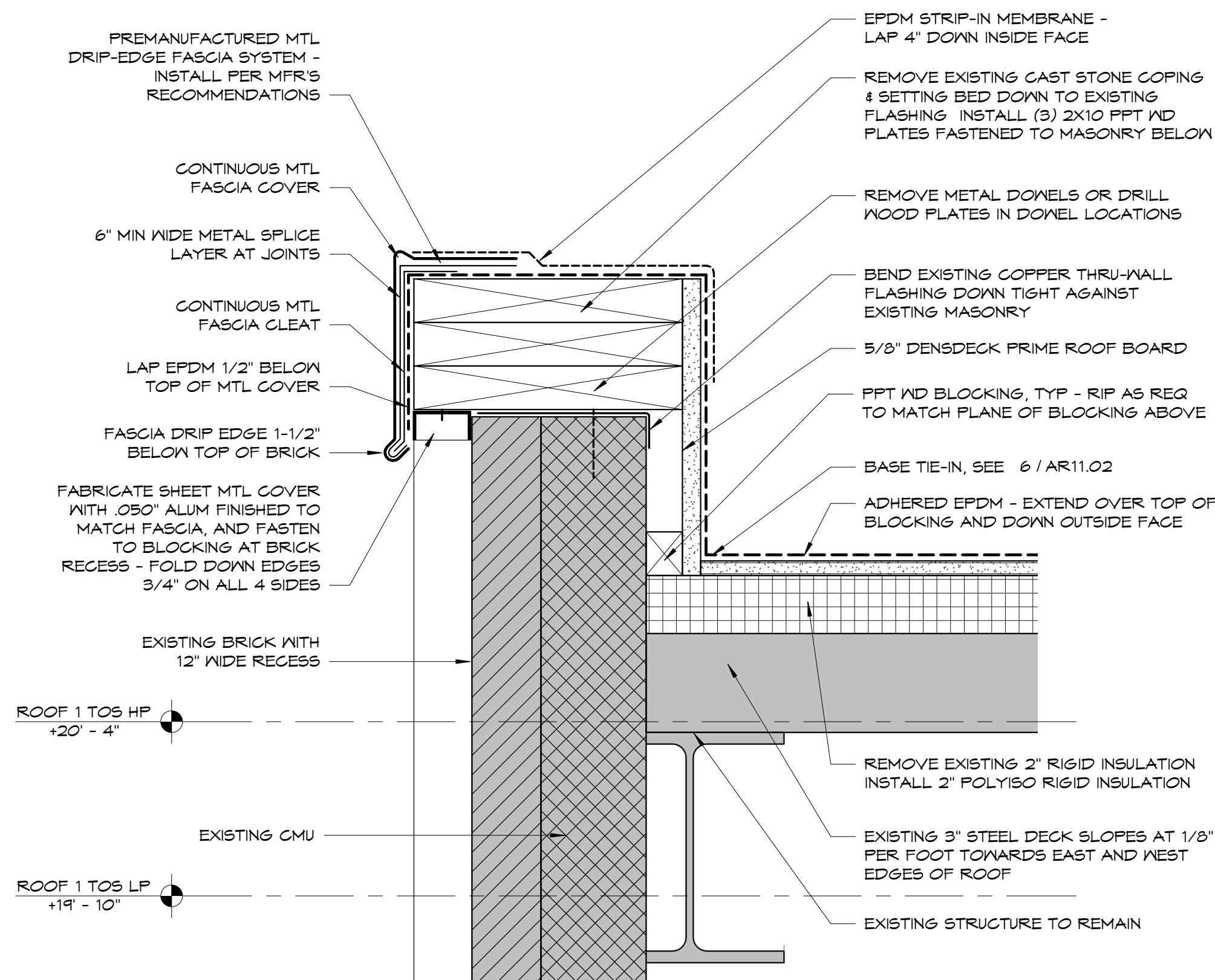
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ROOF REPLACEMENT

DRAWING TITLE:

ROOF REPLACEMENT PLANS

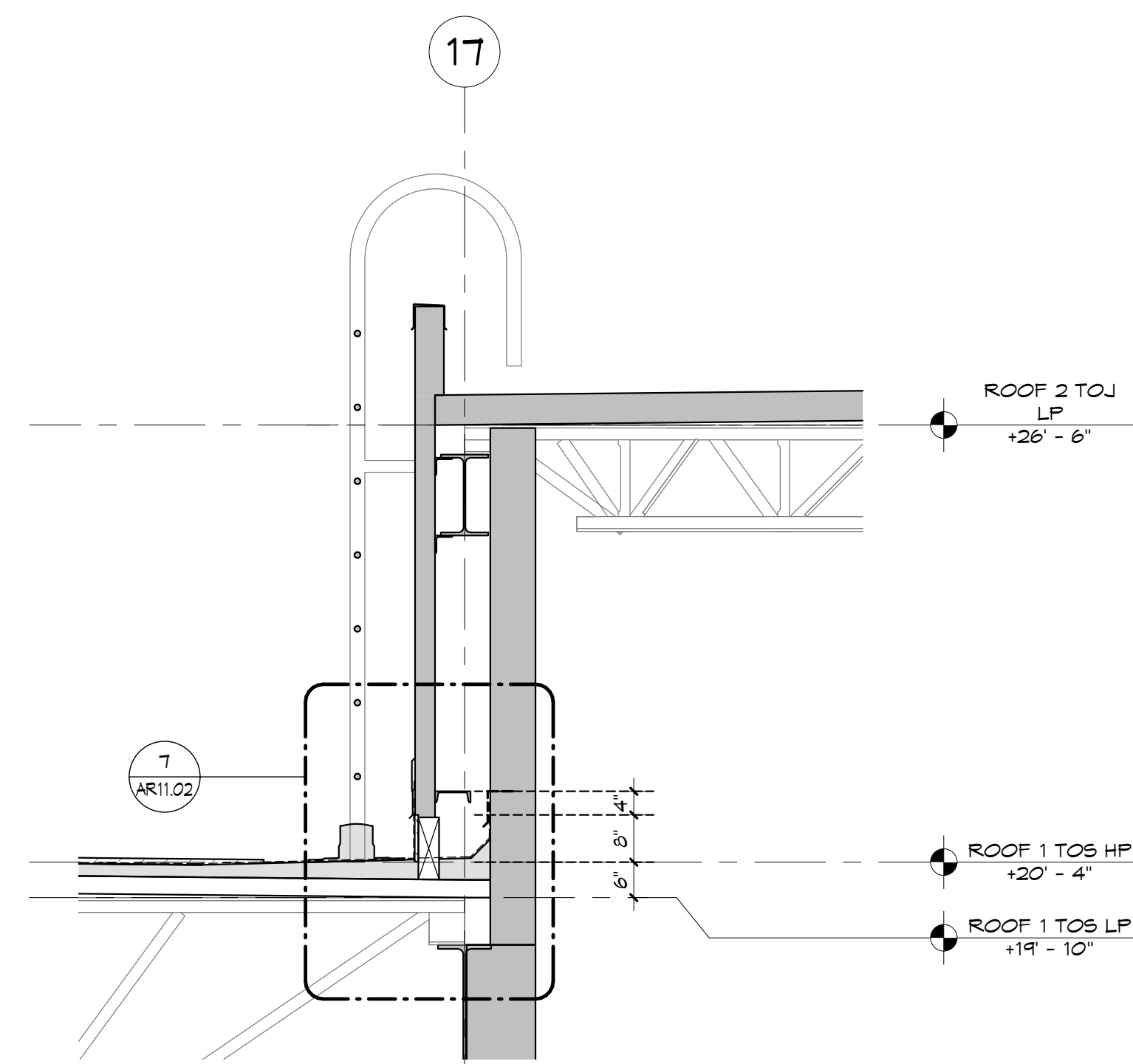
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DATE: 2019-10-17 DRAWING NUMBER: AR11.01
SCALE: As indicated



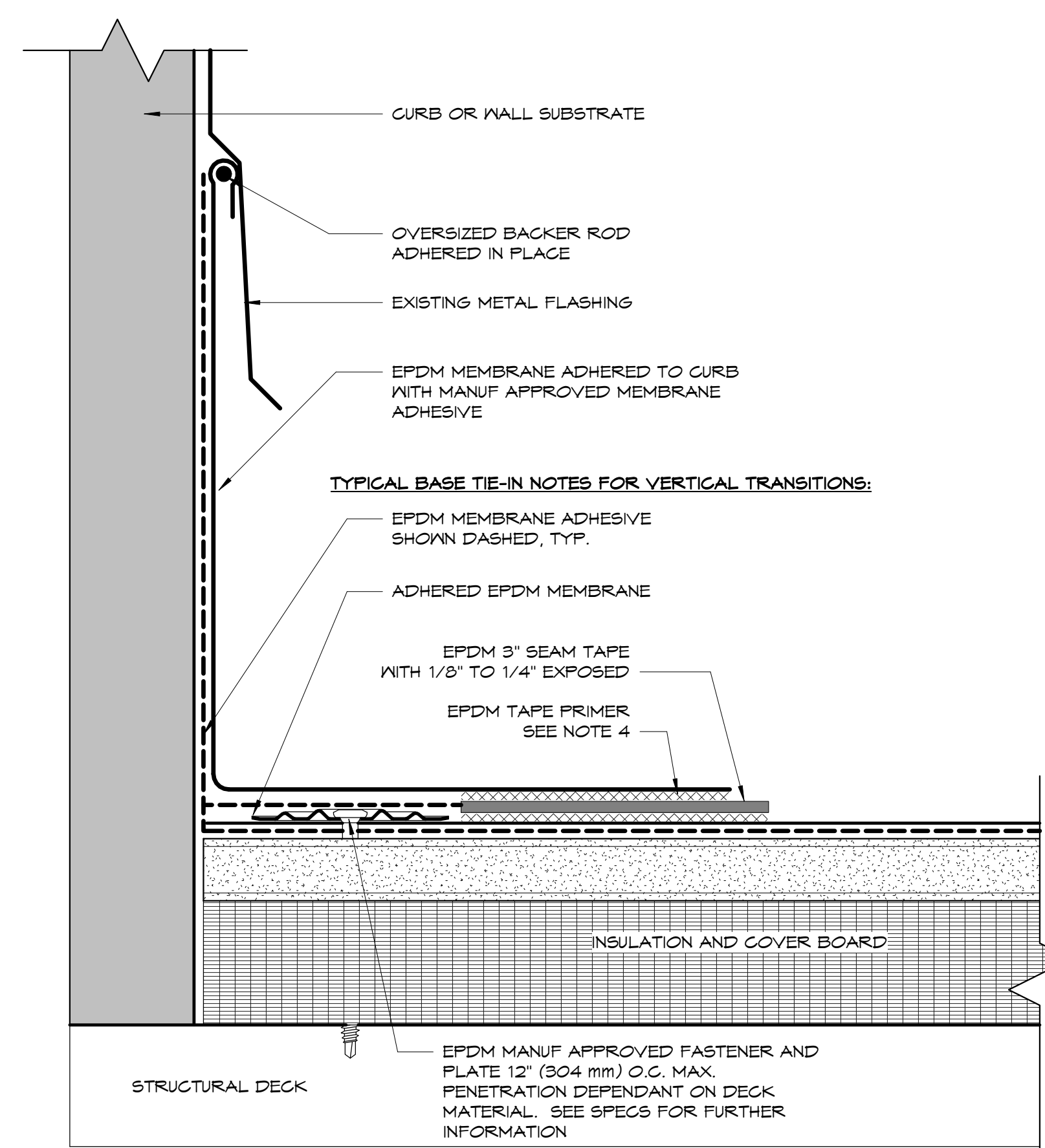
1 DETAIL - COPING AT BRICK RECESS
3" = 1'-0"

2 DETAIL - TYPICAL COPING AT LOW POINT OF ROOF
3" = 1'-0"

3 DETAIL - COPING AT HIGH POINT OF ROOF
3" = 1'-0"

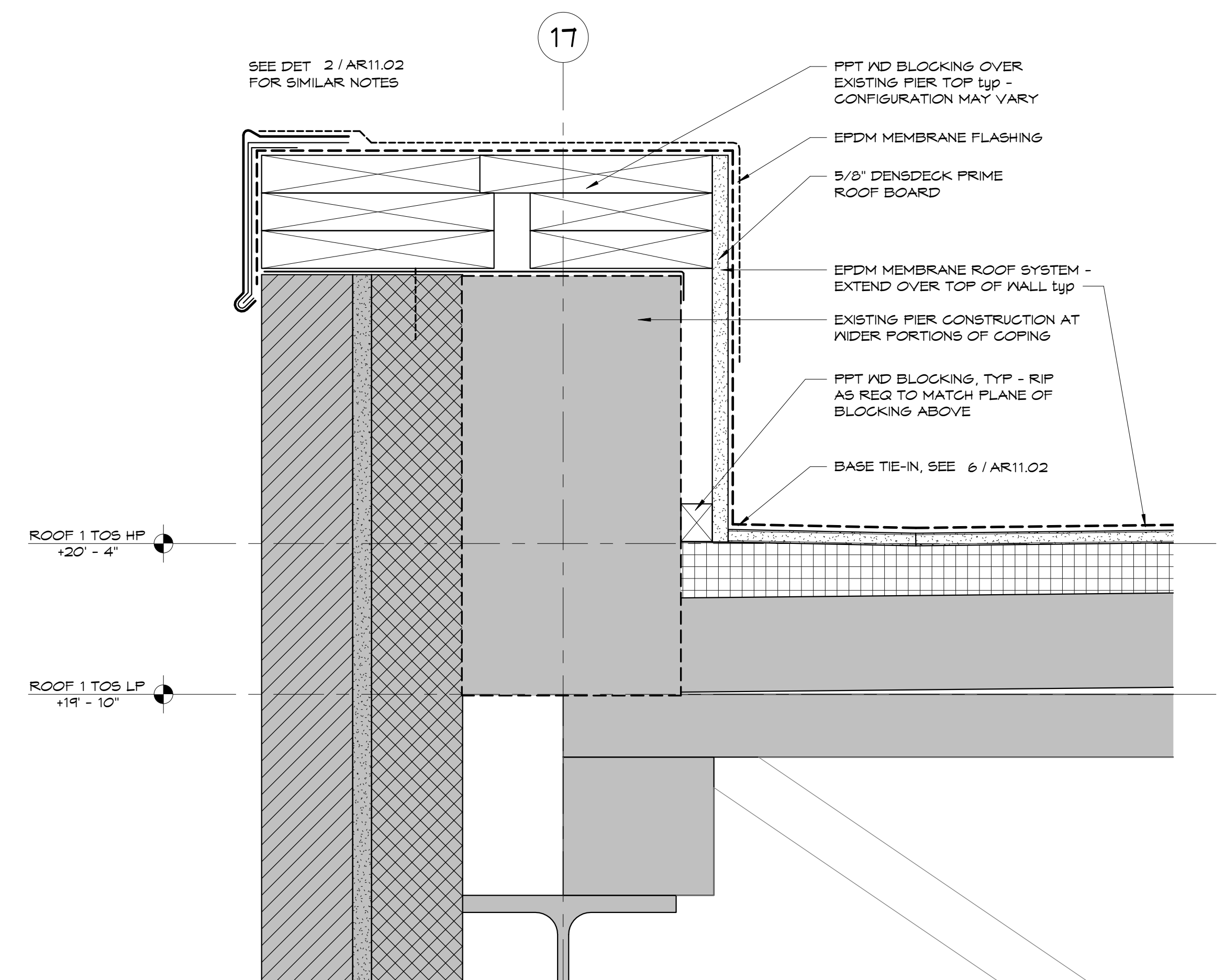


8 WALL SECTION - AT LADDER
1/2" = 1'-0"

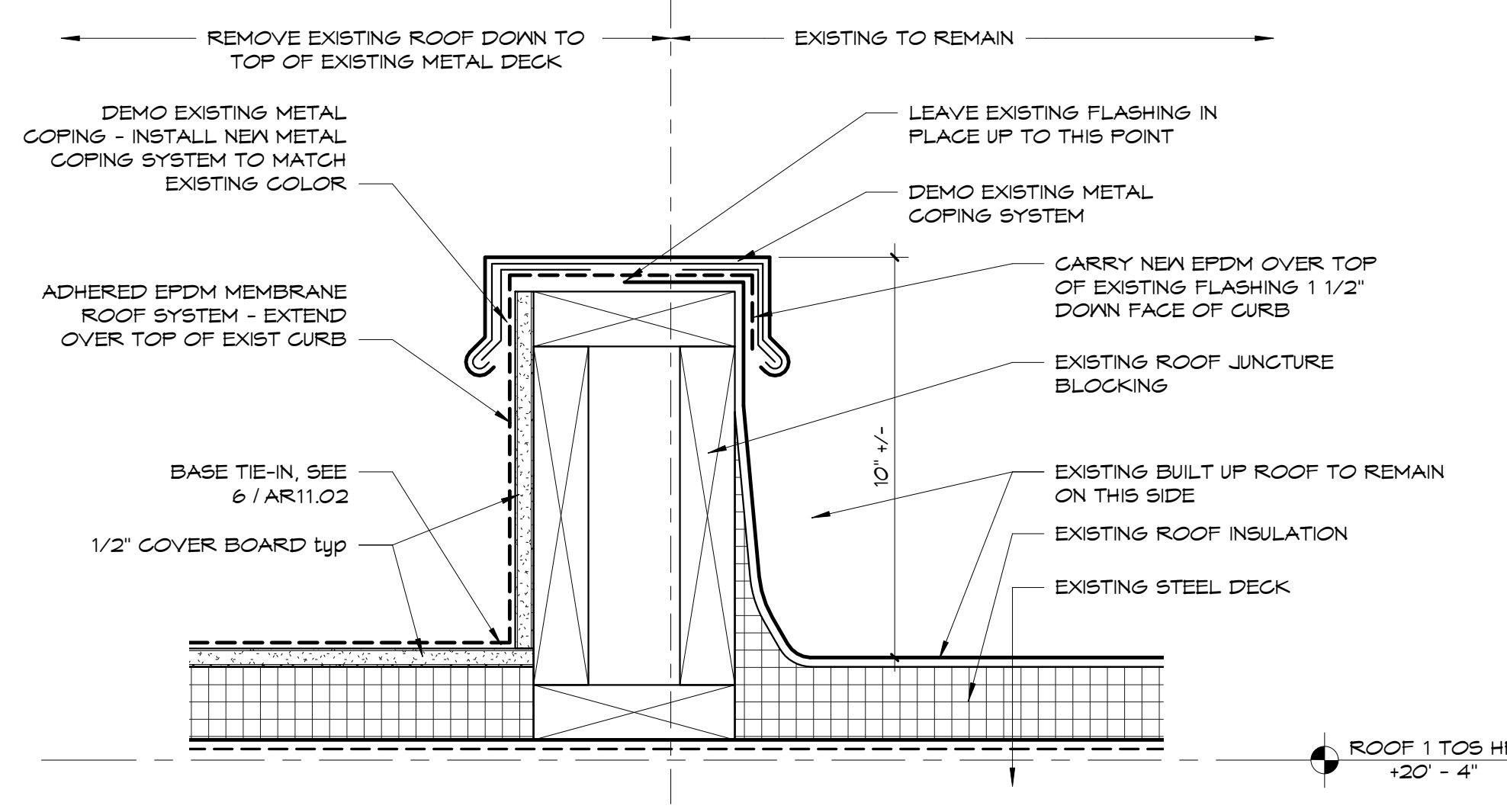


- NOTES:
1. REFER TO EPDM MANUF FOR MOST UP-TO-DATE INFORMATION.
 2. SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
 3. ANY CARPENTRY OR METAL WORK TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS.
 4. EPDM TAPE PRIMER OR SINGLE PLY MEMBRANE PRIMER (LOW VOC) MUST BE APPLIED ON ALL SURFACES COMING INTO CONTACT WITH EPDM PEEL & STICK PRODUCTS. ROLL MEMBRANE WITH HAND ROLLER UNDER PRESSURE AT SEAM IN ACCORDANCE WITH THE MANUF EPDM INSTALLATION GUIDE.
 5. 1/8" TO 1/4" OF MANUF EPDM SEAM TAPE MUST BE EXPOSED ALONG ENTIRE LENGTH OF ALL SEAMS.
 6. HEIGHT OF CURB TO BE ADJUSTED WITH NAILERS AS NEEDED. IT IS PREFERRED TO RAISE CURB ONTO NAILERS TO EXTEND FLASHING HEIGHT.

6 TYPICAL EXISTING EQUIPMENT CURB & BASE TIE-IN
NO SCALE



4 DETAIL - AT WIDE COPING ABV COLUMNS
3" = 1'-0"



5 DETAIL - SECTION AT ROOF JUNCTURE
3" = 1'-0"

7 DETAIL - METAL PANELS AND LADDER
1 1/2" = 1'-0"

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PROJECT

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BAYARD SCHOOL

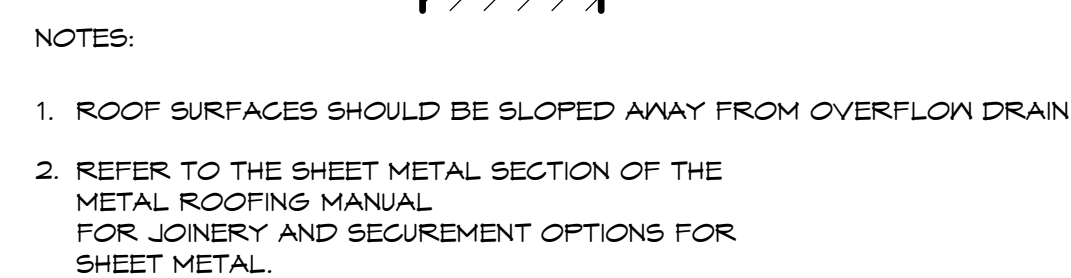
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ROOF REPLACEMENT

DRAWING TITLE:

ROOF REPLACEMENT DETAILS

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DATE: 2019-10-17 DRAWING NUMBER: AR11.02
SCALE: As indicated



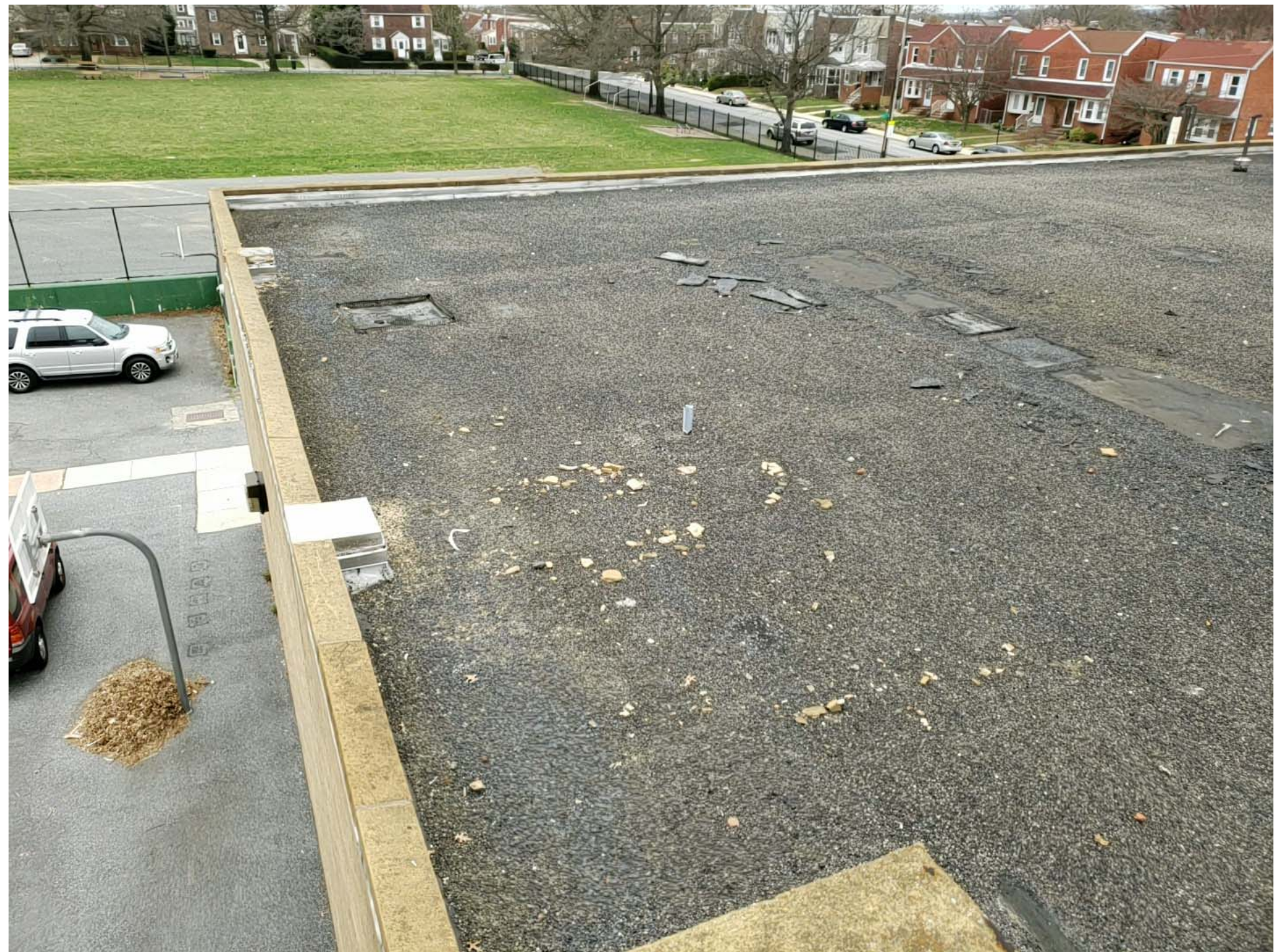
SCALE: **ART 11.03**
As indicated



7 EXISTING ROOF
NO SCALE



4 EXISTING ROOF
NO SCALE



1 EXISTING ROOF
NO SCALE



8 EXISTING ROOF
NO SCALE



5 EXISTING ROOF
NO SCALE



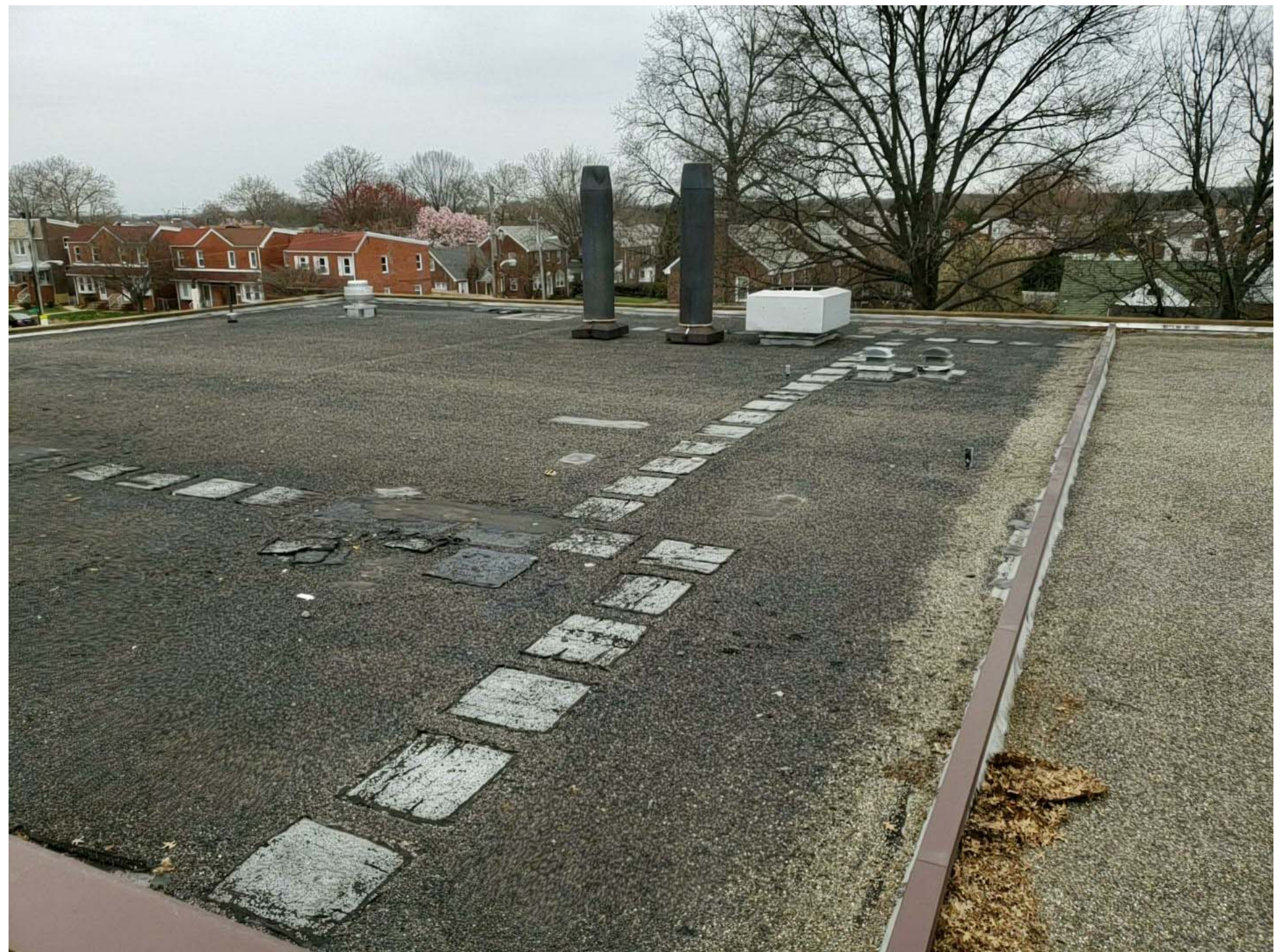
2 EXISTING ROOF
NO SCALE



9 EXISTING ROOF
NO SCALE



6 EXISTING ROOF
NO SCALE



3 EXISTING ROOF
NO SCALE

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ROOF REPLACEMENT

DRAWING TITLE:

EXISTING CONDITIONS IMAGES

DWN BY:	CHK BY:	PROJ. NUMBER:
FCA	WBC	18022-R1
DATE:	DRAWING NUMBER:	
2019-10-17	AR11.04	
SCALE:	As indicated	