

**ADDENDUM NO. 1**

**BRANDYWINE SCHOOL DISTRICT  
CLAYMONT ELEMENTARY SCHOOL RENOVATION  
BID PAC B  
3401 Green Street, Claymont, DE 19703**

**THE WHITING-TURNER CONTRACTING COMPANY  
CONSTRUCTION MANAGER  
131 Continental Drive – Suite 404  
Newark, DE 19713  
302-292-0676**

**BIDS DUE: JANUARY 10, 2019 at 2:00 PM**

**LOCATION: Claymont Elementary School, Cafeteria  
3401 Green Street  
Claymont, DE 19703**

**NOTICE TO ALL BIDDERS**

**1.0 GENERAL NOTES:**

- 1.1 Bidders are hereby notified that this Addendum shall be and hereby becomes part of their Contract Documents, and shall be attached to the Project Manual for this project. All bidders shall acknowledge this addendum on the Bid Form.
- 1.2 The following items are intended to revise and clarify the Drawings and Project Manual, and shall be included by the Bidder in their proposal.
- 1.3 Bidders shall verify that their Sub-bidders are in full receipt of the information contained herein.
- 1.4 Deadline for questions shall be January 4, 2019.
- 1.5 A **mandatory** pre-bid meeting was held on December 11, 2018 at Claymont Elementary School ES, Cafeteria.
  - 1.5.1 Pre-Bid Meeting Minutes dated December 11, 2018 is attached to this addendum.
  - 1.5.2 Pre-Bid Sign-in Sheets are attached to this addendum.

**2.0 CHANGES TO THE PROJECT MANUAL and DRAWINGS**

- 2.1 See ABHA Architects Addendum #1 attachment detailing changes to specifications and drawings.

3.0 ATTACHMENTS

- 3.1.1 ABHA Architects Addendum #1 dated 12/13/18
  - 3.1.1.1 Drawings and Specifications as listed
- 3.1.2 Prebid Meeting Minutes with Sign in
- 3.1.3 Project Schedule
- 3.1.4 Phasing Plan – (modified since pre-bid meeting)
- 3.1.5 Asbestos Location Survey
- 3.1.6 Substitution Request Form
- 3.1.7 Roof Survey
- 3.1.8 Bid Questions Log dated 12-14-18

**END OF ADDENDUM NO. 01**

**ADDENDUM ISSUED BY**

ABHA Architects, Inc.  
1621 N. Lincoln Street  
Wilmington, Delaware 19806

NOTICE: Attach this Addendum to the Project Manual for this project. It modifies and becomes a part of the Contract documents. Work or materials not specifically mentioned herein are to be as described in the main body of the Specifications and as shown on the Drawings.

Acknowledge receipt of the Addendum in the space provided on the Bid Form. This Addendum is being transmitted to all pre-qualified contractors who have received Contract Documents. If there are any problems with legibility or content, please contact ABHA Architects, Inc. (302) 658-6426.

**LIST OF ATTACHMENTS:**

DRAWINGS – VOLUME 1

G-001 – COVER SHEET

G-111 - CODE REVIEW PLAN - FIRST FLOOR

DRAWINGS – VOLUME 2

A-101.2 - DEMOLITION - FIRST FLOOR PLAN - AREA B

A-101.3 - DEMOLITION - FIRST FLOOR PLAN - AREA C

A-101.4 - DEMOLITION - FIRST FLOOR PLAN - AREA D

A-101.5 - DEMOLITION - FIRST FLOOR PLAN - AREA E

A-102.1 - DEMOLITION - SECOND FLOOR PLAN - AREA E

A-111.3 - FIRST FLOOR PLAN - AREA C

A-111.4 - FIRST FLOOR PLAN - AREA D

A-121.3 - REFLECTED CEILING PLAN - FIRST FLOOR - AREA C

A-121.4 - REFLECTED CEILING PLAN - FIRST FLOOR - AREA D

A-122.1 – REFLECTED CEILING PLAN – SECOND FLOOR – AREA E

A-402 - ENLARGED PLANS AND ELEVATIONS - NURSE SUITE, FACULTY BREAK ROOM, CAFETERIA TOILET ROOMS

A-404 - ENLARGED PLANS AND ELEVATIONS – ADMINISTRATION

A-515 - RECEPTION DESK DETAILS

A-601 – DOOR SCHEDULE AND VISION PANELS

A-611 – WINDOW DETAILS – ALUMINUM WINDOWS

A-615 - SCHEDULE - SUSPENDED CEILING BAFFLES

I-001 - FINISH SCHEDULE

I-002 - FINISH LEGEND

DRAWINGS – VOLUME 3

M-101.2 - FIRST FLOOR MECHANICAL PLAN DEMOLITION AREA B  
M-101.3 - FIRST FLOOR MECHANICAL PLAN DEMOLITION AREA C  
M-101.5 - FIRST FLOOR MECHANICAL PLAN DEMOLITION AREA E  
M-101.6 - FIRST FLOOR MECHANICAL PLAN DEMOLITION AREA F  
M-102.1 - SECOND FLOOR MECHANICAL PLAN DEMOLITION AREA E  
M-103.2 - ROOF MECHANICAL PLAN DEMOLITION AREA B  
M-103.5 - ROOF MECHANICAL PLAN DEMOLITION AREA E  
M-111.2 - FIRST FLOOR MECHANICAL PLAN AREA B  
M-111.3 - FIRST FLOOR MECHANICAL PLAN - AREA C  
M-111.5 - FIRST FLOOR MECHANICAL PLAN - AREA E  
M-111.6 - FIRST FLOOR MECHANICAL PLAN - AREA F  
M-112.1 - SECOND FLOOR MECHANICAL PLAN - AREA E  
M-112.2 - SECOND FLOOR MECHANICAL PLAN - AREA F  
M-113.1 - MECHANICAL ROOF PLAN - AREA A  
M-113.2 - MECHANICAL ROOF PLAN - AREA B  
M-113.4 - MECHANICAL ROOF PLAN - AREA D  
M-113.5 - MECHANICAL ROOF PLAN - AREA E  
M-113.6 - MECHANICAL ROOF PLAN - AREA F  
M-602 - SCHEDULES MECHANICAL  
MP-111.5 - FIRST FLOOR MECHANICAL PIPING PLAN AREA E  
MP-111.6 - FIRST FLOOR MECHANICAL PIPING PLAN AREA F  
E-102.1 - SECOND FLOOR ELECTRICAL PLANS DEMOLITION AREA E  
E-111.1 - FIRST FLOOR LIGHTING PLANS AREAS A, C, & G  
E-111.2 - FIRST FLOOR LIGHTING PLAN AREA B  
E-111.3 - FIRST FLOOR LIGHTING PLAN AREA D  
E-113.1 - FIRST FLOOR POWER PLANS AREAS A, C, & G  
E-113.2 - FIRST FLOOR POWER PLAN AREAS B & G  
E-113.3 - FIRST FLOOR POWER PLAN AREAS C & D  
E-113.4 - FIRST FLOOR POWER PLAN AREA E LOWER LEVEL AREA H  
E-113.5 - FIRST FLOOR POWER PLAN AREA F  
E-114.1 - SECOND FLOOR POWER PLAN AREA E  
E-114.2 - SECOND FLOOR POWER PLAN AREA F  
E-151 - SITE PLAN ELECTRICAL  
E-501 - SINGLE LINE DIAGRAM ELECTRICAL  
E-600 - SCHEDULES ELECTRICAL

SPECIFICATIONS – VOLUME 2

SPECIFICATION SECTION 08 70 00 – DOOR HARDWARE SCHEDULE (18 pgs.)  
SPECIFICATION SECTION 14 24 00 – HYDRAULIC ELEVATORS (14 pgs.)  
SPECIFICATION SECTION 32 14 13 – PRECAST CONCRETE UNIT PAVING (2 pgs.)

**GENERAL INFORMATION:**

(none)

**QUESTIONS AND ANSWERS:**

(see attached questions and answers log)

**CHANGES TO PROJECT MANUAL:**

TABLE OF CONTENTS

DELETE "14 21 00 ELECTRIC TRACTION ELEVATORS"

ADD "14 24 00 HYDRAULIC ELEVATORS"

ADD "32 14 13 PRECAST CONCRETE UNIT PAVING"

SECTION 07 53 00 – ELASTOMERIC MEMBRANE ROOFING

Page 07 53 00 – 3, Article 2.03, Paragraph A, Subparagraph 5.

DELETE Subparagraph 5 and REPLACE with the following:

5. Color: White

SECTION 07 53 00 – ELASTOMERIC MEMBRANE ROOFING

Page 07 53 00 – 3, Article 2.03, Paragraph D, Subparagraph 4.

DELETE Subparagraph 4 and REPLACE with the following:

4. Color: White

SECTION 08 70 00 – DOOR HARDWARE SCHEDULE

DELETE Section 08 70 00 in its entirety and REPLACE with Section 08 70 00 – DOOR HARDWARE SCHEDULE attached to this Addendum.

SECTION 09 05 61 – COMMON WORK RESULTS FOR FLOORING PREPARATION

Page 09 05 61 – 4, Article 2.01, Paragraph C

ADD the following subparagraph:

1. Applications: All slab on grade locations and second floor slab that are scheduled to receive resilient flooring. See Section 09 65 00 - Resilient Flooring.

SECTION 09 05 61 – COMMON WORK RESULTS FOR FLOORING PREPARATION

Page 09 05 61 – 4, Article 3.01, Paragraph B

ADD the following subparagraph:

4. Substrate to be profiled to achieve Concrete Surface Profile (CSP) 2 – 3 as defined by the International Concrete Repair Institute (ICRI).
  - a. Applications: Areas scheduled to receive resilient flooring.

SECTION 09 30 00 – TILING

Page 09 30 00 – 4, Article 2.01, Paragraph A, Subparagraph 9.a.

DELETE Subparagraph 9.a and REPLACE with the following:

- a. Basis of Design: American Olean; Quarry Naturals: [www.americanolean.com](http://www.americanolean.com)

SECTION 09 30 00 – TILING

Page 09 30 00 – 5, Article 2.02, Paragraph A, Subparagraph 1.c

DELETE Subparagraph 1.c and REPLACE with the following:

c. floor to wall joints as indicated on drawings

SECTION 09 65 00 – RESILIENT FLOORING

Page 09 65 00 – 3, Article 2.01, Paragraph A, Subparagraph 1.b

DELETE Subparagraph 1.b and REPLACE with the following:

b. Johnsonite, a Tarkett Company; Azrock: [www.johnsonite.com](http://www.johnsonite.com)

SECTION 09 65 00 – RESILIENT FLOORING

Page 09 65 00 – 5, Article 2.04, Paragraph B & C

DELETE Paragraph B & C and REPLACE with the following:

- B. Remedial Floor Coating: Single- or multi-layer coating or coating/overlay combination intended by its manufacturer to resist water vapor transmission to degree sufficient to meet flooring manufacturer's emission limits, resistant to the level of alkalinity (pH) found, and suitable for adhesion of flooring without further treatment.
1. Liquid applied epoxy moisture mitigation system for cement-based substrates: Schonox EPA Two-part Epoxy-based moisture mitigation system.
    - a. Applications: All slab on grade locations that are scheduled to receive resilient flooring.
    - b. Drying time: 4 to 6 hours at 65 degrees F.
    - c. Permeance to ASTM E96: greater than or equal to 0.1 perm
    - d. VOC content: 0
  2. Acrylic Primer: Schonox SHP
    - a. Applications: All slab on grade locations and second floor slab that are scheduled to receive resilient flooring.
    - b. Foot Traffic Ready: 1 hour at 65 degrees F.
    - c. Permeance to ASTM E96: 0.4 perm maximum (2 coats)
    - d. VOC Content: 0
  3. Cement Based Self-Leveling Underlayment: Schonox XM Self-leveling compound
    - a. Applications: All slab on grade locations and second floor slab that are scheduled to receive resilient flooring.
    - b. Compressive Strength: To ASTM C109, 4300psi at 28 days, 2000 psi at 1 day.
    - c. Flexural Strength: To ASTM C348, 1000psi at 28 days.
    - d. Tensile Strength: To ASTM C1583, 350 psi after 3 days.
    - e. Initial Set: ASTM C191, approximately 70 minutes.
    - f. Final Set: ASTM C191, approximately 80 minutes.
    - g. Foot-traffic Ready: 3 hours minimum.
    - h. Fire Burning Characteristics to ASTM E84:
      - 1) Flame spread: 0.
      - 2) Smoke development: 0.
    - i. VOC: 0 g/l to SCAQMD Rule 1113.

SECTION 09 72 00 – WALL COVERINGS

Page 09 72 00 - 2, Article 2.01, Paragraph B

DELETE Paragraph B and REPLACE with the following:

- B. Wall Covering - Type VWC-1: Fabric-backed vinyl roll stock.
1. Conform to ASTM F793/F793M, Category V, Type II.
  2. Total Weight: 35 oz/sq yd.
  3. Pattern: As indicated on drawings.
  4. Pattern Match: Random
  5. Manufacturers:
    - a. Basis of Design: Wolf-Gordon; Bonaire: [www.wolfgordon.com](http://www.wolfgordon.com)
    - b. Koroseal/RJF International: [www.koroseal.com](http://www.koroseal.com).
    - c. MDC Wallcoverings: [www.mdcwall.com](http://www.mdcwall.com).
    - d. Substitutions: See Section 01 60 00 - Product Requirements.
- C. Wall Covering - Type VWC-2, VWC-3: Fabric-backed vinyl roll stock.
1. Conform to ASTM F793/F793M, Category V, Type II.
  2. Total Weight: 13.3 oz/sq yd.
  3. Pattern: As indicated on drawings.
  4. Pattern Match: Random
  5. Manufacturers:
    - a. Basis of Design: Lanark Wallcovering; Axiom: [www.lanark.com](http://www.lanark.com)
    - b. Koroseal/RJF International: [www.koroseal.com](http://www.koroseal.com).
    - c. MDC Wallcoverings: [www.mdcwall.com](http://www.mdcwall.com).
    - d. Wolf-Gordon: [www.wolfgordon.com](http://www.wolfgordon.com).
    - e. Substitutions: See Section 01 60 00 - Product Requirements.

SECTION 10 26 00 – WALL AND DOOR PROTECTION

Page 10 26 00 - 2, Article 2.01, Paragraph A, Subparagraph 2

ADD the following Product to Manufacturer:

SSM-20N

SECTION 10 26 00 – WALL AND DOOR PROTECTION

Page 10 26 00 - 2, Article 2.01, Paragraph A, Subparagraph 3

ADD the following Product to Manufacturer:

160

SECTION 10 26 00 – WALL AND DOOR PROTECTION

Page 10 26 00 - 2, Article 2.01, Paragraph B, Subparagraph 1

ADD the following Product to Manufacturer:

Acrovyn

SECTION 10 26 00 – WALL AND DOOR PROTECTION

Page 10 26 00 - 2, Article 2.01, Paragraph B, Subparagraph 2

ADD the following Product to Manufacturer:

Palladium

SECTION 10 26 00 – WALL AND DOOR PROTECTION

Page 10 26 00 - 3, Article 2.02, Paragraph B, Subparagraph 3

ADD the following to Color description:

...To be selected from manufacturers standard range.

SECTION 12 34 00 – LAMINATE CLAD CASEWORK

Page 12 34 00-3, Article 2.01, Paragraph A, Subparagraph 2 & 3

DELETE subparagraph 2 & 3 from list of manufacturers.

SECTION 12 34 00 – LAMINATE CLAD CASEWORK

Page 12 34 00-3, Article 2.01, Paragraph B

ADD Subparagraph 2 to list of approved manufacturers:

2. Subject to compliance with the specifications, the following manufacturers are approved:
  - a. Stevens Industries, Inc.

SECTION 12 36 00 – COUNTERTOPS, BACKSPLASHES AND WINDOW STOOLS

Page 12 36 00 - 3, Article 2.01, Paragraph B, Subparagraph 2.d.

DELETE Subparagraph 2.d. and REPLACE with the following:

- d. Color and Pattern: To be selected from Corian equivalent level D options.

SECTION 14 21 00 – ELECTRIC TRACTION ELEVATORS

DELETE Section 14 21 00 in its entirety and REPLACE with Section 14 24 00 – HYDRAULIC ELEVATORS attached to this Addendum.

ELECTRICAL

SECTION 27 00 00 - COMMUNICATIONS

- a. Page 27 00 00-2
  - 1) Paragraph 1.3.A: ADD  
“9. CAT 6 voice cable (Grey)”
  - 2) Paragraph 2.1.A: ADD  
“2. Voice Jack            Cat 6 grade cable            red tab – Voice”

SECTION 32 14 13 – PRECAST CONCRETE UNIT PAVING

ADD Section 32 14 13 attached to this addendum to Volume 2 project manual.

**CHANGES TO DRAWINGS:**

DRAWING G-001

DELETE Drawing G-001 and REPLACE with Drawing G-001, dated 12/13/2018, attached to this Addendum.

ADD the following sheets to the Drawing List:

A-412 - INTERIOR ELEVATIONS - LEARNING COMMONS

A-515 - RECEPTION DESK DETAILS

DRAWING G-111

DELETE Drawing G-111 and REPLACE with Drawing G-111, dated 12/13/2018, attached to this Addendum.

DRAWING A-101.1

DELETE Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62 and REPLACE with Demolition Keynotes attached to this Addendum.

DEMOLITION KEYNOTES

- D23. REMOVE EXISTING STAIR, LANDING, AND CONC STAIR BELOW, COORD. W/ CIVIL DRAWINGS (COMPLETED IN BPA, NIC)
- D24. REMOVE EXISTING ELECTRICAL EQUIPMENT AND CONC PADS (COORD. WITH ELECTRICAL) (COMPLETED IN BPA, NIC)
- D30. REMOVE BOLLARDS (COMPLETED IN BPA, NIC)
- D33. NOT USED
- D38. NOT USED
- D41. NOT USED
- D50. NOT USED
- D62. DEMO PAVING & RAISED BED / RETAINING WALL

DRAWING A-101.2

DELETE Drawing A-101.2 and REPLACE with Drawing A-101.2, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Updated Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62.
- b. ADD Keynote D34 to gymnasium backboards, Typ. of 2.
- c. ADD Keynote D36 to east wall of gymnasium.
- d. REMOVE Keynote D45 and REPLACE with D42 at existing stair outside gymnasium.

DRAWING A-101.3

DELETE Drawing A-101.3 and REPLACE with Drawing A-101.3, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Updated Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62.
- b. ADD dimensions and keynote D43 for new openings through Rooms C162 & C161.
- c. REMOVE Keynote D26 and REPLACE with D25 at column surround.
- d. REMOVE all references to Keynote D32 (Not Used).
- e. ADD Keynote D43 at south wall of Band Room C155.
- f. Graphically indicate existing sink and ADD Keynote D16 Teacher Resource Area C162.
- g. REMOVE Keynote D49 and REPLACE with Keynote D17 at existing stair east of Corridor B169.
- h. ADD Keynote D27 for removal of existing overhead gate at corridor east of auditorium.
- i. Demolish door and frame between C162 and C157
- j. Demolish door and frame between C162 and C159

DRAWING A-101.4

DELETE Drawing A-101.4 and REPLACE with Drawing A-101.4, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Updated Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62.
- b. Remove Demo Keynote D12 from Art Room C141.
- c. Remove Demo Keynote D39 from Existing Windows at north and south facades.
- d. Add Keynote D43 to south façade, Typ. of 5.
- e. Classroom C122: REMOVE Keynote D3 and REPLACE with Keynote D4.

DRAWING A-101.5

DELETE Drawing A-101.5 and REPLACE with Drawing A-101.5, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Updated Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62.
- b. Room E114: REMOVE Keynote D16 and REPLACE with Keynote D7 on south wall.
- c. REMOVE all instances of Keynote D56 and REPLACE with Keynote D1 at corridors.
- d. Room E104B: ADD Keynotes D3, D8, D15, D16.
- e. Remove all references to D32.
- f. ADD dimension and keynote D43 at Stair 1.1.
- g. ADD dimensions for elevator pit excavation.

DRAWING A-101.6

- a. DELETE Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62 and REPLACE with Demolition Keynotes attached to this Addendum.
- b. REMOVE all instances of Keynote D56 and REPLACE with Keynote D1 at corridors.

DRAWING A-102.1

DELETE Drawing A-102.1 and REPLACE with Drawing A-102.1, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Updated Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62.
- b. ADD dimensions for elevator floor penetration.
- c. ADD dimensions for ductwork floor penetrations.
- d. REMOVE Keynote D59 outside Stair 3.
- e. ADD Keynote D8 to Rooms D251a, D250a, D203a, D204a.
- f. ADD Keynote D3 to Stair 1.

DRAWING A-102.2

- a. DELETE Demolition Keynotes D23, D24, D30, D33, D38, D41, D50, D62 and REPLACE with Demolition Keynotes attached to this Addendum.

DRAWING A-111.3

DELETE Drawing A-111.3 and REPLACE with Drawing A-111.3, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Graphically showing new sinks to coordinate with plumbing drawings at rooms C101, C102.
- b. Add keynote 38 for wall protection behind service sinks in Rooms C101, C102.
- c. Keynote 38: Provide wall protection WPM-1 behind service sinks 4'-0"H AFF, extend 2'-0" to the left and right sides of sink.
- d. ADD door C103 A.
- e. ADD door C104.
- f. ADD Keynote 39.

DRAWING A-111.4

DELETE Drawing A-111.4 and REPLACE with Drawing A-111.4, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Add slab infill at Rooms D162, D163 for new mop sink drain connection, coordinate with plumbing drawings.
- b. Modify 2hr rated wall and Rooms D108, D109.
- c. Swing door D132B into kitchen.

DRAWING A-111.5

- a. DELETE Wall type tag 2B between rooms E134 and E118 and REPLACE with Wall type 1B.

DRAWING A-112.1

- a. DELETE Wall type tag 2B between rooms E221 and E220 and REPLACE with Wall type 1B.

DRAWING A-114

- a. REMOVE notes for '2'-0" x 4'-0" Pavers' and REPLACE with '6" x 1'-6" Pavers, 3 colors, 40%-30%-30%'.

DRAWING A-121.3

DELETE Drawing A-121.3 and REPLACE with Drawing A-121.3, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Add symbols for exit signs for coordination with electrical drawings.
- b. Add recessed cans at interior and exterior soffits with dimensions to coordinate with electrical drawings.
- c. C105: Coordinate lighting with electrical drawings.

DRAWING A-121.4

DELETE Drawing A-121.4 and REPLACE with Drawing A-121.4, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Revised RCP at Room D102, D108, D109.
- b. Room D120.1: Coordinate lighting with electrical drawings.
- c. Room D113: Coordinate lighting with electrical drawings.
- d. Room D101: Coordinate soffit lighting with electrical drawings.

DRAWING A-121.5

- a. Learning Lab E109: Coordinate lighting to be similar to electrical drawing E-111.4.

DRAWING A-122.1

- a. Jan E241: Show light fixture to coordinate with electrical drawing E-112.1.
- b. IDF E227: Show light fixture to coordinate with electrical drawing E-112.1.
- c. E234.1: Show light fixture to coordinate with electrical drawing E-112.1.

DRAWING A-402

DELETE Drawing A-402 and REPLACE with Drawing A-402, dated 12/13/2018, attached to this Addendum.

- a. Update Detail D5/A-402

DRAWING A-404

DELETE Drawing A-404 and REPLACE with Drawing A-404, dated 12/13/2018, attached to this Addendum.

Changes:

- a. Plan changes, dimensions, and annotation at A1/A-404.

DRAWING A-515

DELETE Drawing A-515 and REPLACE with Drawing A-515, dated 12/13/2018, attached to this Addendum.

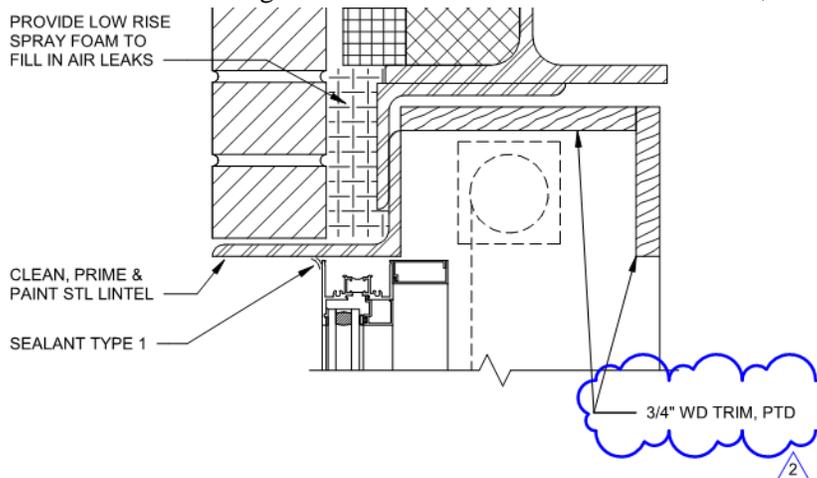
DRAWING A-601

- a. REMOVE Door C103 A(E) and ADD Door C103 A.
- b. REMOVE Door C104 (E) and ADD Door C104.
- c. C105 A: ADD 90 minute rating, Change hardware group to 3.
- d. C106 A: ADD 90 minute rating, Change hardware group to 3.
- e. C101 A: REMOVE 90 minute rating. Change to door type BB / WD material / ST finish. Change hardware group to 12A.
- f. Door Schedule Keynote 5: Change to 'NOT USED'

B112 (E)	5' - 8"	7' - 0"	BB	HM	PT	-	ETR	HM	PT	-	-	-	28	1, 2, 3, 4, 6
C101 A	5' - 0"	7' - 0"	BB	WD	ST	-	2	HM	PT	B1/A-602	A1/A-602	12A	8	
C101 B	5' - 0"	7' - 0"	BB	HM	PT	G1A	2	HM	PT	D1/A-602	C1/A-602	11	8	
C102 (E)	3' - 0"	7' - 0"	B	HM	PT	-	ETR	HM	PT	-	-	28	1, 2, 6	
C103 A	3' - 0"	7' - 0"	A	HM	ST	-	2	HM	PT	B1/A-602	A1/A-602	90 MIN.	7A	
C103 B	3' - 0"	7' - 0"	B	ETR	PT	-	2	HM	PT	D1/A-602	C1/A-602	10		
C104	3' - 0"	7' - 0"	A	WD	ST	-	2	HM	PT	B1/A-602	A1/A-602	90 MIN.	7A	
C105 A	3' - 0"	7' - 0"	A	WD	ST	-	2	HM	PT	B1/A-602	A1/A-602	90 MIN.	3	
C105 B	3' - 0"	7' - 0"	C	WD	ST	G3	2	HM	PT	B2/A-602	A2/A-602	2		
C106 A	3' - 0"	7' - 0"	A	WD	ST	-	2	HM	PT	B1/A-602	A1/A-602	90 MIN.	3	
C106 B	3' - 0"	7' - 0"	C	WD	ST	G3	2	HM	PT	B2/A-602	A2/A-602	2		

DRAWING A-611

- a. ADD the following note to detail C3/A-611: 3/4" WD TRIM, PTD.



C3 ALUM WINDOW - HEAD DETAIL - AREA D  
 3" = 1'-0"



## MECHANICAL

### Drawing M-101.2, FIRST FLOOR MECHANICAL PLAN DEMOLITION – AREA “B”

- a. REMOVE existing ceiling exhaust grilles in Girls B104, and Boys B102. Refer to attached drawing M-101.2.
- b. ADD ALTERNATE #6 note to existing grilles located in Gymnasium B127. Refer to attached drawing M-101.2.
- c. RELOCATE diffusers in Commons A130 with respect to new ceiling layout, typical (5) Commons areas. Refer to attached drawing M-101.2.

### Drawing M-101.3, FIRST FLOOR MECHANICAL PLAN DEMOLITION – AREA “C”

- a. MODIFY ducts to remain in Auditorium C168. Refer to attached drawing M-101.3.

### Drawing M-101.5, FIRST FLOOR MECHANICAL PLAN DEMOLITION – AREA “E”

- a. REMOVE existing ceiling exhaust grilles in Mens D141, and Womens D142. Refer to attached drawing M-101.5.
- b. ADD existing ductwork to be removed in Library D133, and Library Classroom D134. Refer to attached drawing M-101.5.
- c. CLARIFY heater in Stair 3.1, and Stair 4.1. Refer to attached drawing M-101.5.

### Drawing M-101.6, FIRST FLOOR MECHANICAL PLAN DEMOLITION – AREA “F”

- a. CLARIFY heater in Stair 2. Refer to attached drawing M-101.6.

### Drawing M-102.1, SECOND FLOOR MECHANICAL PLAN DEMOLITION – AREA “E”

- a. ADD existing ductwork to be removed in Classroom D230, Art Room D231, and Special Education D240. Refer to attached drawing M-102.1.

### Drawing M-103.2, ROOF MECHANICAL PLAN DEMOLITION – AREA “B”

- a. ADD Base Bid and Alternate #6 notes. Refer to attached drawing M-103.2.

### Drawing M-103.5, ROOF MECHANICAL PLAN DEMOLITION – AREA “E”

- a. REMOVE exhaust fan. Refer to attached drawing M-103.5.
- b. ADD two exhaust fans. Refer to attached drawing M-103.5.

### Drawing M-111.2, FIRST FLOOR MECHANICAL PLAN – AREA “B”

- a. ADJUST Alternate #6 return air duct for HV-1 and HV-2. Refer to attached drawing M-111.2.

Drawing M-111.3, FIRST FLOOR MECHANICAL PLAN – AREA “C”

- a. PROVIDE locations of thermostats. Refer to attached drawing M-111.3.
- b. CHANGE two CUH in Corridor C114 to ECH. Refer to attached drawing M-111.3.
- c. REMOVE object in Auditorium C118. Refer to attached drawing M-111.3.

Drawing M-111.5, FIRST FLOOR MECHANICAL PLAN – AREA “E”

- a. PROVIDE locations of thermostats. Refer to attached drawing M-111.5.
- b. SHOW existing heat in Stair 3.1. Refer to attached drawing M-111.5.
- c. REMOVE two EFR-D in Stair 4.1 and replaced with two CUH’s. Refer to attached drawing M-111.5.
- d. REMOVE AC-1 in Electrical E107. Refer to attached drawing M-111.5.

Drawing M-111.6, FIRST FLOOR MECHANICAL PLAN – AREA “F”

- a. PROVIDE locations of thermostats. Refer to attached drawing M-111.6.
- b. SHOW existing heat in Stair 2.1. Refer to attached drawing M-111.6.

Drawing M-112.1, SECOND FLOOR MECHANICAL PLAN – AREA “E”

- a. PROVIDE locations of thermostats. Refer to attached drawing M-112.1.

Drawing M-112.2, SECOND FLOOR MECHANICAL PLAN – AREA “F”

- a. PROVIDE locations of thermostats. Refer to attached drawing M-112.2.

Drawing M-113.1, MECHANICAL ROOF PLAN – AREA “A”

- a. CLARIFY duct connections from existing duct to new HRU-1. Refer to attached drawing M-113.1.

Drawing M-113.2, MECHANICAL ROOF PLAN – AREA “B”

- a. MOVE HV-1, and HV-2. Refer to attached drawing M-113.2.
- b. ADD Base Bid gravity relief. Refer to attached drawing M-113.2.
- c. PROVIDE location of existing exhaust fans. Refer to attached drawing M-113.2.

Drawing M-113.4, MECHANICAL ROOF PLAN – AREA “D”

- a. MOVE ACC-13, and ACC-14. Refer to attached drawing M-113.4.
- b. NOTE locations for volume dampers. Refer to attached drawing M-113.4.

Drawing M-113.5, MECHANICAL ROOF PLAN – AREA “E”

- a. ADD two existing exhaust fans. Refer to attached drawing M-113.5.
- b. NOTE locations for volume dampers. Refer to attached drawing M-113.5.

Drawing M-113.6, MECHANICAL ROOF PLAN – AREA “F”

- a. NOTE locations for volume dampers. Refer to attached drawing M-113.6.

Drawing MP-111.5, MECHANICAL PIPING PLAN – AREA “E”

- a. ADD HP-2.16 tag. Refer to attached drawing MP-111.5.

Drawing MP-111.6, MECHANICAL PIPING PLAN – AREA “F”

- a. ADD HP-3.1 tag. Refer to attached drawing MP-111.6.

Drawing M-602, SCHEDULES MECHANICAL

- a. ADD Alternate numbers to schedules. Refer to attached drawing M-602.
- b. UPDATE ATC notes in schedules. Refer to attached drawing M-602.

ELECTRICAL

Drawing E-102.1, SECOND FLOOR ELECTRICAL PLAN DEMOLITION AREA E

- a. ADD demo light fixtures to plan. Refer to attached drawing E-102.1.

Drawing E-111.1, FIRST FLOOR LIGHTING PLAN AREA "A & C:

- a. ADD display case lighting and switch. Refer to attached drawing E-111.1.
- b. ADD exit sign. Refer to attached drawing E-111.1.

Drawing E-111.2, FIRST FLOOR LIGHTING PLAN AREA B

- a. ADD display case lighting and switch. Refer to attached drawing E-111.2.

Drawing E-111.3, FIRST FLOOR LIGHTING PLAN AREA D

- a. REMOVE DMX control, switch and note. Refer to attached drawing E-111.3.

Drawing E-113.1, FIRST FLOOR POWER PLAN AREA A & C

- a. ADD tag for all data. Refer to attached drawing E-113.1.

Drawing E-113.2, FIRST FLOOR POWER PLAN AREA B

- a. ADD tag for all data. Refer to attached drawing E-113.2.

Drawing E-113.3, FIRST FLOOR POWER PLAN AREA D

- a. ADD tag for all data. Refer to attached drawing E-113.3.
- b. CHANGE data tag from E to D in cafeteria AV closet. Refer to attached drawing E-113.3.

Drawing E-113.4, FIRST FLOOR POWER PLAN AREA E

- a. ADD tag for all data. Refer to attached drawing E-113.4.

Drawing E-113.5, FIRST FLOOR POWER PLAN AREA F

- a. ADD tag for all data. Refer to attached drawing E-113.5.

Drawing E-114.1, SECOND FLOOR POWER PLAN AREA E

- a. ADD tag for all data. Refer to attached drawing E-114.1.

Drawing E-114.2, SECOND FLOOR POWER PLAN AREA F

- a. ADD tag for all data. Refer to attached drawing E-114.2.

Drawing E-151, SITE PLAN – ELECTRICAL

- a. REMOVE power for sign. Refer to attached drawing E-151.

Drawing E-501, DETAILS – ELECTRICAL

- a. REVISE single line distribution diagram. Refer to attached drawing E-501.

Drawing E-600, DETAILS – ELECTRICAL

- a. REVISE light fixture schedule for Type “J” and “J”(E). Refer to attached drawing E-600.
- b. ADD Type “GG” to light fixture schedule. Refer to attached drawing E-600.
- c. ADD communication outlet color chart. Refer to attached drawing E-600.

**END OF ADDENDUM #1**



# PRE-BID MEETING MINUTES

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Brandywine School District –  
Claymont ES Renovations Bid Pac B  
The Whiting-Turner Contracting Co.  
Newark, DE 19713

Project #1630  
Tel: (302) 292-0676  
Fax: (302) 292-0683

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## Dec 11, 2018 – Claymont ES School Cafeteria – 2:00PM

- I. Brandywine School District – Claymont Elementary School Renovations
  - a. Whiting-Turner held a mandatory pre-bid meeting at the Claymont ES Cafeteria at 2:00pm.
  - b. All attendees were asked to sign-in and provide contact information on the meeting sign-in sheets.
  - c. All contractors in attendance were notified that only contractors that have signed in on the mandatory sign in sheet would be eligible to submit a bid for the project
  - d. All contractors in attendance were given the opportunity to pick up a free CD containing all of the bid documents and specifications.
- II. Project Team Introductions
  - a. Brandywine School District - Owner
    - i. John Read
  - b. ABHA Architects - Architect
    - i. Carl Krienen, Sean Malloy
  - c. Whiting-Turner – Construction Manager-Adviser
    - i. Frank Lerro
    - ii. Dom Muzzi
    - iii. David Thorp
    - iv. Yohan Banfield
- III. Agenda
  - a. Whiting-Turner reviewed the general outline/agenda for the mandatory pre-bid meeting.
    - i. Items discussed:
      1. Project overview
      2. Bidding Information
      3. Schedule and Logistics
      4. Open Discussion/Questions
      5. Site Tours
- IV. Project Overview
  - a. Base bid work consists of:
    - i. Complete Interior Renovation of Classroom wings, Administration areas, Cafeteria & Kitchen
    - ii. Main Entrance Addition
    - iii. Cafeteria Courtyard Improvements
    - iv. Roof Replacement
    - v. Window Replacement
    - vi. HVAC Modifications

- b. Alternates
  - i. Refer to bid form

V. Bidding Information

- a. Whiting-Turner stated that a detailed scope of work is included in specifications for each trade.

02A-Demolition	08A-Glass	12B-Casework
03A-Concrete	09A-Drywall	14A-Elevators
04A-Masonry	09B-Flooring	21A-Fire Suppression
05A-Steel	09C-Acoustical Ceiling	22A-Plumbing
06A-Carpentry	09D-Painting	23A-HVAC
07A-Roofing	10A-Specialties	26A-Electrical
07B-Exterior Panels	11A-Kitchen Equip	31A-Sitework
07C-Spray Foam	12A-Casework	

- b. Whiting-Turner is the Construction Manager-Adviser; Brandywine School district will hold contracts with each contractor.
  - i. Whiting-Turner explained that the contract will be a standard AIA contract and must be signed unchanged. A sample/draft copy of the AIA standard copy is included in the front end specifications.
- c. WT stated that 100% P&P bonds will be required for each bid package.
- d. WT stated that 2018 Prevailing Wage Rates for Building Construction will apply. Certified rates are included in the project manual.
- e. Whiting-Turner explained the bid form and bid process.
  - i. The project bid form is included in Section 004000 of the Front End Specifications.
    - 1. WT stated that all bids must be submitted on the project specific bid form included in the front end.
  - ii. WT stated that no qualifications or exclusions are permitted.
    - 1. WT informed contractors if bids included qualifications or exclusions that the bid would be considered non-responsive.
  - iii. WT noted that the project has multiple alternates.
    - 1. WT stated that not all alternates will impact every trade contractor.
    - 2. If an alternate results in no pricing impact for your package, write N/A in the blank. If N/A is listed on the printed bid form and the contractors have a cost associated, the contractor should cross out the "N/A" and fill in cost.
  - iv. WT stated that TWO original bids must be submitted in a sealed envelope.
  - v. WT informed attendees that a 10% Bid Security is required for each package.
    - 1. WT stated that the bid bond form is included in the front end specifications. Bid bond form in the specifications MUST be used.

2. The bid bond is a state requirement and (1) original must be submitted with the bid.

**vi. KEY BIDDING DATES:**

1. Last Day for Substitution Requests
  - a. December 27, 2018
2. Last Day for Questions
  - a. January 4, 2019
3. Last Addendum
  - a. Jan 8, 2019
- 4. BIDS DUE: THURSDAY, Jan 10, 2019 – 2:00 PM at CLAYMONT ES SCHOOL CAFETERIA**
  - a. WT stated that this is a public bid opening.

**VI. Schedule and Logistics**

- a. Whiting-Turner stated that the project schedule is from February 2019 – December 2020.
  - i. WT noted that a detailed construction schedule will be issued in Addendum #1
  - ii. Project has Multiple Phases, multiple mobilizations for each trade
  - iii. WT stated that contractors are expected to bid per the schedule and durations.

**VII. Drawings and Specifications**

- a. WT provided bid drawings and specifications.
  - i. CD provided at the pre-bid meeting including all bid drawings and specifications.
  - ii. Drawings are also available - <https://whiting-turner.box.com/v/ClaymontPacB>
- b. WT noted that printed drawings and specifications can be purchased through RCI at 302-328-5019.
- c. WT noted that bid addenda will be posted via WT's FTP site and notifications will be sent via email.
  - i. WT stated that the addenda files will be sent via email if the file size is not too large.
  - ii. WT stated that only those with FTP site access will be notified of addenda. It is each trade contractor's responsibility to get information out to their 2<sup>nd</sup> tier subs and suppliers.
- d. Send all bid related questions and substitution requests to Dom Muzzi and Dave Thorp
  - i. [Dom.muzzi@whiting-turner.com](mailto:Dom.muzzi@whiting-turner.com) and [David.thorp@whiting-turner.com](mailto:David.thorp@whiting-turner.com)
  - ii. WT stated that responses to questions will be included in the bid addenda.

**VIII. Closing**

- a. Subcontractor listings will be required for certain trades as noted on the bid forms.
  - i. Include subcontractor/2<sup>nd</sup> tier qualifications as required.
  - ii. Fire Alarm was requested to be added to the Bid form.
- b. Additional Site Walk-Thru's are scheduled for:
  - i. Dec 12 thru Dec 13, 3:30 – 4:30pm
  - ii. Dec 18 thru Dec 20, 3:30 – 4:30pm
  - iii. Electrical Specific - Dec 18, 3:30 – 4:30pm
  - iv. Plumbing Specific - Dec 19, 3:30 – 4:30pm
  - v. Mechanical Specific - Dec 20, 3:30 – 4:30pm
  - vi. Jan 2 thru Jan 4, 3:30 – 4:30pm

**\*\*Attendees to meet at main lobby\*\***

- c. Open Discussion/Questions
  - i. Question that were asked are in Bid Questions log attached to Addendum #1
  - ii. Contractors will need to sign in as a visitor to the school in order to gain admission to the bid opening. The sign in process will not delay the acceptance of bids. Bids can be submitted in the lobby to BSD/WT representatives until 2:00PM.

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	
<b>BIDDING</b>						
1070	Pre-Bid Meeting	1d	1d	11DEC18 *	11DEC18	
1130	Bid Award	1d	1d	11DEC18	11DEC18	
1120	Bid Opening	1d	1d	10JAN19 *	10JAN19	
<b>PHASE 1- Winter/Spring 2019- Art, Music, Kitchen</b>						
1000	MEP Demo	15d	15d	04FEB19 *	22FEB19	
1050	Interior Demolition	20d	20d	04FEB19	01MAR19	
1060	Underslab Rough in	15d	15d	18FEB19	08MAR19	
1090	Framing/CMU Walls	25d	25d	04MAR19	05APR19	
1100	MEP Wall Rough In	15d	15d	08APR19	26APR19	
1140	MEP Above Ceiling Rough in	20d	20d	08APR19	03MAY19	
1230	Kitchen underground Rough in / Slab	25d	25d	08APR19	10MAY19	
1250	Exterior Doors and Windows	30d	30d	15APR19	24MAY19	
1110	Drywall	20d	20d	22APR19	17MAY19	
1200	Rooftop equipment/temp roofing	10d	10d	06MAY19	17MAY19	
1240	Kitchen Build-out	45d	45d	13MAY19	15JUL19	
1150	Finishes	30d	30d	20MAY19	28JUN19	
1160	Ceilings	15d	15d	27MAY19	14JUN19	
1180	MEP Fixtures and Devices	15d	15d	27MAY19	14JUN19	
1190	Roof Abatement/Replacement	25d	25d	17JUN19 *	22JUL19	
1540	Punch	10d	10d	17JUN19	28JUN19	
1210	Inspections/Commissioning	25d	25d	16JUL19	19AUG19	
1220	CofO	1d	1d	20AUG19	20AUG19	
<b>PHASE 2 - Summer 2019 - Office, Cafeteria</b>						
1080	Interior Demolition	15d	15d	17JUN19 *	08JUL19 *	
1270	MEP Demo	10d	10d	17JUN19 *	28JUN19 *	
1280	Underslab Rough in	10d	10d	24JUN19	08JUL19	
1290	Framing/CMU Walls	10d	10d	01JUL19	15JUL19	
1420	Elevator Shaft	25d	25d	01JUL19	05AUG19	
1480	Roof Reinforcement - Steel	5d	5d	01JUL19	08JUL19	
1300	MEP Wall Rough In	10d	10d	09JUL19	22JUL19	
1320	MEP Above Ceiling Rough in	15d	15d	09JUL19	29JUL19	
1380	Roof Top Equipment	10d	10d	16JUL19	29JUL19	
2480	Spray Foam	3d	3d	16JUL19	18JUL19	
1310	Drywall	15d	15d	19JUL19	08AUG19	
1360	Ceilings	10d	10d	30JUL19	12AUG19	
1370	Finishes	20d	20d	02AUG19	29AUG19	
1470	MEP Fixtures and Devices	10d	10d	09AUG19	22AUG19	
1550	Punch	10d	10d	23AUG19	05SEP19	
1390	Commissioning	5d	5d	30AUG19	05SEP19	
1400	Inspections/CofO	1d	1d	30AUG19	30AUG19	
<b>PHASE 2 - Summer 2019 - Front/Cafe Exterior/Site</b>						
1430	Exterior Front Entrance Demolition	10d	10d	17JUN19 *	28JUN19	
1350	Roof Abatement/Replacement	15d	15d	24JUN19	15JUL19	
1530	Piers/Footer	5d	5d	01JUL19	08JUL19	
1490	Retaining/Foundation Walls	15d	15d	09JUL19	29JUL19	
1410	Exterior Doors Storefront and Windows	20d	20d	23JUL19	19AUG19	
1450	Front Entrance Site Work/ Flatwork	10d	10d	30JUL19	12AUG19	
1440	Exterior Front Entrance Structure	5d	5d	06AUG19	12AUG19	
1330	HPL Panels	20d	20d	13AUG19	09SEP19	
1460	Front Site Furnishings	5d	5d	13AUG19	19AUG19	
1340	Milling and Paving	5d	5d	20AUG19	26AUG19	
1560	Punch	5d	5d	20AUG19	26AUG19	

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**Whiting-Turner  
Claymont ES - Bid Pac B**

-  Early bar
-  Progress bar
-  Summary bar
-  Start milestone point
-  Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	
1520	Inspections	5d	5d	22AUG19	28AUG19	
1510	CofO	1d	1d	29AUG19	29AUG19	
<b>PHASE 3 - Summer 2019 - Area F - 2nd &amp; 3rd Grade</b>						
1600	MEP Demolition	15d	15d	09JUL19 *	29JUL19	
1610	Interior Demolition	15d	15d	09JUL19 *	29JUL19	
1740	Roof Replacement	25d	25d	16JUL19 *	19AUG19	
2490	Underslab Rough-In	3d	3d	25JUL19	29JUL19	
1630	Framing	25d	25d	30JUL19	02SEP19	
1690	Rooftop Equipment/Temp Roofing	10d	10d	30JUL19	12AUG19	
2130	Stair 2 Work	10d	10d	30JUL19	12AUG19	
1640	MEP Wall Rough In	20d	20d	23AUG19	19SEP19	
1650	MEP Above Ceiling Rough in	20d	20d	03SEP19	30SEP19	
1670	Exterior Doors and Windows	30d	30d	10SEP19	21OCT19	
2470	Spray Foam	15d	15d	20SEP19	10OCT19	
1680	Drywall	25d	25d	02OCT19	05NOV19	
1710	Finishes	30d	30d	23OCT19	03DEC19	
1730	MEP Fixtures and Devices	15d	15d	01NOV19	21NOV19	
1720	Ceilings	20d	20d	13NOV19	10DEC19	
1750	Punch	10d	10d	11DEC19	24DEC19	
1760	Commissioning	10d	10d	11DEC19	24DEC19	
1770	CofO	1d	1d	26DEC19	26DEC19	
<b>PHASE 4- Winter Spring 2020- Area E East</b>						
2600	MEP Demolition	15d	15d	02JAN20 *	22JAN20	
2610	Interior Demolition	15d	15d	02JAN20 *	22JAN20	
2620	Roof Replacement	25d	25d	02JAN20 *	05FEB20	
2650	Rooftop equipment	10d	10d	16JAN20	29JAN20	
2630	Underslab Rough-In	3d	3d	20JAN20	22JAN20	
2640	Framing	25d	25d	23JAN20	26FEB20	
2660	Stair 2 Work	10d	10d	23JAN20	05FEB20	
2670	MEP Wall Rough In	20d	20d	06FEB20	04MAR20	
2680	MEP Above Ceiling Rough in	20d	20d	27FEB20	25MAR20	
2690	Exterior Doors and Windows	30d	30d	05MAR20	15APR20	
2700	Spray Foam	15d	15d	05MAR20	25MAR20	
2710	Drywall	25d	25d	17MAR20	20APR20	
2720	Finishes	30d	30d	07APR20	18MAY20	
2730	MEP Fixtures and Devices	15d	15d	16APR20	06MAY20	
2740	Ceilings	20d	20d	28APR20	25MAY20	
2750	Punch	10d	10d	26MAY20	08JUN20	
2760	Commissioning	10d	10d	26MAY20	08JUN20	
2770	CofO	1d	1d	09JUN20	09JUN20	
<b>PHASE 5 - Summer 2020 - Area E Commons</b>						
2140	Install Elevator	35d	35d	17JUN20 *	04AUG20 *	
2780	Roof Replacement	15d	15d	17JUN20 *	07JUL20	
2790	MEP Demolition	5d	5d	17JUN20 *	23JUN20	
2800	Interior Demolition	10d	10d	17JUN20 *	30JUN20	
2870	Roof Top Equipment/Temp. Roofing	10d	10d	24JUN20	07JUL20	
2810	Framing	5d	5d	01JUL20	07JUL20	
2840	MEP Wall Rough In	3d	3d	08JUL20	10JUL20	
2850	MEP Above Ceiling Rough in	10d	10d	08JUL20	21JUL20	
2860	Drywall	7d	7d	15JUL20	23JUL20	
2880	Ceilings	10d	10d	22JUL20	04AUG20	
2890	Finishes	18d	18d	29JUL20	21AUG20	
2900	MEP Fixtures and Devices	10d	10d	05AUG20	18AUG20	

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**Whiting-Turner  
Claymont ES - Bid Pac B**

-  Early bar
-  Progress bar
-  Summary bar
-  Start milestone point
-  Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	
2910	Punch	5d	5d	24AUG20	28AUG20	
2920	Commissioning	5d	5d	24AUG20	28AUG20	
2930	Inspections/CofO	1d	1d	24AUG20	24AUG20	
<b>PHASE 5 - Summer 2020 - Auditorium &amp; Lobby</b>						
2940	Roof Abatement/Replacement	15d	15d	17JUN20 *	07JUL20	
2950	MEP Demolition	5d	5d	17JUN20 *	23JUN20	
2960	Interior Demolition	10d	10d	17JUN20 *	30JUN20	
2970	Roof Top Equipment/Temp. Roofing	10d	10d	24JUN20	07JUL20	
2300	Concrete	15d	15d	01JUL20	21JUL20	
2980	CMU Walls	5d	5d	01JUL20	07JUL20	
2150	Stairs/Ramp/Railings	5d	5d	22JUL20	28JUL20	
3000	MEP Above Ceiling Rough in	10d	10d	29JUL20	11AUG20	
3030	Finishes	15d	15d	05AUG20	25AUG20	
3040	MEP Fixtures and Devices	5d	5d	07AUG20	13AUG20	
3020	Ceilings	10d	10d	12AUG20	25AUG20	
3050	Punch	5d	5d	26AUG20	01SEP20	
3060	Commissioning	5d	5d	26AUG20	01SEP20	
3070	Inspections/CofO	1d	1d	26AUG20	26AUG20	
<b>PHASE 6 - Summer/Fall 2020 - Area E North</b>						
4220	Stair 4 Curtainwall	5d	5d	11DEC18	17DEC18	
4000	Roof Replacement	25d	25d	17JUN20 *	21JUL20	
4160	Exterior Demo at Stair 4	10d	10d	17JUN20 *	30JUN20	
1970	Interior Demolition	20d	20d	24JUN20	21JUL20	
1960	MEP Demolition	15d	15d	01JUL20	21JUL20	
4010	Rooftop equipment	10d	10d	01JUL20	14JUL20	
4170	Stair 4 Footers and Piers	3d	3d	01JUL20	03JUL20	
1980	Underslab Rough in	15d	15d	08JUL20	28JUL20	
4180	Stair 4 Steel	3d	3d	13JUL20	15JUL20	
4190	Stair 4 Foundation / Masonry	10d	10d	16JUL20	29JUL20	
4030	Framing	25d	25d	29JUL20	01SEP20	
4200	Stair 4 Concrete	2d	2d	30JUL20	31JUL20	
4210	Stair 4 Stairs and Railings	7d	7d	03AUG20	11AUG20	
4050	MEP Wall Rough In	20d	20d	12AUG20	08SEP20	
4060	MEP Above Ceiling Rough in	20d	20d	02SEP20	29SEP20	
4080	Spray Foam	15d	15d	09SEP20	29SEP20	
4090	Drywall	25d	25d	21SEP20	23OCT20	
4100	Finishes	30d	30d	12OCT20	20NOV20	
4110	MEP Fixtures and Devices	15d	15d	21OCT20	10NOV20	
4120	Ceilings	20d	20d	02NOV20	27NOV20	
4130	Punch	10d	10d	30NOV20	11DEC20	
4140	Commissioning	10d	10d	30NOV20	11DEC20	
4150	CofO	1d	1d	14DEC20	14DEC20	



Start date	11DEC18
Finish date	14DEC20
Data date	11DEC18
Run date	14DEC18
Page number	3A
© Primavera Systems, Inc.	

**Whiting-Turner  
Claymont ES - Bid Pac B**

- Early bar
- Progress bar
- Summary bar
- Start milestone point
- Finish milestone point

1

2

3

4

5

6

E

D

C

B

A

E

D

C

B

A



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 Wilmington, DE 19806  
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 (F) 302 . 658 . 8431  
 abhagen@ABHA.com  
 www.ABHA.com

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Baker Ingram Associates  
 Structural Engineers  
 568 E. Main Street  
 Newark, DE 19711

Furlow Associates  
 Mechanical/Electrical Engineers  
 1206 Society Drive  
 Claymont, DE 19703

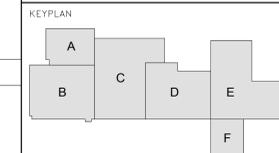
Corsi Associates  
 Food Service Consultants  
 1488 Baltimore Pike  
 Springfield, PA 19064

ReVision  
 LEED Consultants  
 133 Grape Street  
 Philadelphia, PA 19127

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PROJECT  
 CLAYMONT ELEMENTARY  
 SCHOOL RENOVATION  
 3401 GREEN STREET  
 CLAYMONT, DE 19703

OWNER  
 BRANDYWINE SCHOOL  
 DISTRICT  
 1311 BRANDYWINE BOULEVARD  
 WILMINGTON, DE 19809



**GENERAL SHEET NOTES**

- A. PHASING DIAGRAMS ARE FOR REFERENCE ONLY, COORDINATE WITH CM.
- B. SITE WORK IS PART OF BPA (UON).
- C. AREA H (BASEMENT) IS PART OF BPA (UON).
- D. GAS LINE FOR NEW GENERATOR PART OF BPA PART 1 SCOPE OF WORK.
- E. BPA - PART 2 NOT IN CONTRACT

**LEGEND**

SITE WORK		BUILDING	
	BPA - PART 1		BPB - PHASE 1
	BPA - PART 2 (NOT IN CONTRACT)		BPB - PHASE 2
			BPB - PHASE 3
			BPB - PHASE 4
			BPB - PHASE 5
			BPB - PHASE 6

**SHEET KEYNOTES**

- 1. (NOT USED)

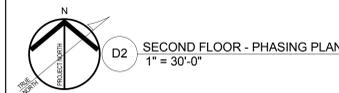
MARK	DATE	DESCRIPTION
2	5/14/2018	BPA - CONFORMANCE SET
1	4/5/2018	BPA - ISSUED FOR BID

PROJECT NUMBER: 1630  
 FILE NAME: 1630\_ClaymontES.rvt  
 DRAWN BY: SMM  
 CHECKED BY: CK

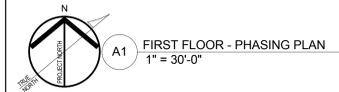
The professional services of ABHA Architects, Inc. are undertaken for and performed in the interest of Brandywine School District. No contractual obligation is assumed by ABHA Architects, Inc. for the benefit of any other person involved in the project.  
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SHEET TITLE  
**CONSTRUCTION PHASING  
 PLAN - BUILDING**

**G-122**



**Interior Phasing Plan**



1

2

3

4

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D

C

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A

E

D

C

B

A

**GENERAL SHEET NOTES**

- PHASING DIAGRAMS ARE FOR REFERENCE ONLY, COORDINATE WITH CM.
- SITE WORK IS PART OF BPA (UON).
- AREA H (BASEMENT) IS PART OF BPA (UON).
- GAS LINE FOR NEW GENERATOR PART OF BPA PART 1 SCOPE OF WORK.
- BPA - PART 2 NOT IN CONTRACT**

**LEGEND**

SITE WORK	BUILDING
BPA - PART 1	BPB - PHASE 1
BPA - PART 2 (NOT IN CONTRACT)	BPB - PHASE 2
	BPB - PHASE 3
	BPB - PHASE 4
	BPB - PHASE 5
	BPB - PHASE 6

**SHEET KEYNOTES**

- (NOT USED)



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133 Grape Street  
Philadelphia, PA 19127

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**PROJECT**  
CLAYMONT ELEMENTARY  
SCHOOL RENOVATION  
3401 GREEN STREET  
CLAYMONT, DE 19703

**OWNER**  
BRANDYWINE SCHOOL  
DISTRICT  
1311 BRANDYWINE BOULEVARD  
WILMINGTON, DE 19809



KEYPLAN

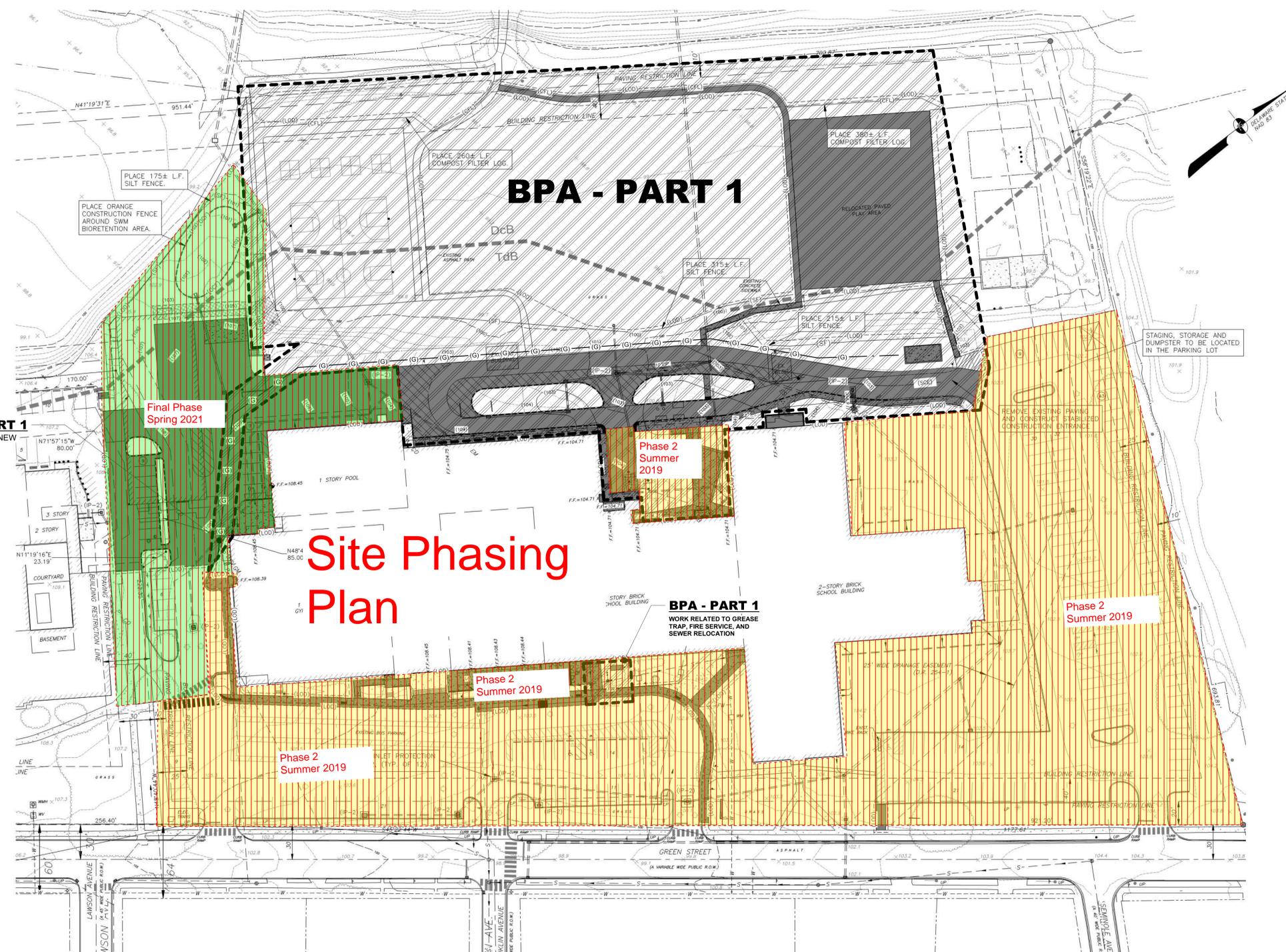
MARK	DATE	DESCRIPTION
3	5/14/2018	BPA - CONFORMANCE SET
2	4/20/2018	BPA - ADDENDUM 1
1	4/5/2018	BPA - ISSUED FOR BID

PROJECT NUMBER: 1630  
FILE NAME: 1630\_ClaymontES.rvt  
DRAWN BY: SMM  
CHECKED BY: CK

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SHEET TITLE  
CONSTRUCTION PHASING  
PLAN - SITE WORK

**G-121**



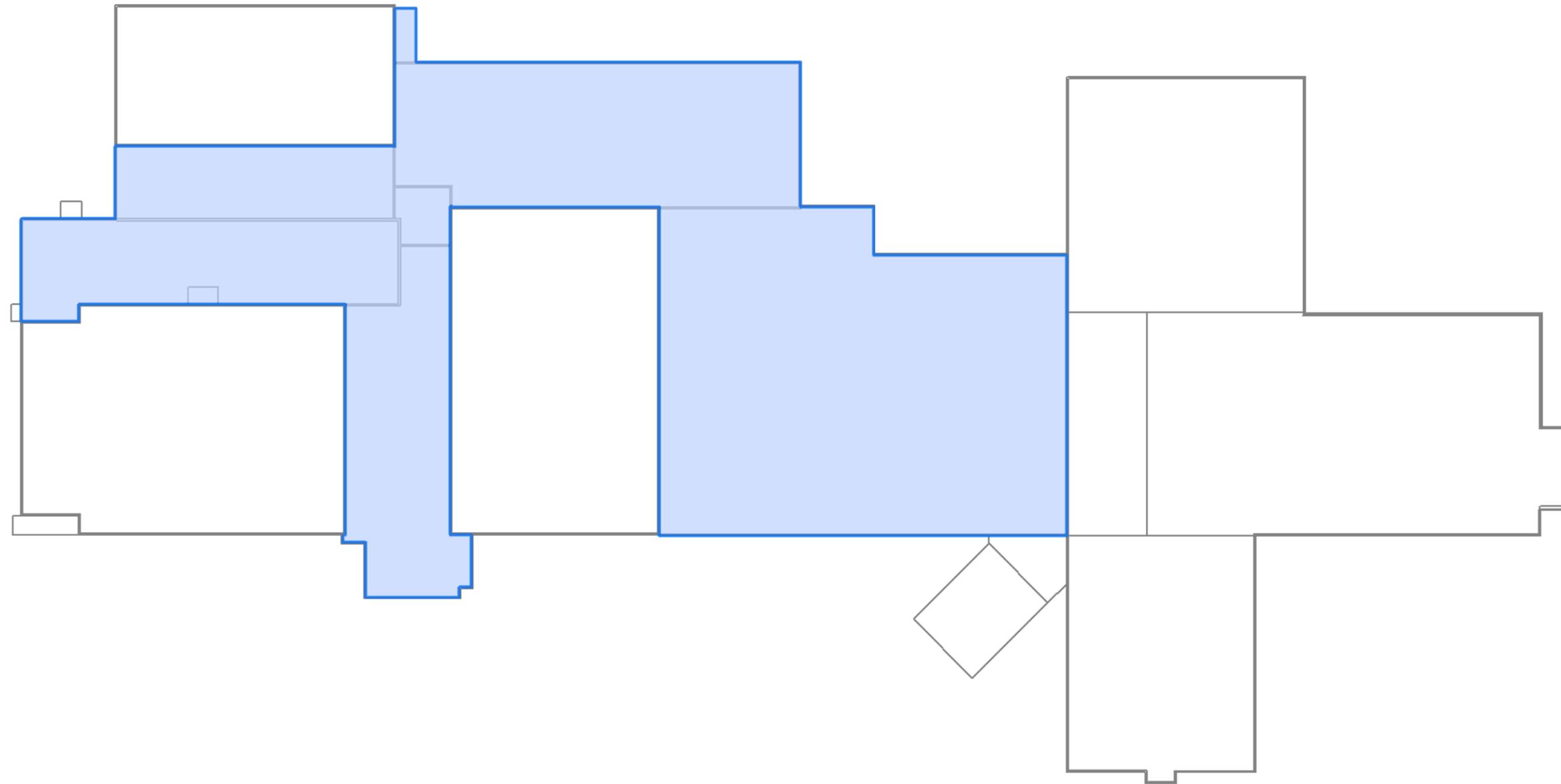
**Site Phasing  
Plan**

**BPA - PART 1**  
GAS LINE FOR NEW  
GENERATOR

**BPA - PART 1**  
WORK RELATED TO GREASE  
TRAP, FIRE SERVICE, AND  
SEWER RELOCATION

A1 SITE PLAN - CONSTRUCTION PHASING  
1" = 40'-0"

# Asbestos Location Survey



 HA144 - Asbestos-containing asphalt hot mix roofing (black), located as top layer, with stone, throughout Roof Type 2 - Estimated 46,190 sq ft (6% Chrysotile)

 Roof Plans

Note:  
Site plans originally created by ABHA Architects.



801 Industrial Street  
Wilmington, Delaware 19801  
302-656-9600  
302-656-9700 fax

Asbestos-Containing Material - Roof  
December 2018 Revision  
Claymont Elementary School  
Claymont, Delaware

	By	Date	Scale:	File Name:
Drawn	ADS	12/5/2018	1:600	Fig1Roof.mxd
Checked	SAS	12/5/2018	Fig. No.	
Project #	1435.14.74		Figure 1	

0 25 50  
Feet



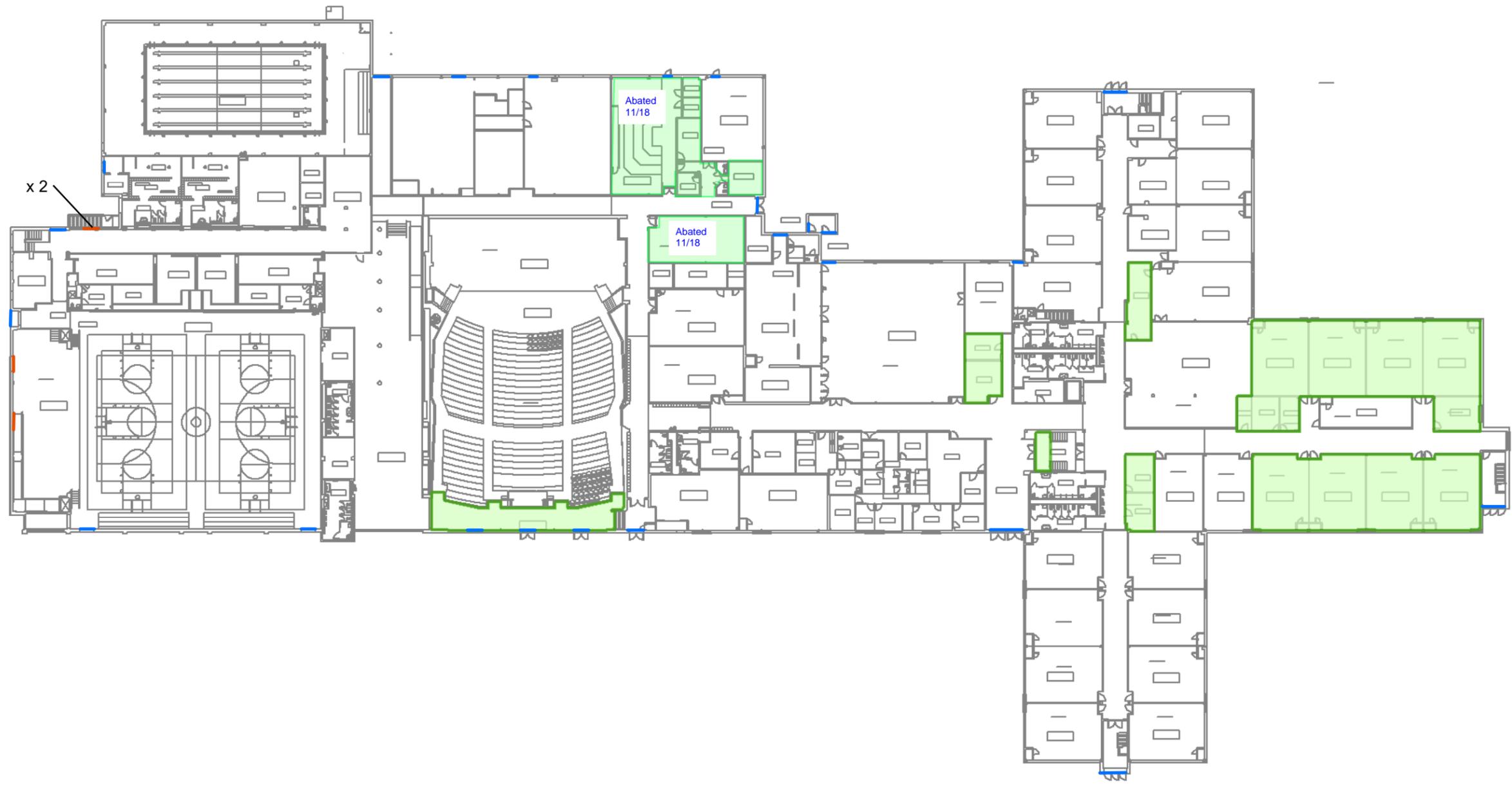
# Asbestos Location Survey



HA24 - Asbestos-containing 12"x12" floor tile (beige-tan streak), located in various corridors, classrooms, and offices - Estimated 11,100 Sq Ft (6% Chrysotile)

Note:  
Site plans originally created by ABHA Architects.

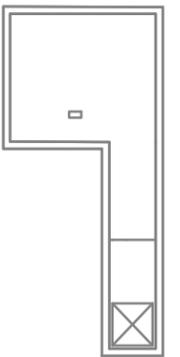
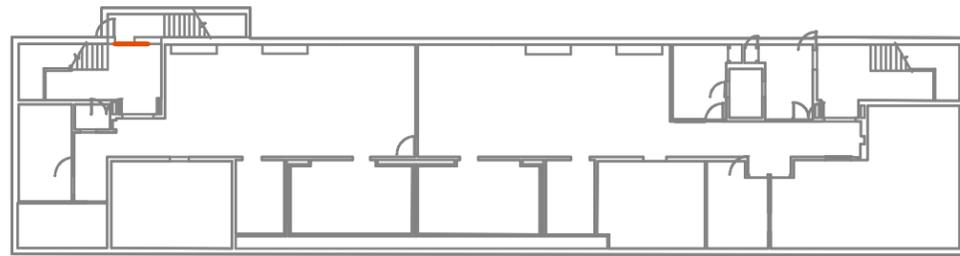
801 Industrial Street Wilmington, Delaware 19801	302-656-9600 302-656-9700 fax		
Asbestos-Containing Material - Second Floor December 2018 Revision Claymont Elementary School Claymont, Delaware			
By	Date	Scale:	File Name:
Drawn ADS	12/5/2018	1:360	Fig2SecondFl.mxd
Checked SAS	12/5/2018	Fig. No.	
Project #	1435.18.74	Figure 2	
0 15 30 Feet			



- HA131 - Asbestos-containing door buck caulk (exterior) (gray/beige), associated with stairwell and auxiliary entrance doors - Estimated 24 units (5% Chrysotile)
- HA134 - Asbestos-containing original window/vent caulk (gray), located at vent units as residual caulk - Estimated 4 vent units (6% Chrysotile)
- HA24 - Asbestos-containing 12"x12" floor tile (beige-tan streak), located in various corridors, classrooms, and offices - Estimated 9,066 Sq Ft (6% Chrysotile)
- First Floor Plans

Note:  
Site plans originally created by ABHA Architects.

			
801 Industrial Street Wilmington, Delaware 19801	302-656-9600 302-656-9700 fax		
<b>Asbestos-Containing Material - First Floor</b> December 2018 Revision Claymont Elementary School Claymont, Delaware			
By	Date	Scale:	File Name:
Drawn ADS	12/6/2018	1:600	Fig3FirstFl.mxd
Checked SAS	12/6/2018	Fig. No.	
Project #	1435.18.74	Figure 3	
<div style="display: flex; align-items: center; justify-content: center;"> <span style="margin-right: 5px;">0</span> <span style="margin-right: 20px;">25</span> <span>50</span> </div> Feet			



— HA131 - Asbestos-containing door buck caulk (exterior) (gray/beige), associated with stairwell and auxiliary entrance doors - Estimated 1 unit (5% Chrysotile)  
— Basement Plans

				
801 Industrial Street Wilmington, Delaware 19801			302-656-9600 302-656-9700 fax	
<b>Asbestos-Containing Material - Basement</b> December 2018 Revision Claymont Elementary School Claymont, Delaware				
	By	Date	Scale:	File Name:
Drawn	ADS	12/6/2018	1:360	Fig4Basement.mxd
Checked	SAS	12/6/2018	Fig. No.	
Project #	1435.18.74		Figure 4	
				

Note:  
Site plans originally created by ABHA Architects.



# SUBSTITUTION REQUEST

---

The Undersigned certifies:

- Proposed substitution has been fully investigated and determined to be equal or superior in all respects to specified product.
- Same warranty will be furnished for proposed substitution as for specified product.
- Same maintenance service and source of replacement parts, as applicable, is available.
- Proposed substitution will have no adverse effect on other trades and will not affect or delay progress schedule.
- Cost data as stated above is complete. Claims for additional costs related to accepted substitution which may subsequently become apparent are to be waived.
- Proposed substitution does not affect dimensions and functional clearances.
- Payment will be made for changes to building design, including A/E design, detailing, and construction costs caused by the substitution.
- Coordination, installation, and changes in the Work as necessary for accepted substitution will be complete in all respects.

Submitted by: \_\_\_\_\_

Signature: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_

Telephone: \_\_\_\_\_

Attachments:

# POLETTO

A. Poletto & Associates, Inc.  
829 Lincoln Ave., Unit 12 • West Chester, PA 19380  
610.524.5529 • Fax 610.431.4829

## Roof Survey

Sean Malloy  
ABHA Architects  
1621 Lincoln Street  
Wilmington, DE 19806

October 16, 2018

### Inspection Report: Claymont Elementary School / Claymont, DE

Date Inspected: 10/4/18  
Location: 3401 Green Street  
Claymont, DE 19703  
Present: Tony Poletto – A. Poletto & Associates, Inc.  
Client: Sean Malloy - ABHA Architects  
Weather: Clear 81°  
Reason for Inspection: Condition Assessment  
Roof Type: Multiple

---

#### Observations:

##### Roof Sections A, B, C, D & E:

General condition: field - good; flashing - fair

Smooth river slag covered built-up roof over 1/2" fiberboard over 2" polyisocyanurate insulation

##### A & B

Steel deck: good condition from underside observation

##### C, D & E

Gypsum deck good condition from underside observation

Estimated age - 10 years

#### Observations:

1. Field good with no noticeable blisters or soft spots in area inspected.
2. Minor repairs observed at perimeters only.
3. These roofs have minimum ponding.

#### Recommendation

1. Provide liquid applied restoration system to all wall and projection flashing. Any and all repairs or fitouts to conform to original manufacturer's specifications for in situ repair means and methods.

#### Summary

With some remedial repair, proper fitout equipment, flashing and ongoing maintenance, these roof sections could give 5-7 years of service life.

Roof Sections H & I:

Granulated surfaced SBS modified bitumen

General condition - H: fair to poor

Estimated age - 15 years

General condition - I: good

Estimated age - 8 years

Section H

1. Significant loss of surfacing granules.
2. Some slippage at perimeter flashing.
3. Minor wrinkling and buckling of field membrane.

Section I

1. Minimum loss of surfacing granules; minimum ponding in corner; solid underfoot.

**Recommendation for Both Sections:**

1. Install fully reinforced liquid applied roof restoration system.

**Summary**

With the installation of the roof restoration system and ongoing routine maintenance, these roof sections could give 15+ years of service life.

---

Roof Sections F & G:

Coal tar pitch slag coated built-up roof

Condition: poor to very poor

Surface pitch ooze

Exposed ply sheets

Minor blisters

Perimeter flashing failure

**Recommendation**

1. Replace as soon as possible.

---

Roof Sections J:

General condition: very good

Estimated age - 5-6 years

**Recommendation**

1. Inspect and make minor repairs as necessary.

**Summary**

With minor repairs and ongoing maintenance, this roof section could give 10-12 more years of service life.

Thank you for the opportunity to address your roofing needs. Should you have any questions, please call our office.

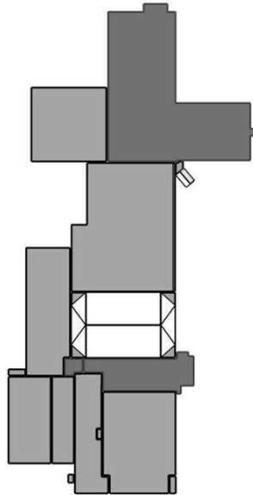
Submitted by:

-----

Anthony S. Poletto

President

A. Poletto and Associates, Inc.



In this 3D model, facets appear as semi-transparent to reveal overhangs.

## PREPARED FOR

Contact: Anthony Avagliano  
Company: A. Poletto & Associates,  
Inc.  
Address: 226 Baldwin Drive  
West Chester, PA 19380  
Phone: 610-524-5529

## TABLE OF CONTENTS

Images .....	1
Length Diagram .....	4
Pitch Diagram .....	5
Area Diagram .....	6
Notes Diagram .....	7
Penetrations Diagram .....	8
Report Summary .....	9

## MEASUREMENTS

Total Roof Area = 108,070 sq ft  
Total Roof Facets = 30  
Predominant Pitch = 0/12  
Number of Stories > 1  
Total Ridges/Hips = 417 ft  
Total Valleys = 102 ft  
Total Rakes = 33 ft  
Total Eaves = 147 ft  
Total Penetrations = 286  
Total Penetrations Perimeter = 4,287 ft  
Total Penetrations Area = 5,668 sq ft

Measurements provided by [www.eagleview.com](http://www.eagleview.com)



**Certified Accurate**

[www.eagleview.com/Guarantee.aspx](http://www.eagleview.com/Guarantee.aspx)

3401 Green St, Claymont, DE 19703-2065

Report: 25220615

## IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



# IMAGES

North Side



South Side



# IMAGES

East Side



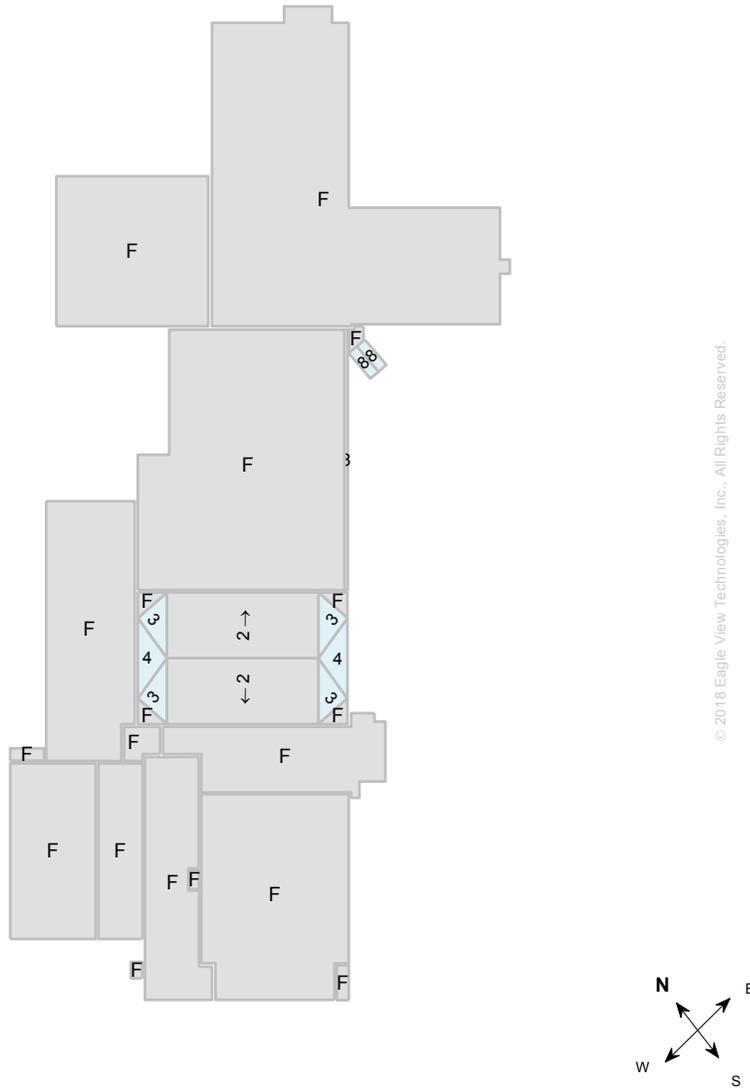
West Side





# PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 0/12



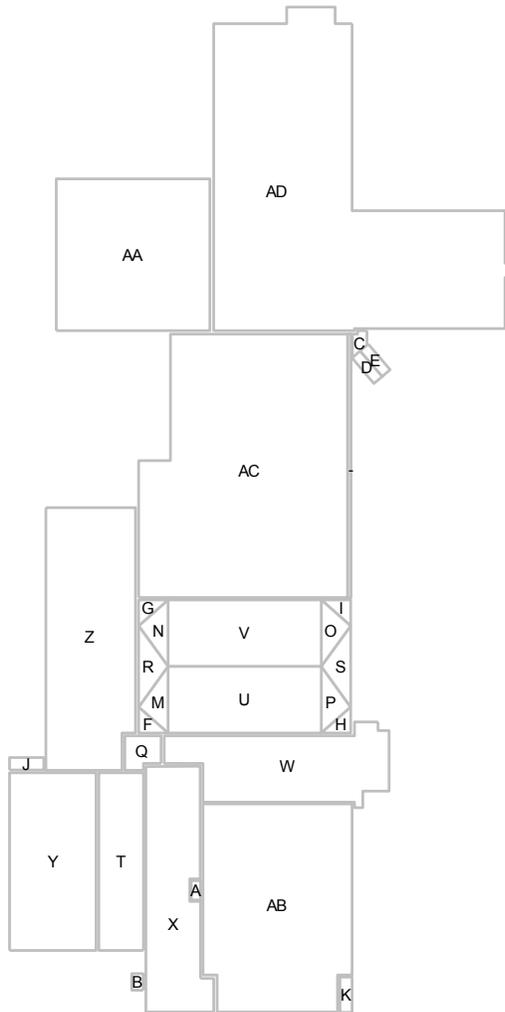
© 2018 Eagle View Technologies, Inc., All Rights Reserved.

Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater. Gray shading indicates flat, 1/12 or 2/12 pitches. If present, a value of "F" indicates a flat facet (no pitch).

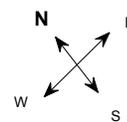


# NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



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# PENETRATIONS NOTES DIAGRAM

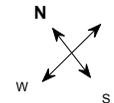
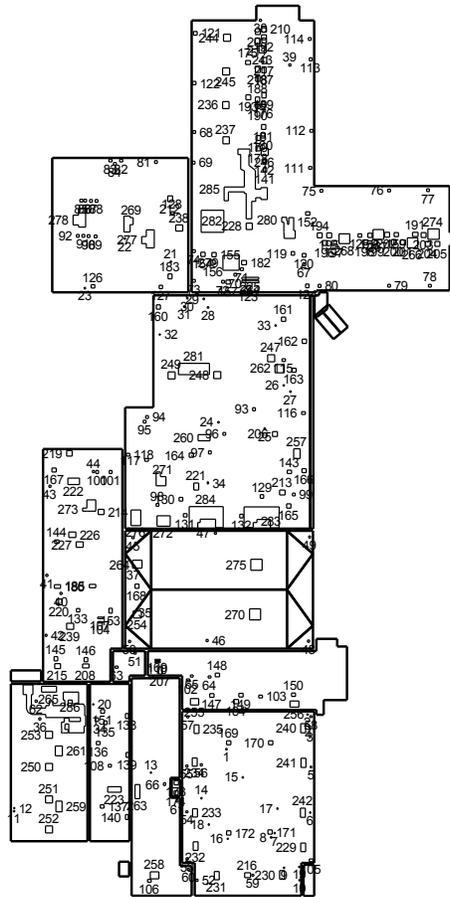
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 286

Total Penetrations Area = 5,668 sq ft

Total Penetrations Perimeter = 4,287 ft

Total Roof Area Less Penetrations = 102,402 sq ft



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## REPORT SUMMARY

### Areas per Pitch

Roof Pitches	0/12	2/12	3/12	4/12	8/12
Area (sq ft)	96537.6	8194.4	1583.6	994.6	760.0
% of Roof	89.3%	7.6%	1.5%	0.9%	0.7%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

### Waste Calculation Table

Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	108,070	118,877	121,038	124,281	126,442	129,684	131,845
Squares	1080.7	1188.8	1210.4	1242.8	1264.4	1296.8	1318.5

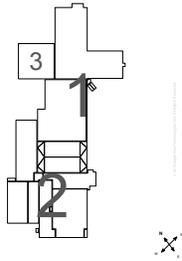
This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1-33	34	35	36-41	42-61	62	63-66	67-106	107-114	115
Area (sq ft)	1	1.5	1.4	2.2	2.3	1.6	3	4	5	4
Perimeter (ft)	4	5	5.8	6	6	6.1	7	8	9	10
	116-118	119-127	128-137	138-140	141-152	153	154-174	175-184	185-186	187
Area (sq ft)	4	6.2	6.3	7	7.5	8.7	9	10.5	11.3	12
Perimeter (ft)	10	10	10	11	11	12	12	13	14	14
	188-191	192-199	200-206	207	208	209-216	217-218	219-220	221	222
Area (sq ft)	12	12.2	12.3	12.5	13.5	14	15.8	16	17.5	20
Perimeter (ft)	14	14	14	15	15	15	16	16	17	18

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

\* Rakes are defined as roof edges that are sloped (not level).

\*\* Eaves are defined as roof edges that are not sloped and level.



Total Roof Facets = 30  
 Total Penetrations = 286

**Lengths, Areas and Pitches**

Ridges = 118 ft (2 Ridges)  
 Hips = 299 ft (8 Hips).  
 Valleys = 102 ft (4 Valleys)  
 Rakes\* = 33 ft (4 Rakes)  
 Eaves/Starter\*\* = 147 ft (11 Eaves)  
 Drip Edge (Eaves + Rakes) = 180 ft (15 Lengths)  
 Parapet Walls = 4,025 (80 Lengths).  
 Flashing = 709 ft (24 Lengths)  
 Step flashing = 5 ft (2 Lengths)  
 Total Area = 108,070 sq ft  
 Total Penetrations Area = 5,668 sq ft  
 Total Roof Area Less Penetrations = 102,402 sq ft  
 Total Penetrations Perimeter = 4,287 ft  
 Predominant Pitch = 0/12

**Property Location**

Longitude = -75.4636710  
 Latitude = 39.8038061

**Notes**

This was ordered as a commercial property. There were no changes to the structure in the past four years.

**Measurements by Structure**

Structure	Area (sq ft)	Ridges (ft)	Hips (ft)	Valleys (ft)	Rakes (ft)	Eaves (ft)	Flashing (ft)	Step Flashing (ft)	Parapets (ft)
1	56844	118	299	103	33	54	639	5	1217
2	41900	0	0	0	0	68	60	0	2424
3	9253	0	0	0	0	0	0	0	385
4	73	0	0	0	0	25	11	0	0

All values in this table are rounded up to the nearest Foot for each separate structure. Measurement totals displayed elsewhere in this report are added together before rounding which may cause totals to differ.

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

**Parapet Wall Area Table**

Wall Height (ft)	1	2	3	4	5	6	7
Vertical Wall Area	4025	8050	12075	16100	20125	24150	28175

This table provides common parapet wall heights to aid you in calculating the total vertical area of these walls. Note that these values assume a 90 degree angle at the base of the wall. Allow for extra materials to cover cant strips and tapered edges.

**Online Maps**

Online map of property

[http://maps.google.com/maps?f=q&source=s\\_q&hl=en&geocode=&q=3401+Green+St,Claymont,DE,19703-2065](http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=3401+Green+St,Claymont,DE,19703-2065)

Directions from A. Poletto & Associates, Inc. to this property

[http://maps.google.com/maps?f=d&source=s\\_d&saddr=226+Baldwin+Drive,West+Chester,PA,19380&daddr=3401+Green+St,Claymont,DE,19703-2065](http://maps.google.com/maps?f=d&source=s_d&saddr=226+Baldwin+Drive,West+Chester,PA,19380&daddr=3401+Green+St,Claymont,DE,19703-2065)

BSD - CLAYMONT ES RENOVATIONS - Bid Pac B  
BID QUESTION LOG



Question Number	Bid Package	Question	Date Issued	Response	Date of Response	Addendum Number
1	04A	The 2 hr wall that separates the WT temp office from the hallway that leads to the back entrance appears to be 8" cmu from the back entrance until it gets into data closet C102, then it transitions to 6" cmu. The 6" cmu then runs from C102 all the way to the front of the gym/Auditorium lobby. I'm not sure if 6" block makes the 2 hr rating so I wanted to point that out. The other issue is that the top 3 ft of the 8" wall described previously looks to be 4" cmu because the wall seems to step in about 2" on both sides.	12/13/2018	Existing 2hr wall extends to the east wall of WT temp office. Clarification provided in Addendum #1.	12/13/2018	1
3	General	The drawing list on the first drawing of volume 2 is missing G-001 and A-515.	12/13/2018	A revised drawing list is provided in Addendum #1.	12/13/2018	1
4	06A	Please clarify in who's package is wood veneer panels as depicted in detail D1/A-411. Is this a custom application or WV-1/WV-2 as listed on the finish schedule sheet I-002?	12/13/2018	Package 10A, item 26	12/13/2018	1
5	06A	In detail C3/A-611, is the hatched area at the head of the supposed to depict wood window trim? It is not identified as so.	12/13/2018	Hatched area is painted wood trim. Clarification provided in addendum #1.	12/13/2018	1
7	09B	I-002 - The description for the rubber stair treads (RST-1) needs to be changed. Currently listed as "precast Terrazzo Treads"	12/13/2018	Description to read "Typical at Stair 1,2,&3". Clarification provided in Addendum #1	12/13/2018	1
8	09D	I-001 - What is the North wall finish in E109 - schedule shows "PT-6"?	12/13/2018	Change north wall finish to P-1. Clarification provided in Addendum #1	12/13/2018	1
10	07A	Roofing spec. – 075300 – 3 2.03 A. 5. Calls for Grey EPDM this is not available, only white or black.	12/13/2018	Provide White EPDM. Clarification provided in Addendum #1	12/13/2018	1

BSD - CLAYMONT ES RENOVATIONS - Bid Pac B  
BID QUESTION LOG



Question Number	Bid Package	Question	Date Issued	Response	Date of Response	Addendum Number
16	12A	The casework scope 12A, calls for wood base at the locker enclosures. According to the details on A511, it notes to refer to the finish schedule which calls for RB2 or Terrazzo. Please confirm there is no wood base for	12/13/2018	"wood base" is referring to the locker base constructed of 2x wood and plywood. The applicable contractor will provide the specified wall base per the finish schedule.	12/13/2018	1
17	03A	Slab demo for the kitchen walk-in boxes is shown on A-101.4 but not shown on the plumbing or structural demo plans. Is slab demo and depression still needed at this location	12/13/2018	Yes, slab demo and depression are needed in this location. Provide slab demo as indicated on A-101.4.	12/13/2018	1
18	02A	Kitchen perimeter wall demo is not clearly defined, are both east and west wall to be completely demoed?	12/13/2018	East, West, and South walls of existing kitchen will be demoed in there entirety as indicated on drawing A-101.4.	12/13/2018	1
19	09A	Please provide wall types for chase walls on both sides of door D140 the 2hr fire rating passes through that location.	12/13/2018	D140 is an existing opening in an existing masonry wall. Existing masonry wall is to remain, and new rated doors will be set in existing opening. Contractor to verify existing conditions in field.	12/13/2018	1
20	12A	I-002 - Can you provide specifics in regards to the Rigid Sheet Vinyl panels required at casework sink locations other than providing a Manufacturer on the finish schedule? Constructions Specialties produces a variety of different types of wall panels with varying price ranges.	12/13/2018	Specifics provided in specification section 10 26 00 - Wall and Door Protection. Additional clarification provided in Addendum 1	12/13/2018	1
23	31A	Civil plans show items of work which have been completed in Bid Pac A. Please provide clarification on what is owned in this Bid Pac B.	Prebid Meeting 12/11	Drawing sheet notes and details define work that has been completed in the previous phase and work that is to be completed under Bid Pac B. Refer to these notes	12/13/2018	1
24	General	Some contractors are currently working from the Bid Pac A drawings. To what extent are these drawings to be used for bidding purposes for Bid Pac B.	Prebid Meeting 12/11	Bid Pac A drawings are not to be used for this bid. Refer only to the bid documents that have been issued for Bid Pac B.	12/13/2018	1
25	26A	Can Fire Alarm be added to the subcontractor list on the 26A bid form?	Prebid Meeting 12/11	Yes, a revised 26A bid form to be issued in an a future addendum.	12/13/2018	1
26	09B	Can ceramic and flooring be separate packages?	Prebid Meeting 12/11	No	12/13/2018	1

BSD - CLAYMONT ES RENOVATIONS - Bid Pac B  
BID QUESTION LOG



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27	General	Where is the scope of work for fireproofing, fire safing, intumescent, etc. defined.	Prebid Meeting 12/11	These items are included in the specific scopes of work as applicable.	12/13/2018	1
28	General	Are criminal background checks a requirement for working on this project?	Prebid Meeting 12/11	No. Criminal background checks are required when working in an existing/occupied school. Work on this project is being performed in closed off sections of the school, not within the occupied school. We ask that you use caution in your judgement when assigning manpower to this project taking into consideration the safety and welfare of the students and staff.	12/13/2018	1
29	General	Are there any noise restrictions or off-hours work that need to be considered for this bid?	Prebid Meeting 12/11	See general scope notes #7 and #50, and as listed in specific scopes	12/13/2018	1
30	07A	Have core samples of the roof been taken?	Prebid Meeting 12/11	Roof survey to be provided via addendum.	12/13/2018	1
31	General	Can you please provide budget cost so that we can use this to acquire our bid bonds?	Prebid Meeting 12/11	No.	12/13/2018	1
32	07A	Going through the docs and wasn't able to find the phasing of the roofing portion of this project. Could you add that to the addendum list?	Prebid Meeting 12/11	Yes, phasing/schedule to be issued in addendum. Bulk roof work generally takes place in the summer. Work for MEP cut in to take place through out the year	12/13/2018	1