

ADDENDUM NO. 3 ISSUED BY

ABHA Architects
1621 N. Lincoln Street
Wilmington, Delaware 19806

NOTICE: Attach this Addendum to the Project Manual for this project. It modifies and becomes a part of the Contract Documents. Work or materials not specifically mentioned herein are to be as described in the main body of the Specifications and as shown on the Drawings. Acknowledge receipt of the Addendum in the space provided on the Bid Form.

This Addendum includes the following (10 pages total including attachments):

**CONTRACTOR QUESTIONS AND ANSWERS
CHANGES TO ADDENDUM NO. 1
CHANGES TO PROJECT MANUAL
CHANGES TO DRAWINGS**

ATTACHMENTS:

Sheets C-101, C-102, and C-501, all revision 2, dated 5/24/13 (3 pages).
Drawing S-700 (1 page).

CONTRACTORS QUESTIONS AND ANSWERS

- Q5. Do the 12 parking spaces on the north side of the parking lot shown on sheet C-101 get hot mix paving? Area is not shaded like the rest of the paving.
- A5. No. Parking has been designated to meet City of Wilmington zoning requirements. No paving is required for these (12) spaces.
- Q6. Are CCR reports required? If so, will they be provided by the owner?
- A6. No. Owner will provide CCR reports if required.
- Q7. Drawing C-100 does not show any silt fence or temporary fencing. Please provide a layout if required.
- A7. Silt fencing is not required, except for silt fencing around soil stockpiles in accordance with DNREC requirements and the "Contaminated Materials and Water Management Work Plan" issued with Addendum No 1.
- Temporary fencing is described in Section 015000, Article 1.07. Existing fencing may be used in combination with temporary fencing to enclose construction areas. Layout is at Contractor's discretion to maintain site security.
- Q8. Did you review the plans with the City of Wilmington and the Fire Marshal?
- A8. Preliminary reviews of the project have been held with the City of Wilmington and the Fire Marshal. Submission for final review and building permit, including review fees, is the responsibility of the Contractor.
- Q9. How long will it take to obtain the permit?
- A9. Contact the City of Wilmington Licenses and Inspections and Fire Marshal's Office for an estimate of review times.
- Q10. How long for the owner to award the project?

- A10. It is the intent to award the project upon approval at the Brandywine School District's June school board meeting.
- Q11. Can the new addition start as soon as the permit is issued?
- A11. Yes.
- Q12. What Contractor is used by the school district for voice/data cabling?
- A12. Any State-approved voice/data contractor.
- Q13. Are there any other fire alarm vendors besides Simplex for fire alarm?
- A13. Simplex is the only approved vendor since the existing system is being modified.
- Q14. Is there going to be a specification for the Fire Alarm?
- A14. No. Existing system modified as required to cover renovated/new areas.
- Q15. Water supply shown on FP-111 is not adequate to supply an Ordinary Group 2 sprinkler system. Please advise.
- A15. See additional fire protection notes in this addendum.
- Q16. Drawing E-100: The type H fixture specifies emergency ballast with remote test switch. In looking at a cut sheet on line I do not see this option listed. Can you confirm that this option is available and, if so, is the remote test switch integral to the fixture which is mounted on the exterior of the building?
- A16. Provide remote ballast.
- Q17. Reference Sheet S-101 "Structural Design Criteria" #5: Should the soil type for seismic design be is "D" (Stiff Soil) and not "E" (Soft soil)?
- A17. Soil profile type is as specified in the Duffield geotechnical report (page 5)
- Q18. Drawing S-502 Detail 15 shows a poured in place oil separator. The Plumbing Fixture schedule on P-501 item F 35 specifies a J.R. Smith precast unit. Please clarify which is correct.
- A18. Oil separator specified requires a concrete surround as indicated on detail 15/S-502.
- Q19. Specification Section 099000 – Painting and Coating: 2.05 Interior Paint Systems are identified as I-1 through I-10. On Drawing A-131 – Finish Schedule, the interior paint types are called out as P-1 through P-5 and EP-1. Please clarify the interior paint specifications.
- A19. P-xx and EP-xx designations on Sheet A-131 are color designations and are not related the paint systems specified in Section 099000, except that "P" designations reference paint systems and "EP" designations reference epoxy paint systems. Colors will be selected at a later date.
- E-xx and I-xx paint systems specified in Section 099000 apply to exterior and interior substrates and applications listed in the system descriptions.
- Q20. Drawing A-001 – Please provide location and specification for the A2 – Tackboard.
- A20. No A2 tackboards are required.
- Q21. Please confirm the security system is by owner, and we are just to provide empty boxes and raceways for security devices.
- Q22. No. See Drawing E-100 for general note regarding Card Access / Intrusion Detection System Scope.

CHANGES TO PROJECT MANUAL

SECTION 011000 – SUMMARY

Page 011000-1, Article 1.04, Paragraph 2:

Change to read: 2. CCTV camera system.

CHANGES TO PROJECT MANUAL

SECTION 074113 – METAL ROOF PANELS

Page 074113-1, Article 1.02:

Delete Paragraph B.

Page 074113-2, Article 2.01, Paragraph B:

Add subparagraph 3 :

3. Subject to compliance with requirements, equivalent products of the following manufacturers are also approved:
 - a. All Weather Insulated Panels; www.awipanel.com

SECTION 074214 – INSULATED METAL WALL PANELS

Page 074214-2, Article 2.01, Paragraph B:

Add subparagraph 4:

3. Subject to compliance with requirements, equivalent products of the following manufacturers are also approved:
 - a. All Weather Insulated Panels; www.awipanel.com

SECTION 084500 – TRANSLUCENT WALL ASSEMBLIES

Page 084500-4, Article 2.01, Paragraph A:

Add subparagraph 2:

2. CPI Daylighting, Inc., Quadwall System; www.cpidaylighting.com.

SECTION 099000 – PAINTING AND COATING

Page 099000-3, Article 2.04:

Add Paragraph A:

- A. SYSTEM E-1:
 1. Substrate: Concrete or Masonry
 2. Applications include: Existing concrete masonry units.
 3. Manufacturers and Products:
 - a. Sherwin Williams:
 - 1) 1st Coat: S-W PrepRite ProBlock Latex Primer, B51 Series
(omit for previously painted surfaces)
 - 2) 2nd Coat: S-W Metalatex Acrylic Semi-Gloss, B42 Series
 - 3) 3rd Coat: S-W Metalatex Acrylic Semi-Gloss, B42 Series
 - b. Benjamin Moore:
 - 1) 1st Coat: Moore 023 Fresh Start 100 percent Acrylic Primer Sealer
(omit for previously painted surfaces)
 - 2) 2nd Coat: 096 MoorGlo Acrylic Semi-Gloss House Paint.
 - 3) 3rd Coat: 096 MoorGlo Acrylic Semi-Gloss House Paint.
 - c. Glidden Professional:
 - 1) 1st Coat: Glidden Professional Hydrosealer 6001 primer

- (omit for previously painted surfaces)
- 2) 2nd Coat: Glidden Professional Fortis 450 6407 topcoat
 - 3) 3rd Coat: Glidden Professional Fortis 450 6407 topcoat

Page 099000-4, Article 2.05, Paragraph C:

Change subparagraph 1 to read :

1. Substrate : Hollow Metal Doors and Frames, Structural Steel and Metal Fabrications.

Page 099000-4, Article 2.05:

Delete Paragraph D.

Replace with : D. SYSTEM I-4 : NOT USED.

Page 099000-5, Article 2.05:

Delete Paragraphs F and G.

Replace with:

- F. SYSTEM I-7 : NOT USED.
- G. SYSTEM I-8 : NOT USED.

SECTION 102601 – WALL AND CORNER GUARDS

Page 102601-2, Paragraph 3.03 A:

Add subparagraph:

1. Assume total quantity of twenty-nine (29) corner guards.

SECTION 133419 – METAL BUILDING SYSTEMS

Page 133419-3, Paragraph 2.01 A:

Add subparagraph 7:

7. Other approved metal building manufacturers :
 - a. Miller Buildings, Inc., 1408 Bethlehem Pike, Flourtown, PA 19031,
1-800-323-6464, www.millerbldgs.com
 - b. Frontier Steel Buildings, Inc., 10940 South Parker Road, Parker, CO 80134,
1-303-754-1000 www.frontierbuildings.com

Page 133419-3, Paragraph 2.01:

Add Paragraph B:

- B. Insulated Metal Wall and Roof Panels: See Sections 074113 and 074214 for approved manufacturers of insulated metal wall and roof panels.

SECTION 260000 - GENERAL PROVISIONS – ELECTRICAL

Page 260000-1, Paragraph 1.2.A.10:

Change to read, “Extension/Modifications to Existing Fire Alarm System – No Specifications”

CHANGES TO DRAWINGS

DRAWINGS C-101, C-102, and C-501

Delete Drawings C-101, C-102, and C-501, and replace with revised Drawings C-101, C-102, and C-501 attached to this Addendum.

DRAWING A-111

At Floor Plan A1, Add note:

At Toilet Rooms 101 and 120, provide the following toilet accessories in each:

- (1) Item "A": Mirror, 24" wide x 36" high
- (1) Item "B": paper towel dispenser (furnished by Owner)
- (1) Item "C": toilet tissue dispenser (furnished by Owner)
- (1) Item "E": side grab bar (42")
- (1) Item "E": rear grab bar (36")
- (1) Item "E": vertical grab bar (18")
- (1) Item "G": soap dispenser (furnished by Owner)

DRAWING P-111

At Drawing A1/P-111- "New Work Plan – Below Slab – Plumbing", Add notes:

- 1. The 2 inch vent next to F-35 oil separator shall extend 3 feet above the finished floor and provide a 180 deg. Return bend.
- 2. The 2 inch vent at the exterior wall near column C-3 shall extend above the roof.

At Drawing A4/P-111- "New Work Plan – Below Slab – Plumbing – Alt #1", Add notes:

- 1. The 2 inch vent next to F-35 oil separator shall extend 3 feet above the finished floor and provide a 180 deg. Return bend.
- 2. The 2 inch vent at the exterior wall near column C-3 shall extend above the roof.

DRAWING P-112

At Drawing A1/P-112- "New Work Plan – Above Slab – Plumbing":

At new water service outside of Mech. Room 105, add note: "New water service with Backflow and meter. See civil drawings for continuation."

At existing vent riser between Office 102 and MDF 104, add note: "Existing 4 inch vent thru the roof to remain."

DRAWING FP-111, "FIRE PROTECTION NEW WORK PLAN"

Add the following General Sheet Notes:

- 1. Provide loop on the new 6" main back to the existing 6" main, or grid the system to minimize pressure losses.
- 2. Contractor to provide additional Flow Test. (Coordinate with the City of Wilmington Public Works for Improved Test Performance – Tank Elevations)

DRAWING E-100, "ELECTRICAL LEGEND – NOTES AND FIXTURE SCHEDULE"

At LIGHT FIXTURE SCHEDULE, make the following changes:

- Type "L": Change Quantity of switch legs from 2 to 1.
- Type "A": Remove 0-10V dimming ballast in REMARKS.
- Type "A2": Change "B" to "A" in REMARKS.

DRAWING E-111, "ELECTRICAL – LIGHTING NEW WORK"

At Drawing E1/E-111:

- a. At Vestibule 118: Tag fixture as Type "A2."

ADDITIONS AND RENOVATIONS TO:
BRANDYWINE SCHOOL DISTRICT TRANSPORTATION CENTER
PROJECT NO. 1228

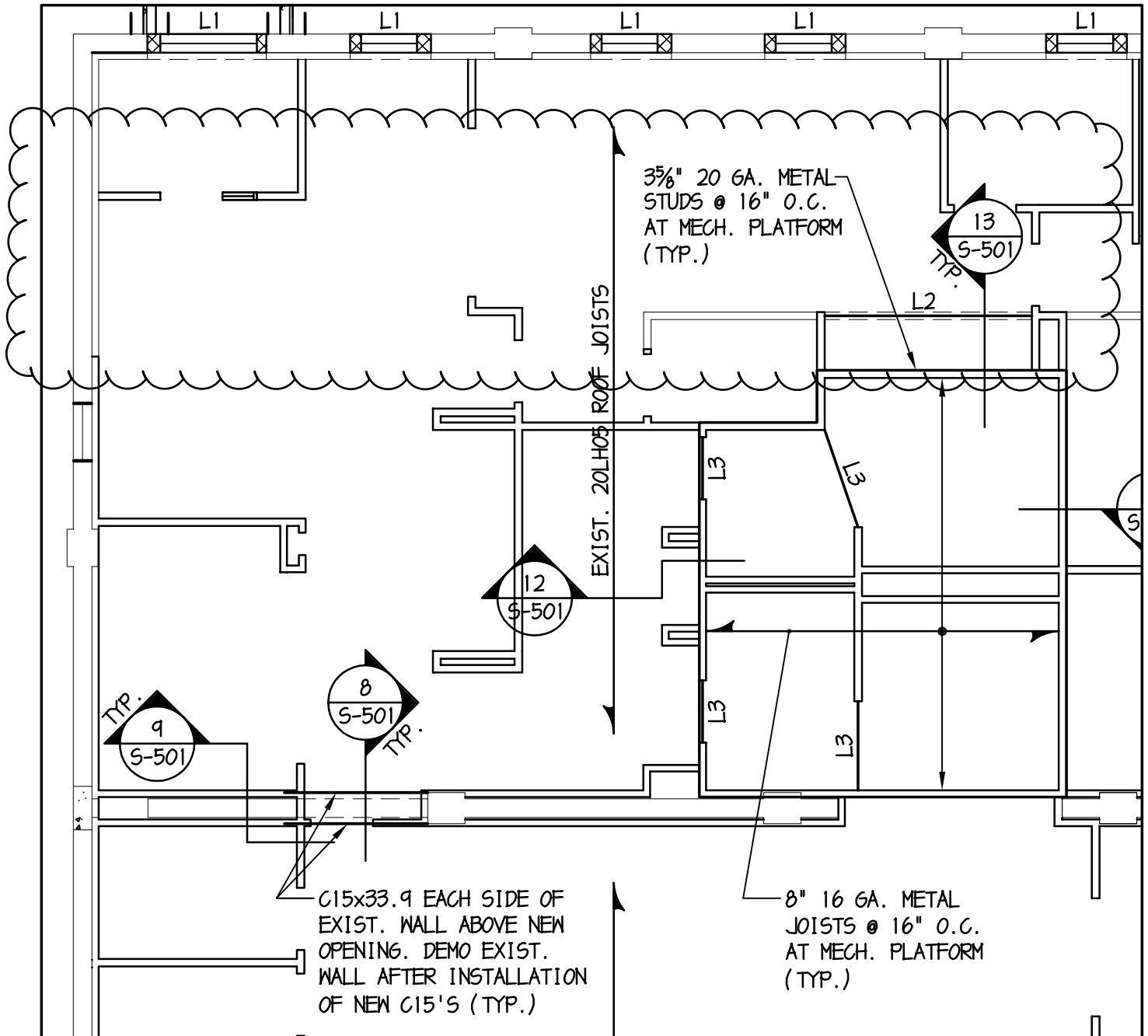
ADDENDUM NO. 3
MAY 24, 2013
PAGE 6 OF 6

b. At Vestibule 111: ADD Type "E", Exit Sign above door.

DRAWING S-700

Add Drawing S-700, attached to this Addendum.

END OF ADDENDUM NO. 3



P1
S-101

EXISTING FRAMING PLAN

1/8" = 1'-0"

NOTE: REVISES DRAWING P1/S-101



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SHEET TITLE

EXISTING FRAMING PLAN

PROJECT

**BRANDYWINE SCHOOL DISTRICT –
TRANSPORTATION CENTER**

CONSULTANT

BAKER INGRAM & ASSOCIATES

S-700

REV:	0
ISSUE:	05/23/13
PROJECT NO:	1228
FILE NAME:	
DRAWN BY:	
CHECKED BY:	



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Structural Engineers

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Furlow Associates
Mechanical/Electrical Engineers

1206 Society Drive
Dover, DE

PROJECT

BRANDYWINE SCHOOL DISTRICT -
TRANSPORTATION CENTER

1409 EASTLAWN AVENUE
WILMINGTON, DE 19802

OWNER

Brandywine School District
1311 Brandywine Boulevard
Wilmington, DE 19809

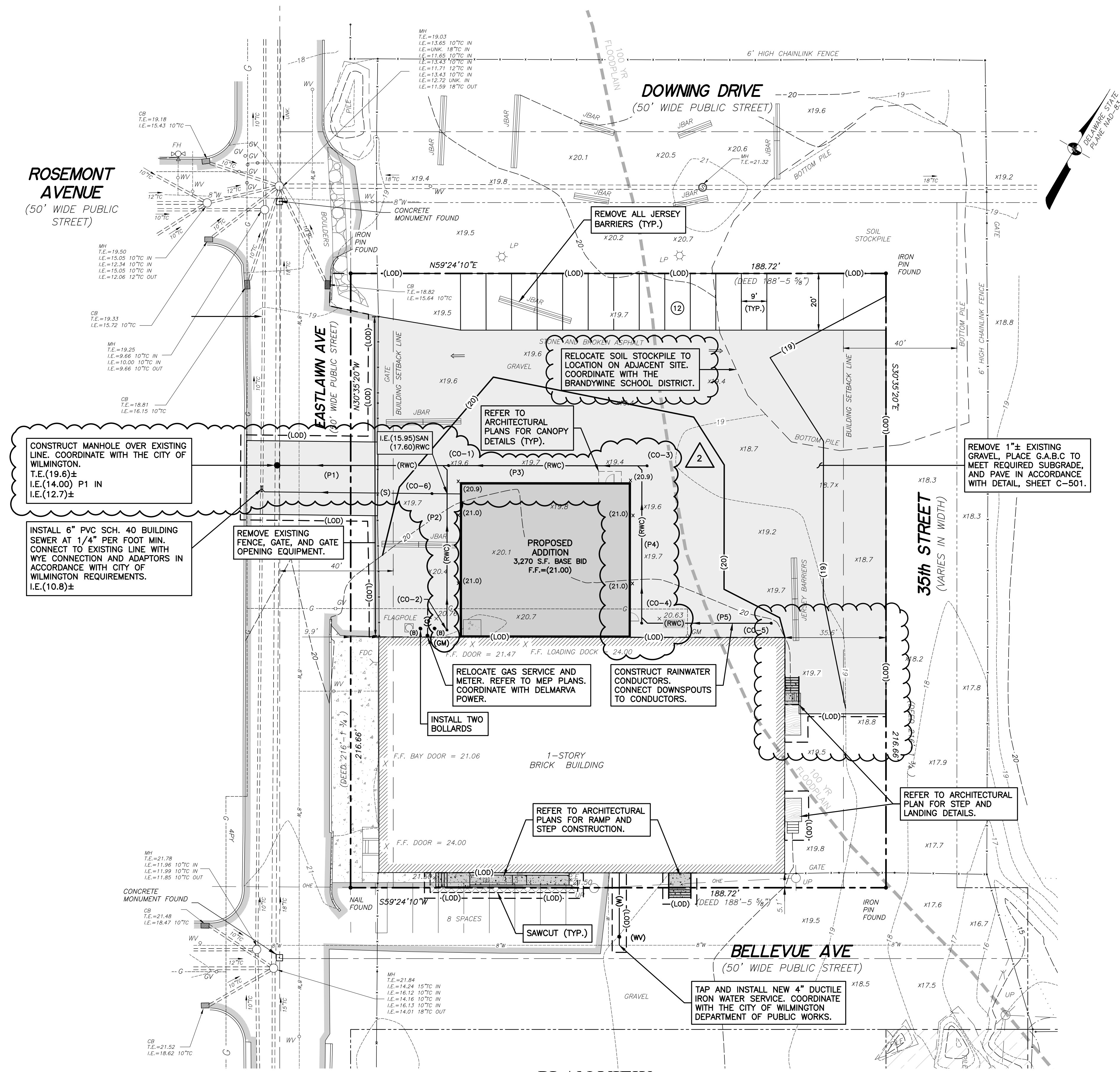
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1	04/15/13	ISSUED FOR BIDDING
0	03/01/13	CD

PROJECT NO: 1228
FILE NAME: 22556.03-CONST-01
DRAWN BY: DJS
CHECKED BY: SHR

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SHEET TITLE
SITE CONSTRUCTION PLAN
BASE BID

C-101



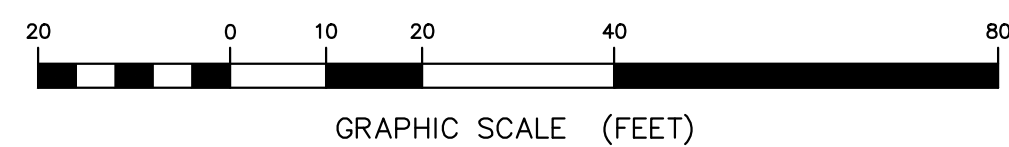
STORM PIPE SCHEDULE			
NO.	SIZE/TYPE	LENGTH	SLOPE
P1	8" PVC	60 L.F.	0.020 FT/FT
P2	8" PVC	57 L.F.	0.010 FT/FT
P3	8" PVC	70 L.F.	0.020 FT/FT
P4	8" PVC	55 L.F.	0.020 FT/FT
P5	6" PVC	45 L.F.	0.010 FT/FT

PVC RAIN WATER CONDUCTORS SHALL BE ASTM D2241 SDR-21.

STORM AND SANITARY SEWER CLEANOUT SCHEDULE		
NO.	T. E.	I. E.
CO-1	20.40	15.20
CO-2	20.90	18.10
CO-3	20.80	16.60
CO-4	20.90	17.70
CO-5	20.05	18.15
CO-6	20.50	15.90

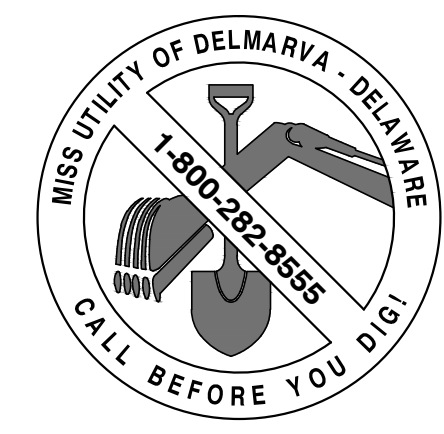
PLAN VIEW

SCALE: 1"=20'



SEE ELECTRICAL PLAN FOR SITE LIGHTING AND SITE ELECTRIC.

SEE SHEET C-501 FOR GENERAL CONSTRUCTION NOTES AND EROSION CONTROL NOTES AND DETAILS.



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK LINE
- BUILDING
- CONCRETE
- UPRIGHT CURB
- EDGE OF PAVEMENT
- CONTOUR
- SPOT GRADE
- FINISHED FLOOR
- FENCE
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- SANITARY SEWER LINE
- RAIN WATER CONDUCTOR
- WATER LINE
- OVERHEAD ELECTRIC
- GAS LINE
- SITE BENCHMARK
- LIMITS OF DISTURBANCE

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PROJECT

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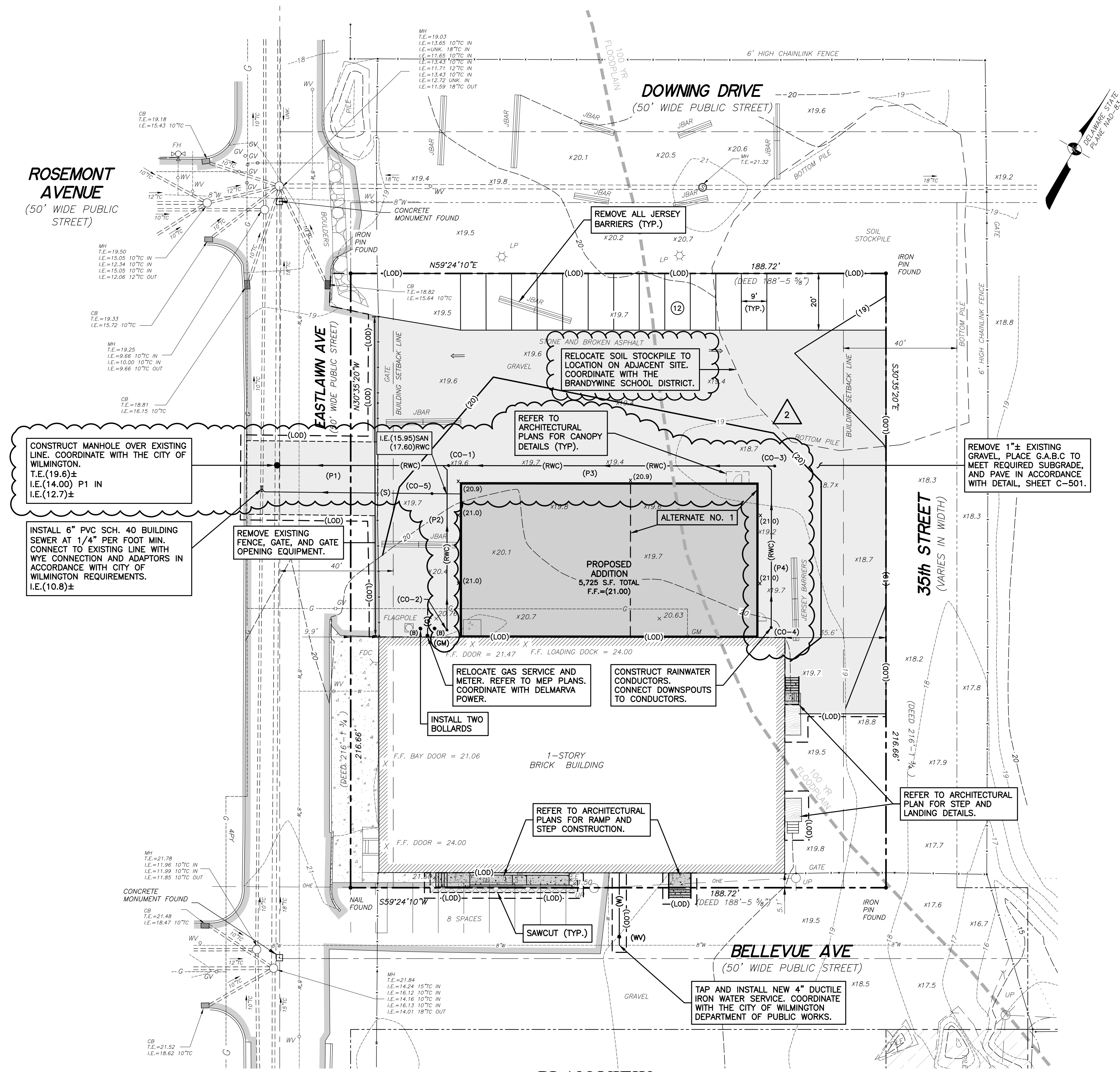
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SHEET TITLE
SITE CONSTRUCTION PLAN
ALTERNATE 1

C-102



STORM PIPE SCHEDULE

NO.	SIZE/TYPE	LENGTH	SLOPE
P1	8" PVC	60 L.F.	0.020 FT/FT
P2	8" PVC	57 L.F.	0.010 FT/FT
P3	8" PVC	115 L.F.	0.020 FT/FT
P4	8" PVC	57 L.F.	0.010 FT/FT

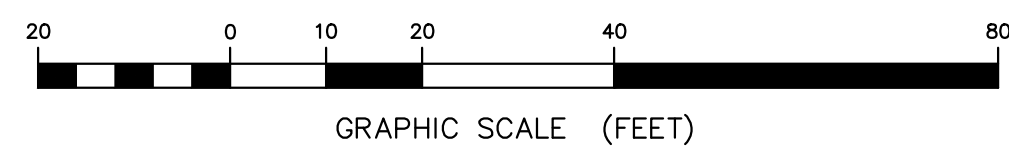
PVC RAIN WATER CONDUCTORS SHALL BE ASTM D2241 SDR-21.

STORM AND SANITARY SEWER CLEANOUT SCHEDULE

NO.	T. E.	I. E.
CO-1	20.40	15.20
CO-2	20.90	18.10
CO-3	20.30	17.50
CO-4	20.75	18.07
CO-5	20.50	15.90

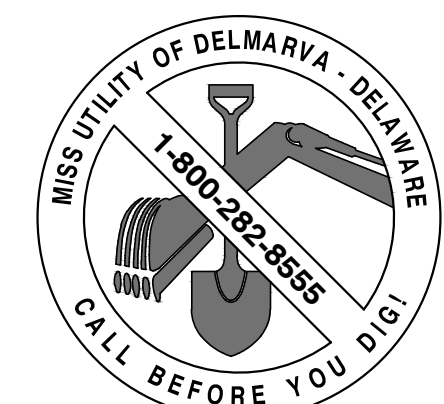
PLAN VIEW

SCALE: 1"=20'



SEE ELECTRICAL PLAN FOR SITE LIGHTING AND SITE ELECTRIC.

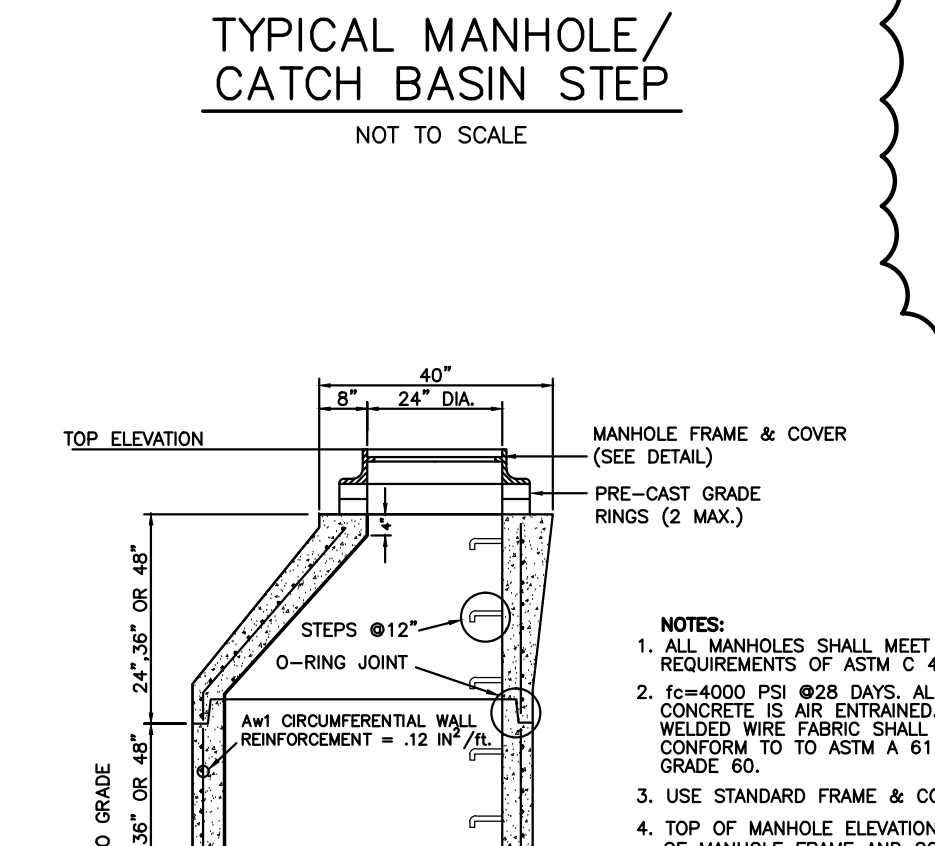
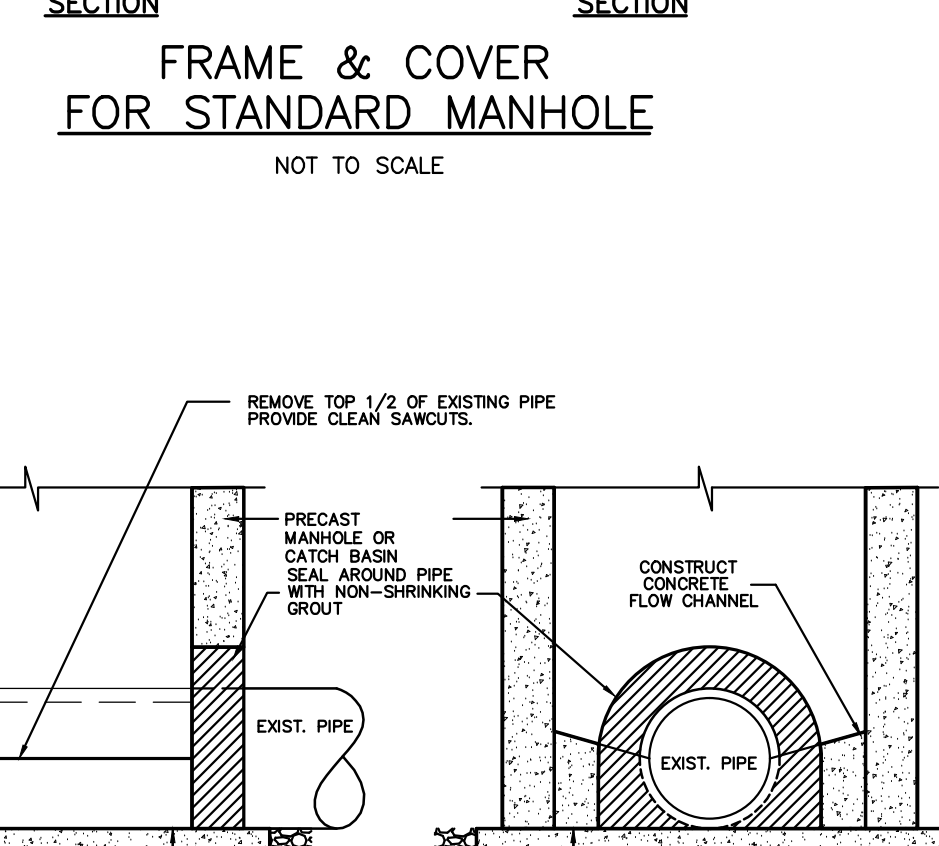
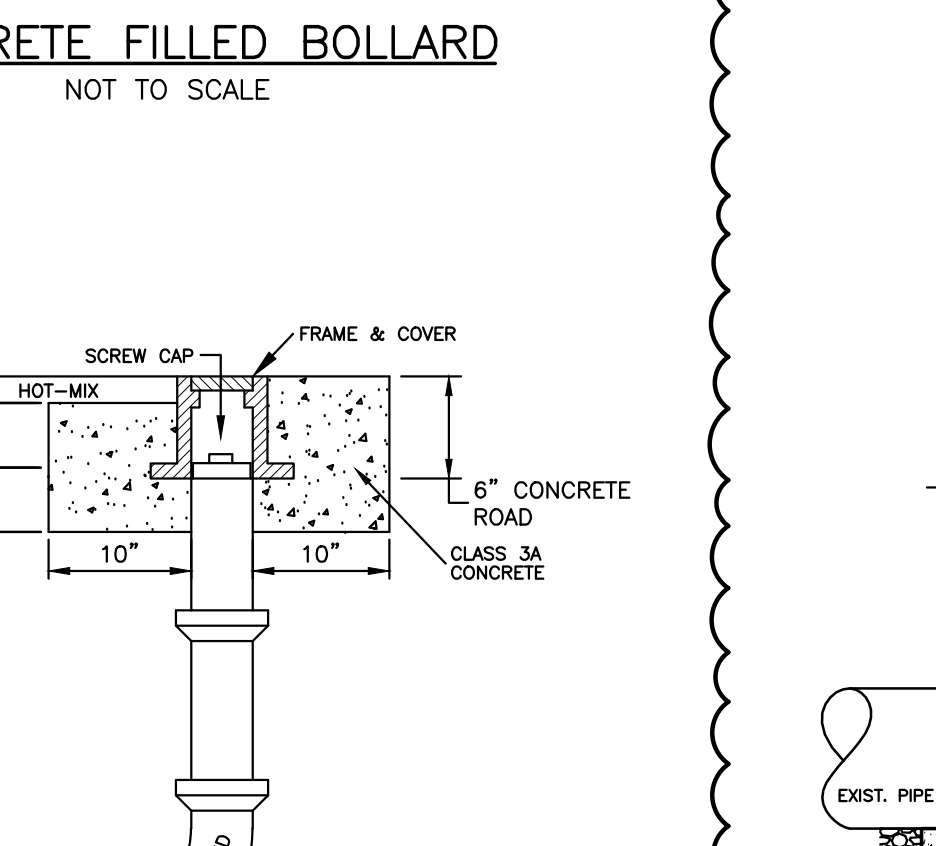
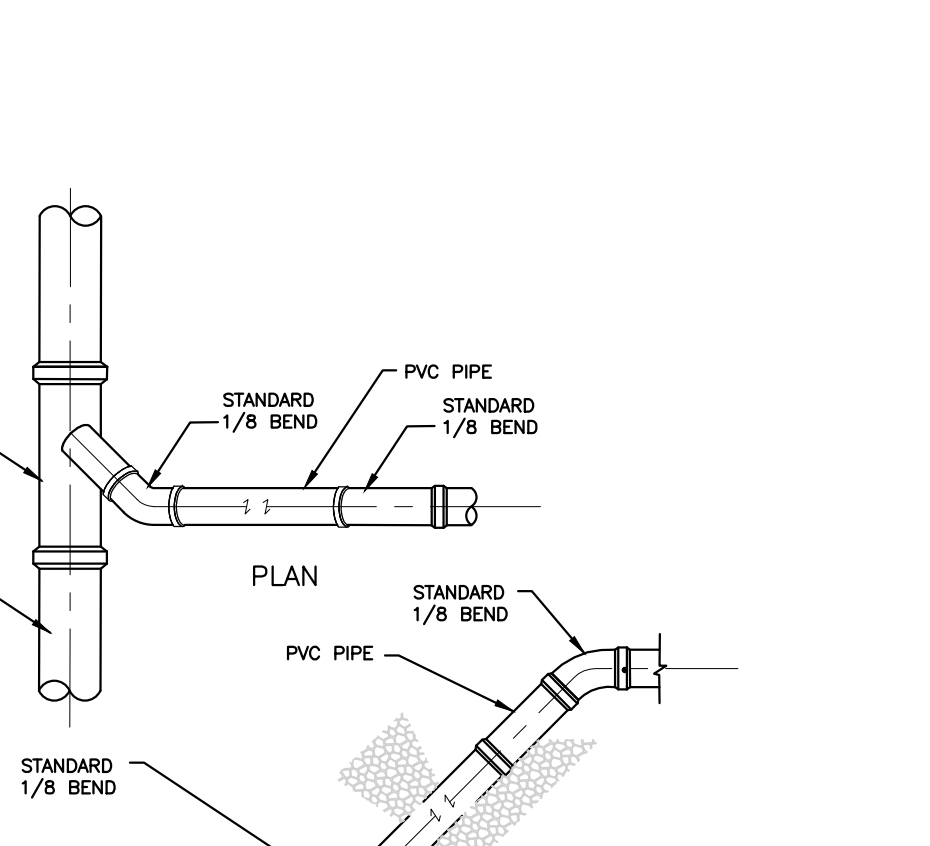
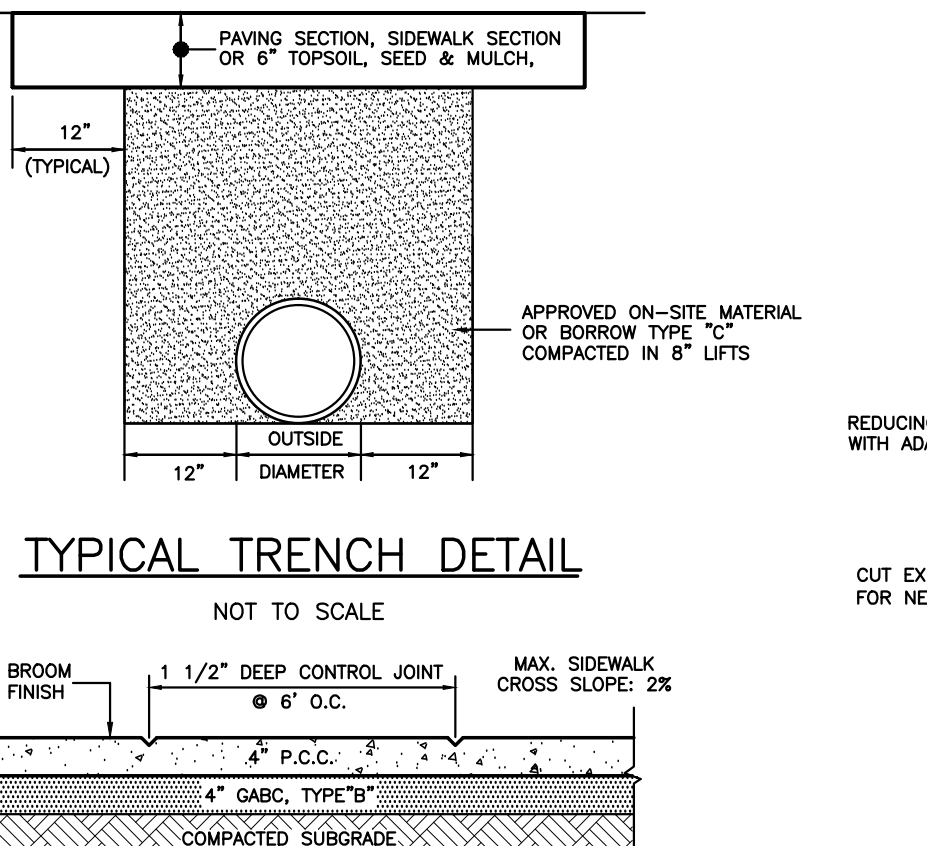
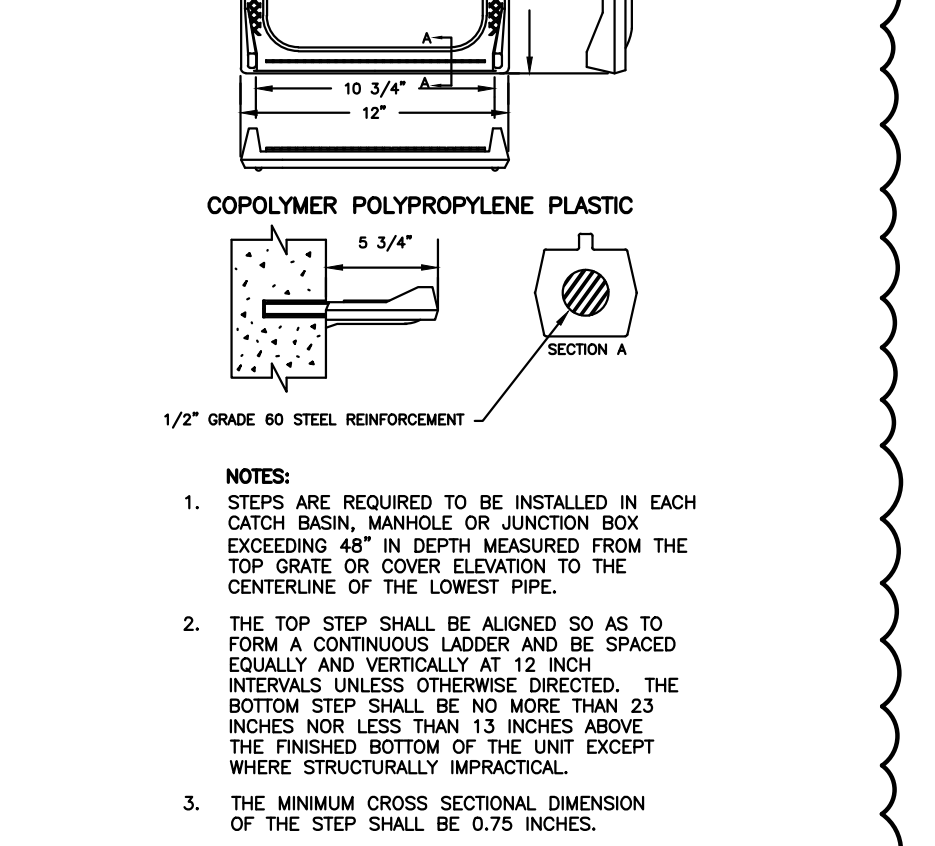
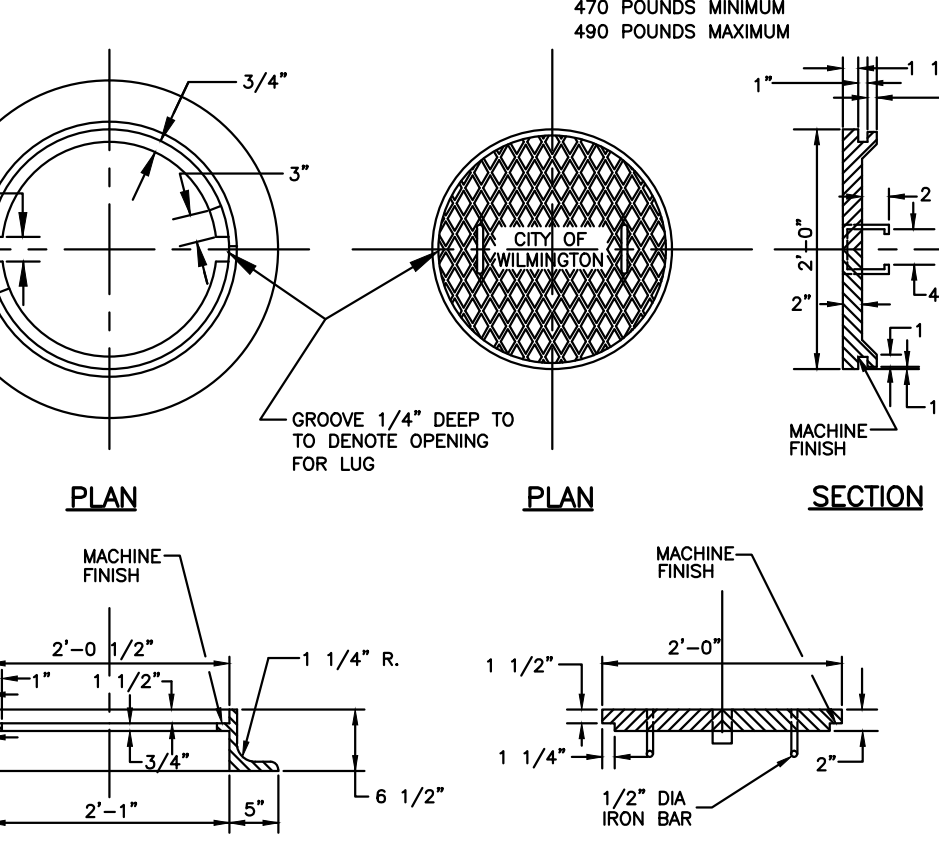
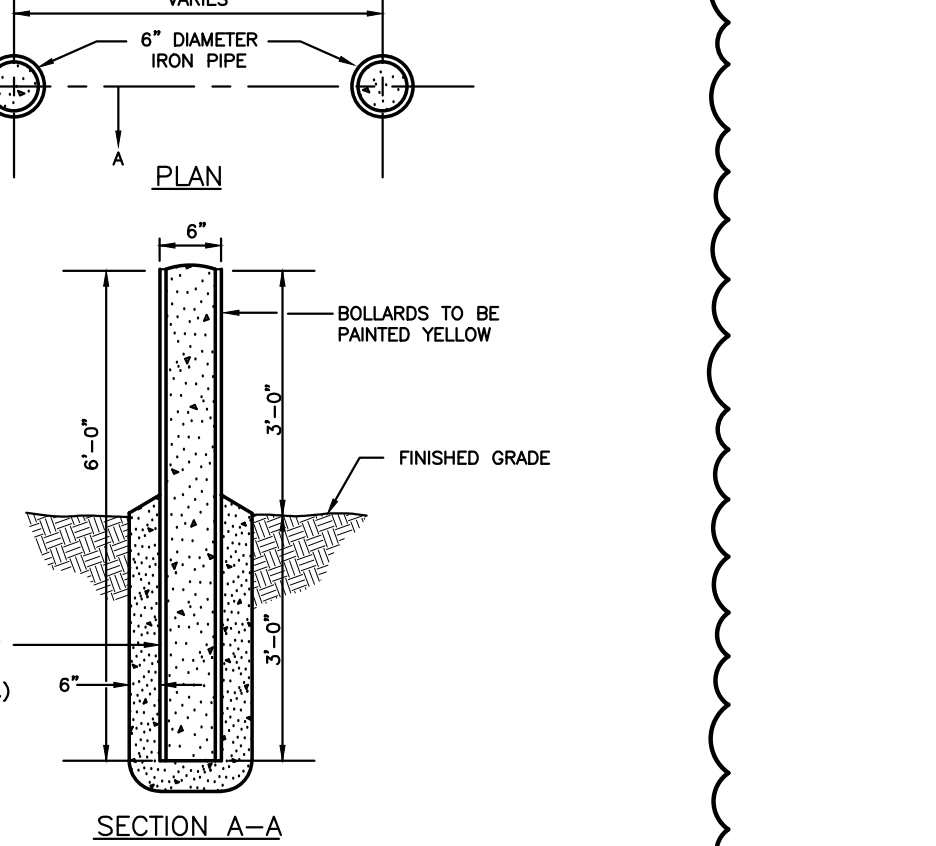
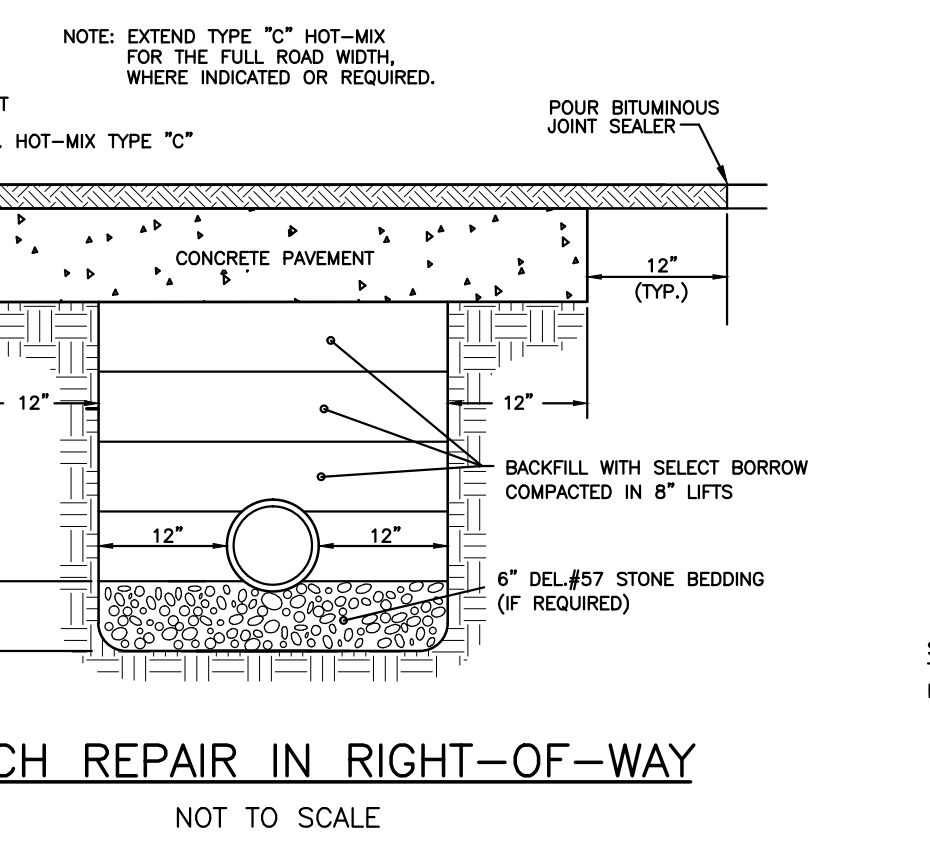
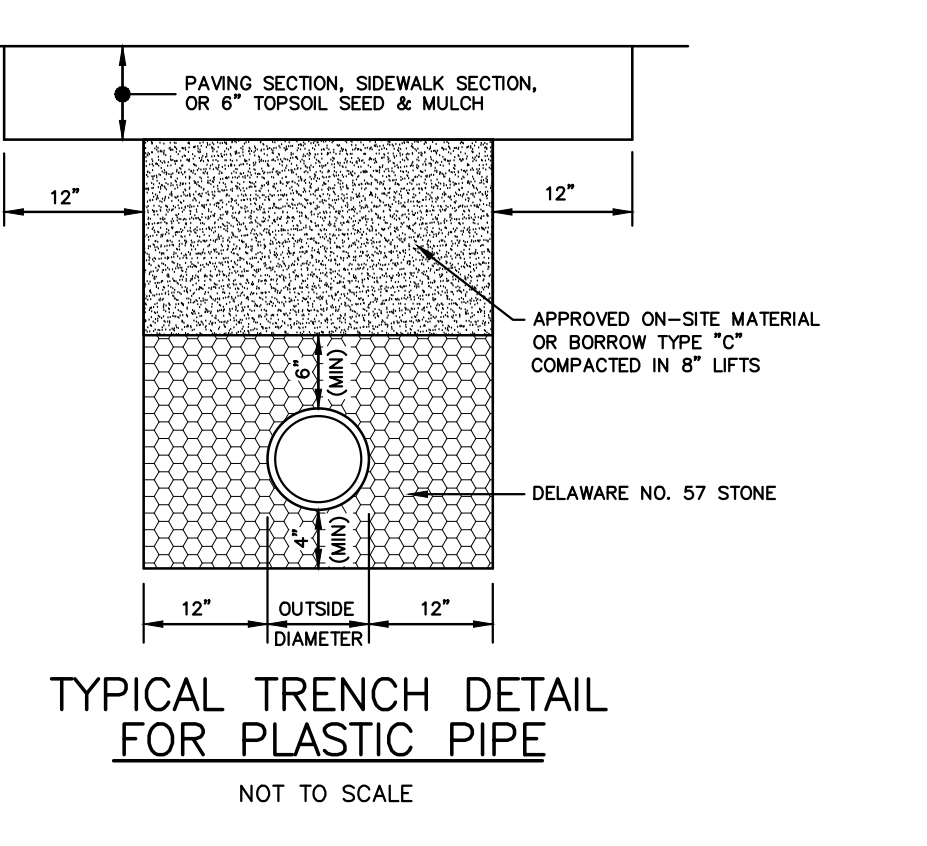
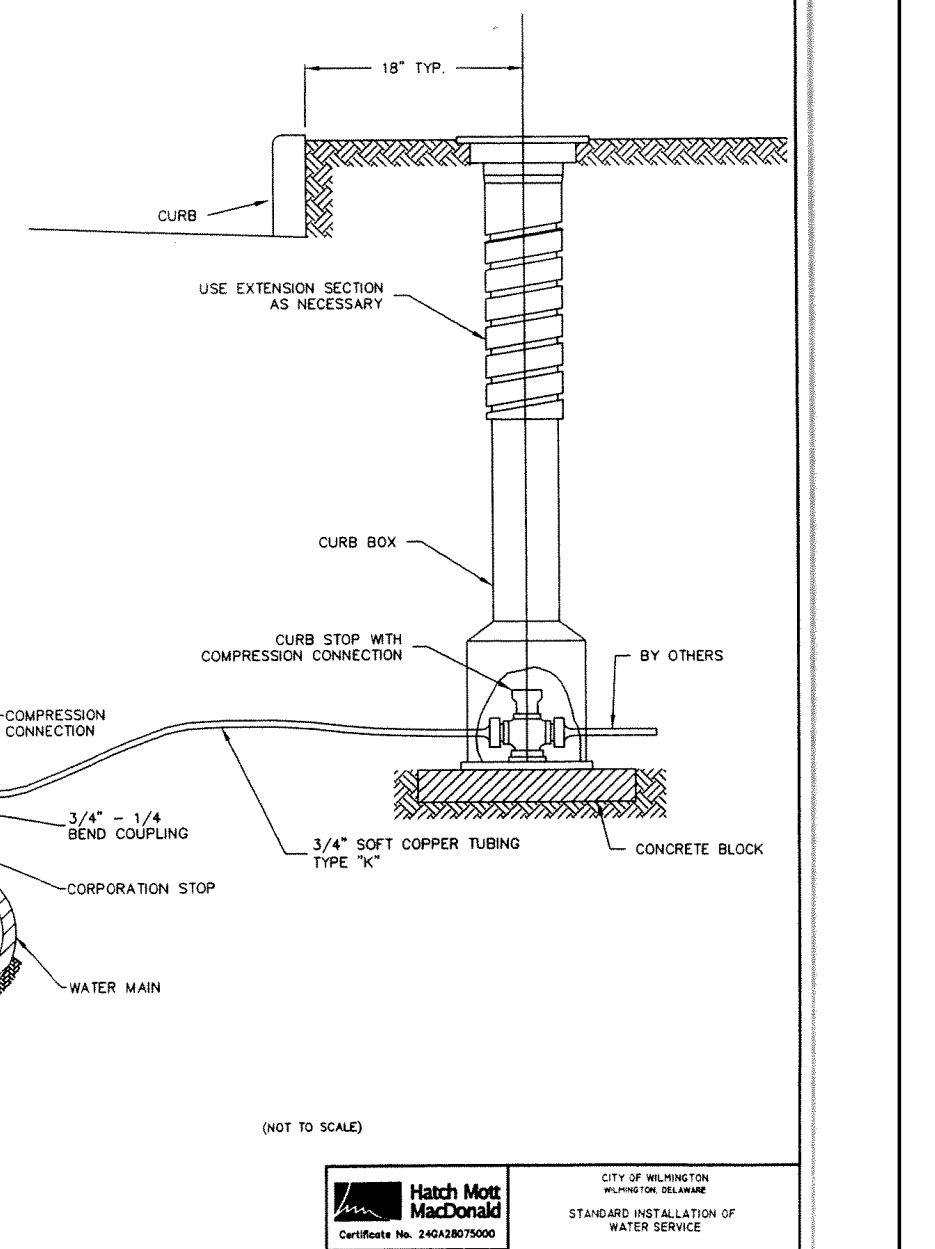
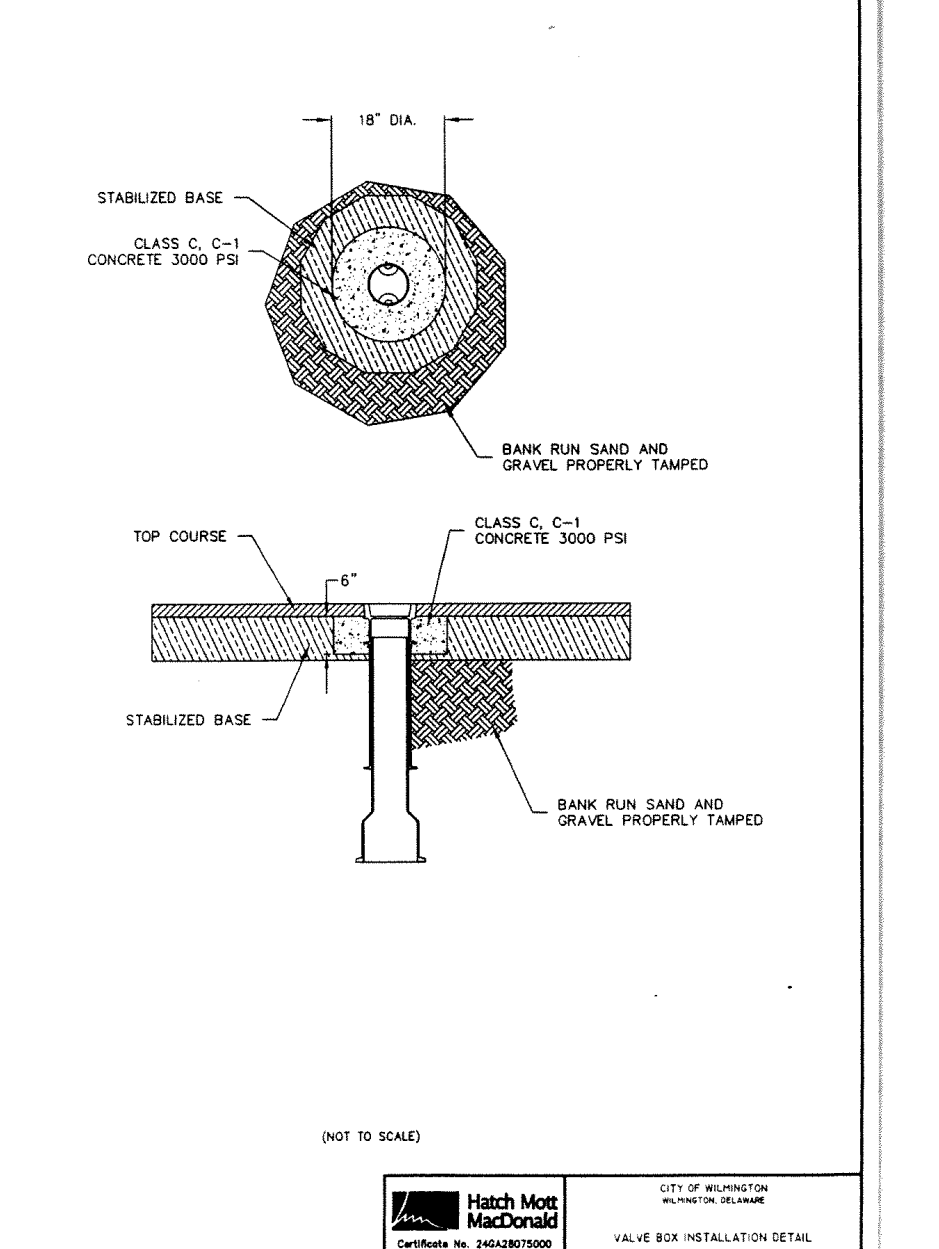
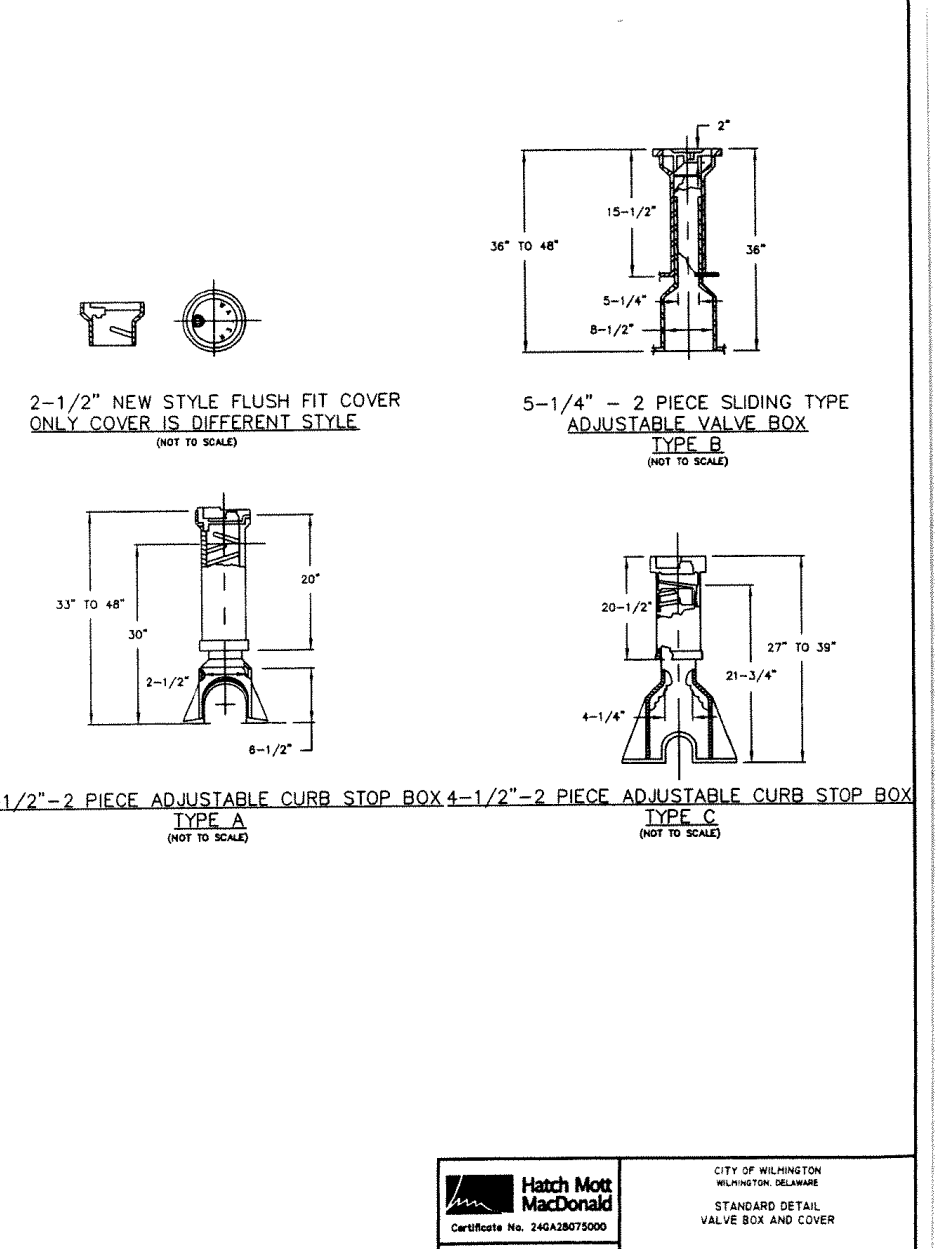
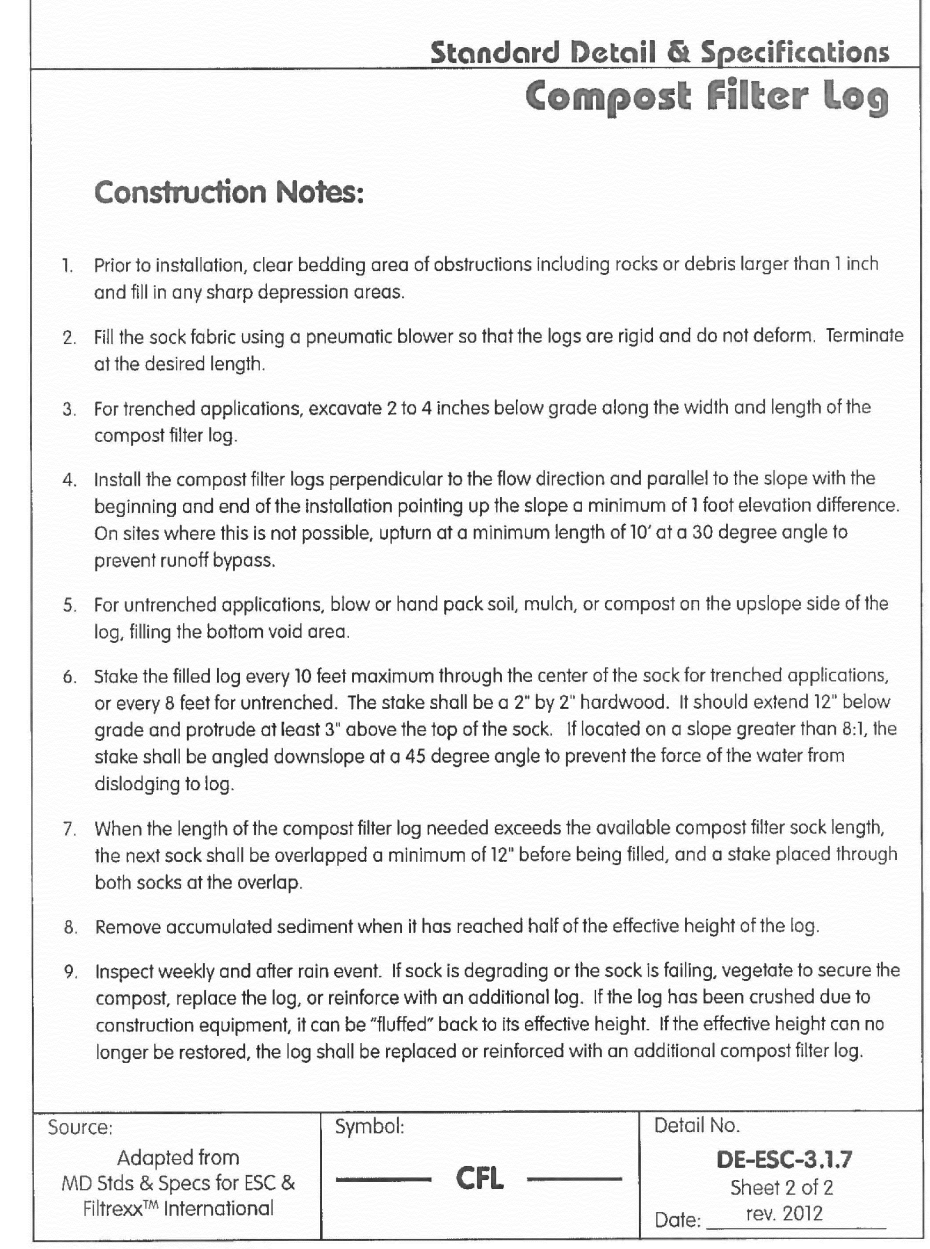
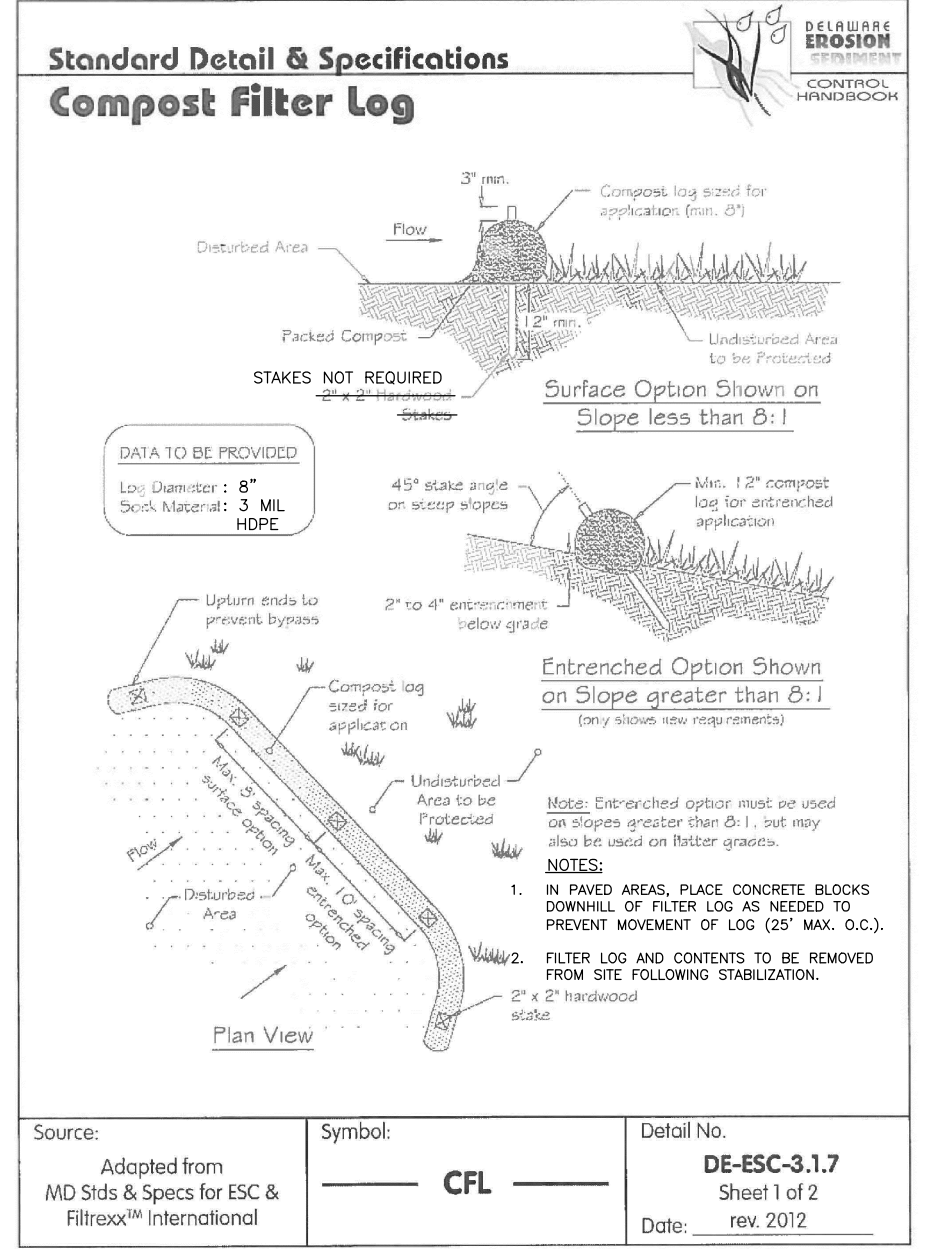
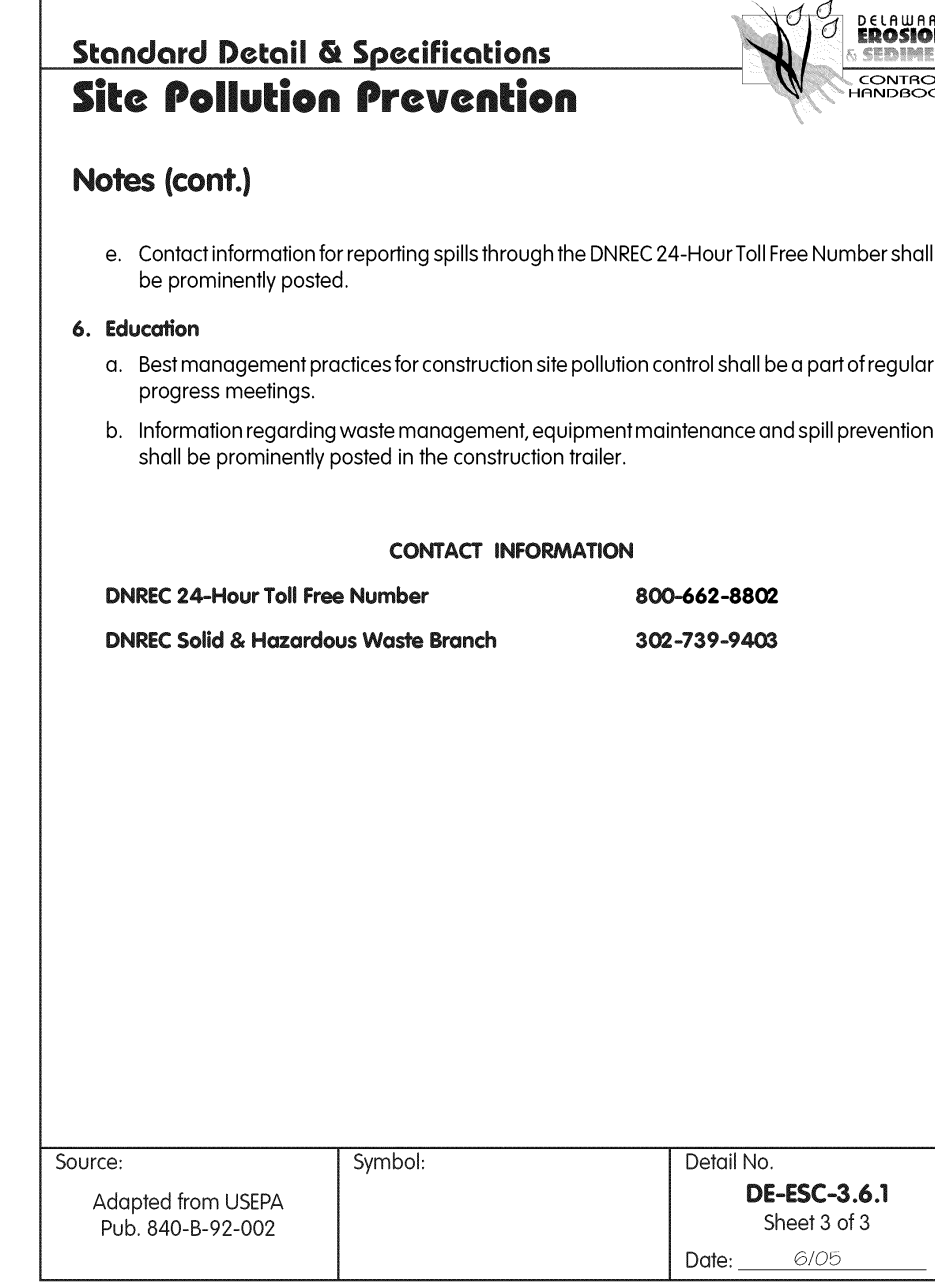
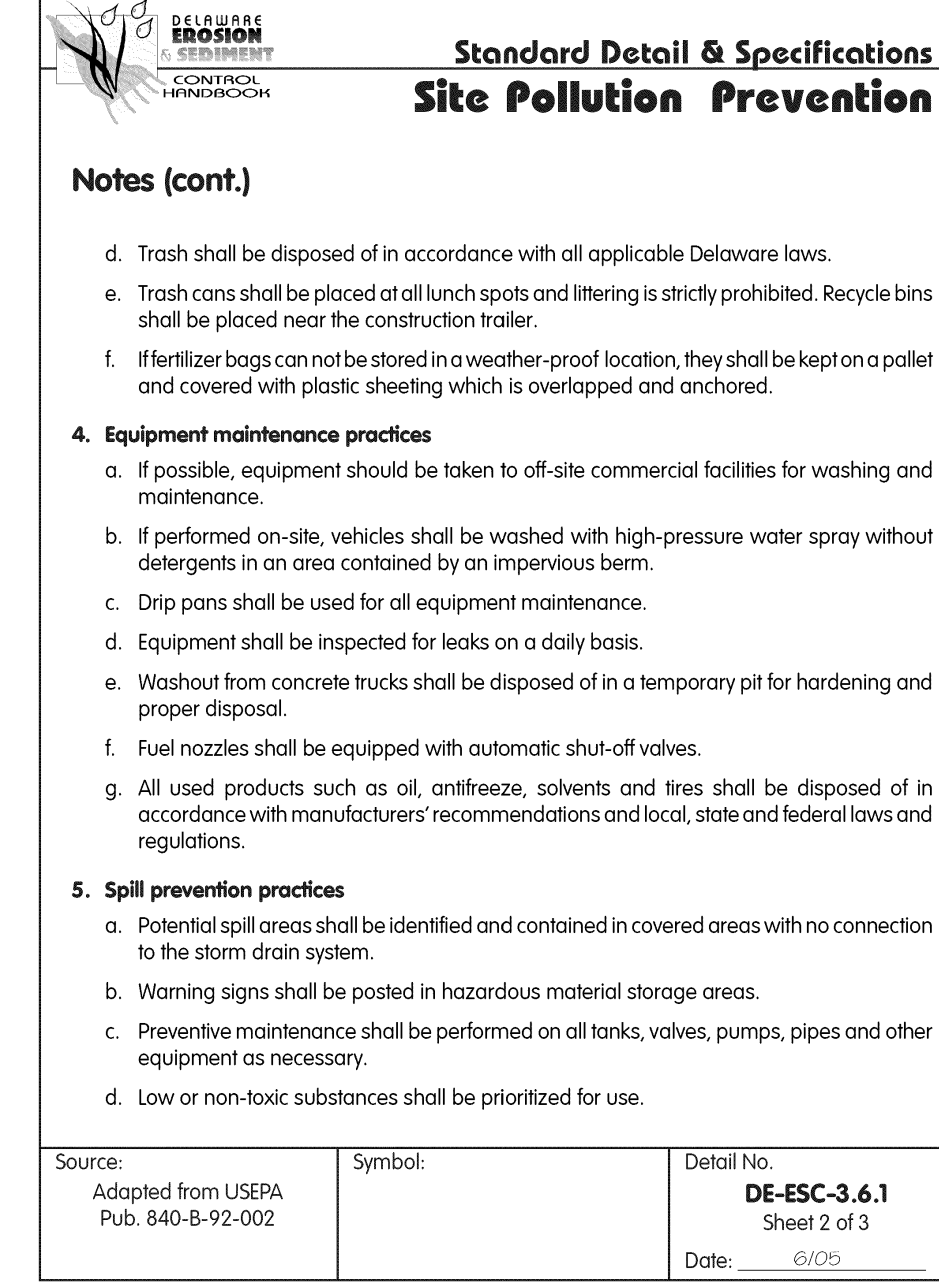
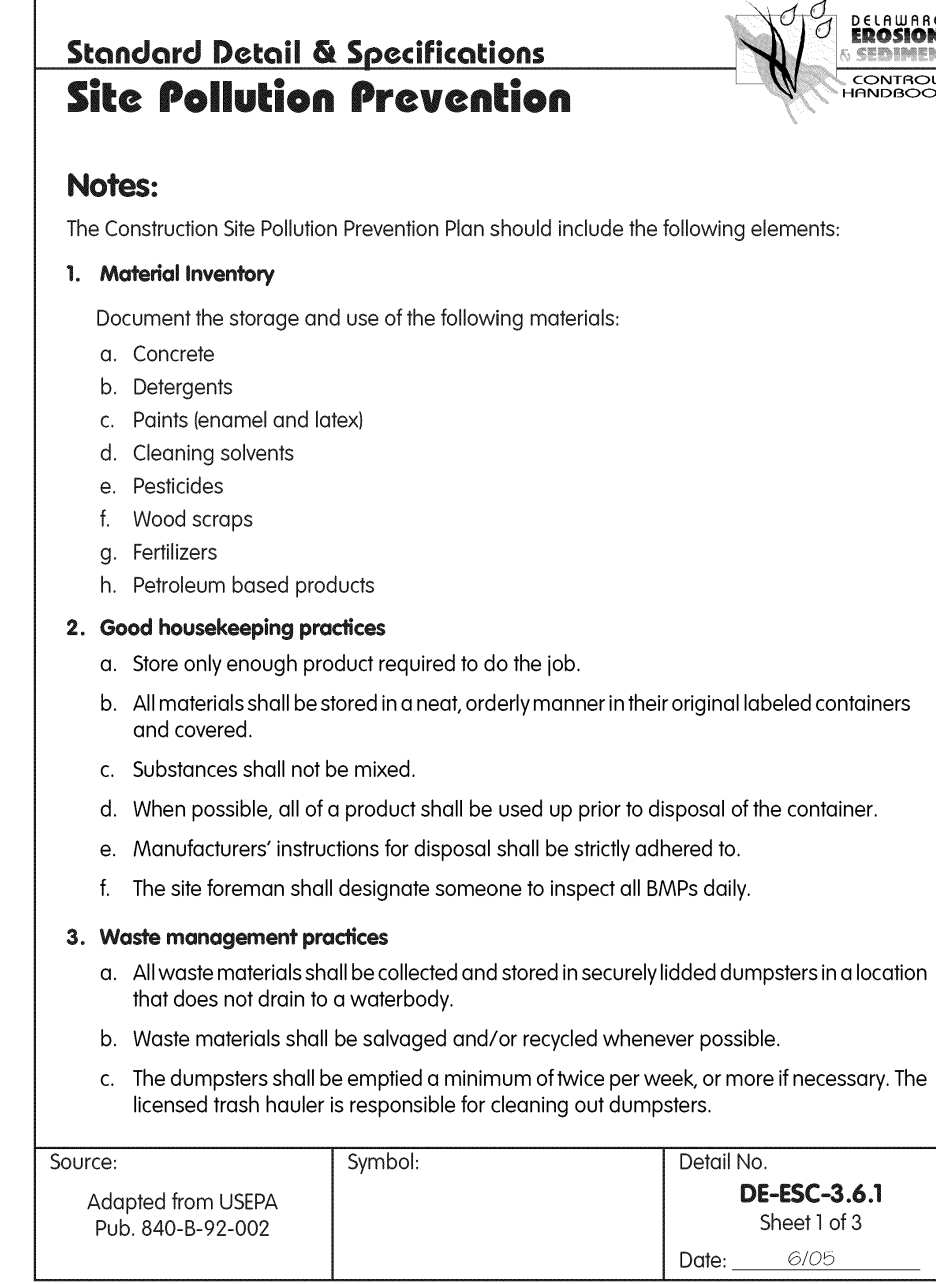
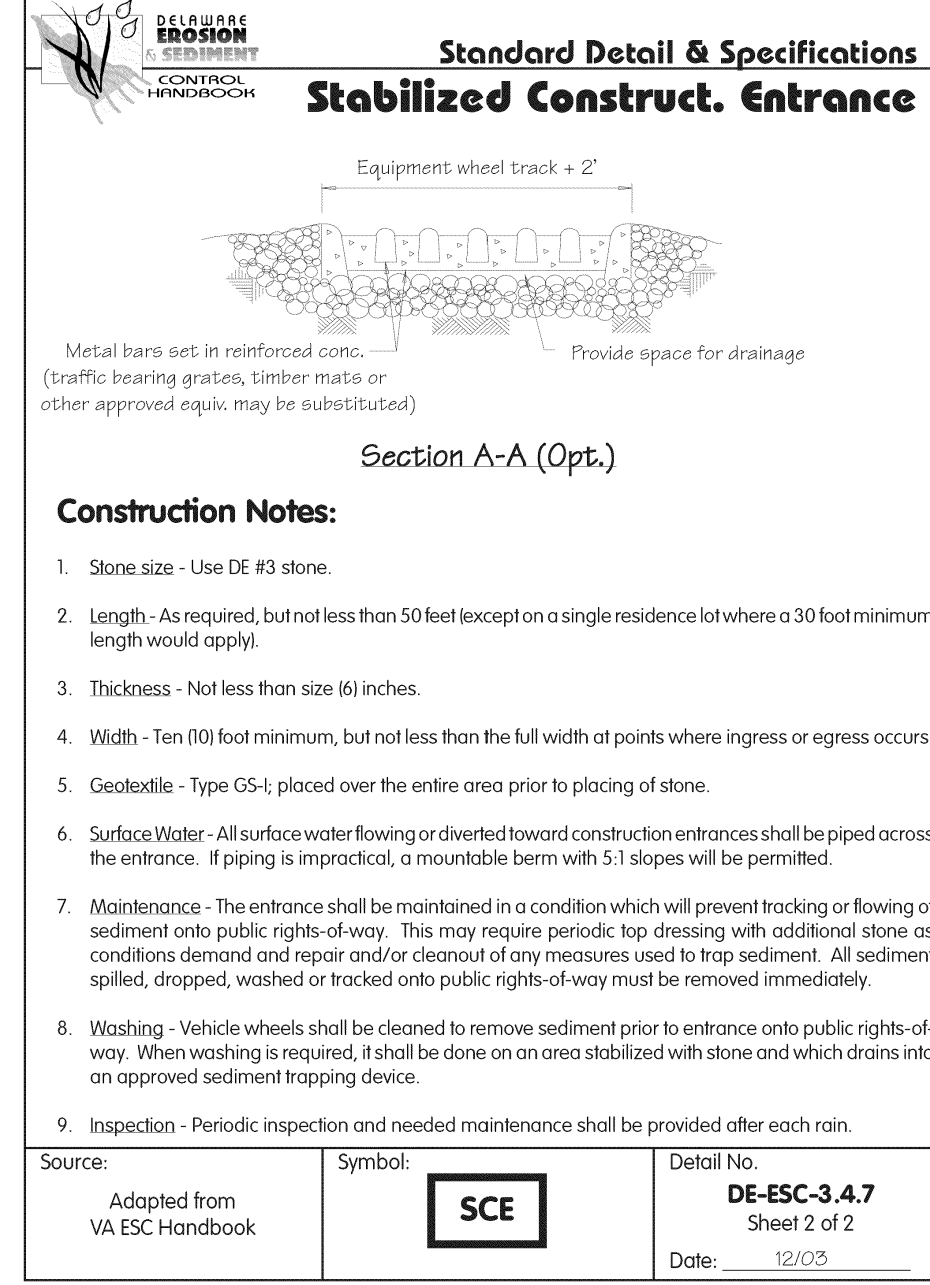
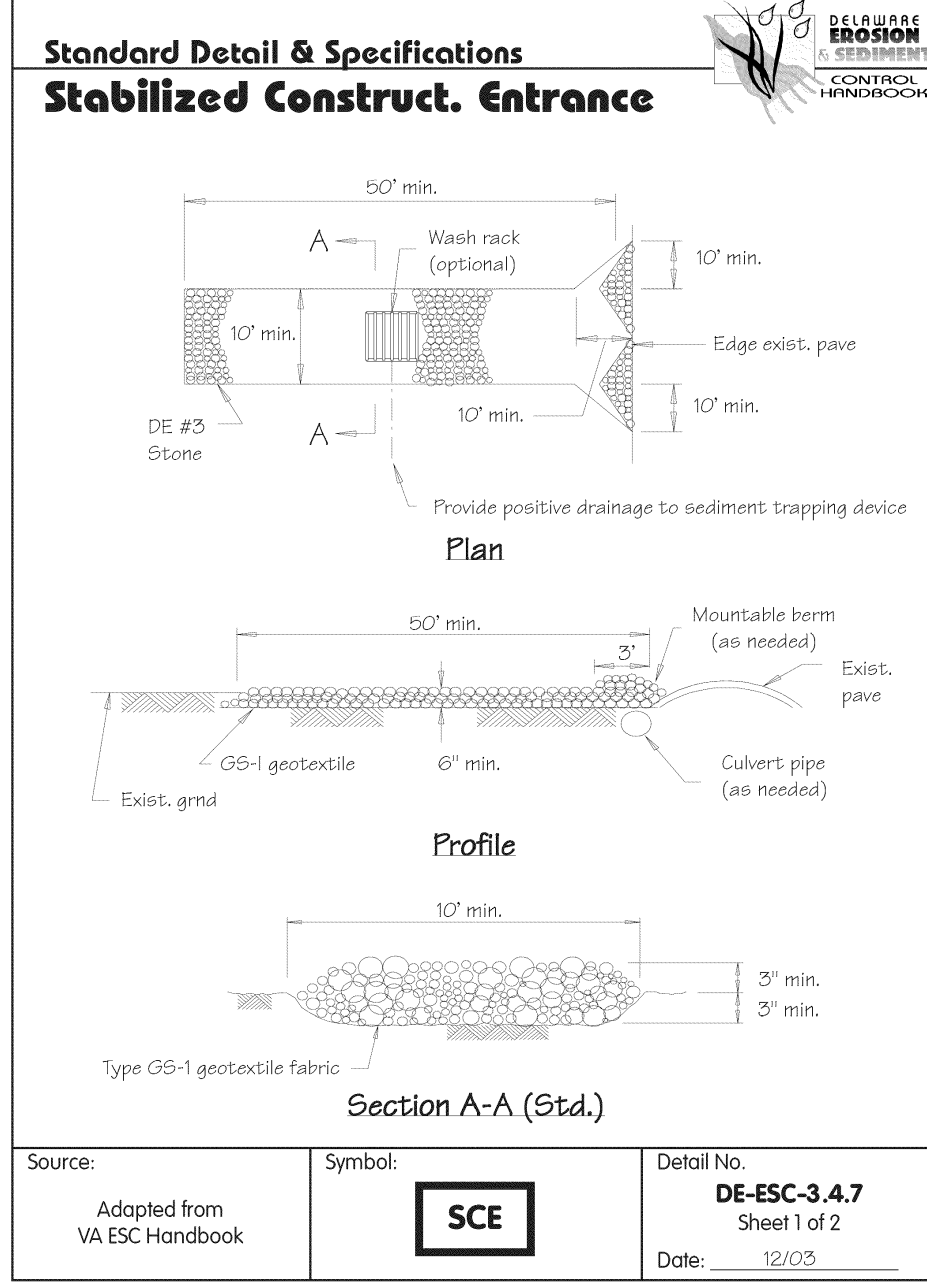
SEE SHEET C-501 FOR GENERAL CONSTRUCTION NOTES AND EROSION CONTROL NOTES AND DETAILS.



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- BUILDING SETBACK LINE
- BUILDING
- CONCRETE
- UPRIGHT CURB
- EDGE OF PAVEMENT
- 1.9' CONTOUR
- SPOT GRADE
- FINISHED FLOOR
- FENCE
- FIRE HYDRANT
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- MANHOLE
- DEED RECORD
- MICROFILM NUMBER
- TAX PARCEL NUMBER
- ELECTRIC SERVICE
- GAS VALVE
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GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS AND DETAILS OR THE CITY OF WILMINGTON SPECIFICATIONS AND DETAILS, OR THE PROJECT SPECIFICATIONS, EXCEPT AS NOTED ON THIS PLAN.
- ALL EXCESS EXCAVATION AND ALL OLD PAVEMENT, BASE COURSE, BROKEN CONCRETE, CURB, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE HAUL AWAY FROM THE SITE, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE TO THEM DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL INSTALLED PIPING UNTIL THE COMPLETION OF CONSTRUCTION OF THE PROJECT. PIPES WITH SHALLOW COVER SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION MACHINERY WITH ADEQUATE TEMPORARY COVER.
- NO DEBRIS OR TREE STUMPS SHALL BE BURIED ON-SITE. ALL TREES, TIMBER, STUMPS, BRUSH, RUBBER OR OTHER MATERIAL SHALL BE REMOVED FROM THE SITE. OPEN BURNING SHALL NOT BE PERMITTED.
- PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ALL DIMENSIONS ARE TO FACE OF CURB, CENTERLINE OF UTILITY, CENTERLINE OF MANHOLE OR CATCH BASIN, OR FACE OF BUILDING UNLESS OTHERWISE NOTED. TOP OF MANHOLE ELEVATIONS ARE AT TOP OF MANHOLE FRAME AND COVER. DO NOT DETERMINE DIMENSIONS BY SCALING DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS. ANY DISCREPANCIES WITH THE DRAWINGS, EXISTING FIELD CONDITIONS, SPECIFICATIONS, CODES OR REGULATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF WORK. FIELD REVISIONS REQUIRE PRIOR ENGINEERING REVIEW AND WRITTEN CONFIRMATION FROM THE OWNER.
- ALL MATERIAL STORAGE SHALL BE WITHIN THE PROPERTY BOUNDARIES AND NOT ON ADJOINING PROPERTIES.
- THE CONTRACTOR SHALL PROTECT ALL ADJOINING AND NEARBY BUILDINGS, EQUIPMENT, ALL UTILITIES, STRUCTURES, FENCES, TREES AND SHRUBBERY, ETC. FROM DAMAGE DUE TO EXCAVATION, DEMOLITION, AND CONSTRUCTION. A DETAILED TRAFFIC MAINTENANCE PLAN SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL 14 DAYS PRIOR TO BEGINNING CONSTRUCTION. MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE COORDINATED WITH THE CITY OF WILMINGTON.
- ALL WATER AND SANITARY SEWER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WILMINGTON, DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WATER, STORM, AND SANITARY TIE-INS WITH THE CITY OF WILMINGTON.
- ALL GAS AND ELECTRIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF DELMARVA POWER. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL GAS AND ELECTRICAL TIE-INS AND CONNECTIONS WITH DELMARVA POWER.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AS AMENDED, AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
- THE CONTRACTOR SHALL ERECT SUFFICIENT BARRIAGES AND TAKE NECESSARY PRECAUTIONS TO PROTECT WORK AREAS. THE CONTRACTOR SHALL NOT DISRUPT DAILY OPERATIONS OF THE FACILITY, TRAFFIC FLOW IN THE SITE, TRAFFIC FLOW ON PUBLIC STREETS, OR EMERGENCY ACCESS TO THE SITE EXCEPT WITH THE CONCURRENCE OF THE OWNER AND THE CITY OF WILMINGTON. A DETAILED TRAFFIC MAINTENANCE PLAN SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL 14 DAYS PRIOR TO BEGINNING CONSTRUCTION. MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE COORDINATED WITH THE CITY OF WILMINGTON.
- THE BIDDER IS REQUIRED TO EXAMINE CAREFULLY THE SITE OF THE WORK, THE PROPOSAL, PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS FOR THE WORK COMPLETED AND IT WILL BE ASSUMED THAT HE HAS FAMILIARIZED AND SATISFIED HIMSELF TO THE CHARACTER, QUALITY AND QUANTITY OF WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED, AND AS TO THE REQUIREMENTS OF THESE SPECIFICATIONS, PLANS AND OTHER CONTRACT DOCUMENTS, AND HE MUST BE PREPARED TO EXECUTE A FINISHED JOB IN EVERY PART WITHOUT ANY CHANGE OF FORCE WHATSOEVER, EXCEPT AS MAY BE SPECIFICALLY PROVIDED FOR ELSEWHERE IN THESE CONTRACT DOCUMENTS.

EROSION AND SEDIMENT CONTROL GENERAL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, AS AMENDED.
- AN APPROVED SEDIMENT AND EROSION CONTROL PLAN MUST BE ON THE SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL EROSION AND SEDIMENTATION CONTROL MEASURES NECESSARY TO COMPLY WITH THE STATE OF DELAWARE REGULATIONS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES FOUND NECESSARY TO CONTROL EROSION AND SEDIMENTATION ON THE SITE, DUE TO UNFORESEEN SITUATIONS IN THE DESIGN STAGE, SHALL BE INSTALLED IN ACCORDANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK AS DIRECTED BY THE CITY OR DNR/EC INSPECTOR.
- REVIEW AND APPROVAL OF THE SEDIMENT CONTROL PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITY FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORMWATER REGULATIONS. NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE DNR/EC.
- FOLLOWING SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY SEEDING SHALL BE COMPLETED WITHIN 14 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ANY SEEDING AREAS SHALL BE INSPECTED WEEKLY AND FOLLOWING EACH RAIN UNTIL PERMANENT COVER IS ESTABLISHED. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE SITE SUPERINTENDENT / GENERAL CONTRACTOR AFTER EACH RAIN OR ONCE A WEEK AND REPAIRED OR REINSTALLED IMMEDIATELY AS NECESSARY TO OBTAIN THE CONSTRUCTION STANDARDS REQUIRED.
- IF DUST BECOMES A PROBLEM, SPRINKLE WITH WATER EVERY HOUR AS NEEDED.

SEQUENCE OF CONSTRUCTION

- NOTIFY THE CITY OF WILMINGTON DEPARTMENT OF PUBLIC WORKS FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION.
- INSTALL PERIMETER CONTROLS: STABILIZED CONSTRUCTION ENTRANCE AND COMPOST FILTER LOG PRIOR TO SITE DISTURBANCE.
- BEGIN SITE CLEARING AND DEMOLITION.
- BEGIN ROUGH GRADING, SITE IMPROVEMENTS, AND BUILDING CONSTRUCTION.
- REMOVE STABILIZED CONSTRUCTION ENTRANCE WHEN BUILDING EXCAVATION IS STABILIZED.
- REMOVE COMPOST FILTER LOG IMMEDIATELY PRIOR TO PAVING.
- STABILIZE ANY AREAS DISTURBED WHEN REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WITH PERMANENT SEED AND MULCH. INSPECTION REQUIRED.

WATER NOTES:

- UPON COMPLETION OF THE WATER LINE INSTALLATION AND PRIOR TO BACKFILLING AND CONNECTING THE CUSTOMER SERVICE VALVE SHALL BE CLOSED AND THE CORPORATION STOP OPENED. AFTER ALL AIR IS EXPELLLED, A VISUAL LEAKAGE TEST WILL BE CONDUCTED. THE CUSTOMER'S SERVICE SHALL THEN BE CONNECTED AND THE CURB VALVE SHALL BE OPENED. AN ADDITIONAL LEAKAGE TEST SHALL THEN BE CONDUCTED UNDER "SYSTEM PRESSURE." THE CITY ENGINEER OR HIS REPRESENTATIVE MUST BE PRESENT DURING THE CONNECTION OF THE WATER SERVICE TO THE MAIN. THE WATER SERVICE CONNECTION SHALL BE TESTED FOR LEAKAGE BEFORE BACKFILLING OF THE TRENCH.
- PROVIDE 18" HORIZONTAL AND VERTICAL SEPARATION BETWEEN THE WATER LINE, SEWER LINE, AND OTHER UTILITIES. LOWER WATER LINE AT CROSSINGS TO PROVIDE 42" MIN. COVER.
- COORDINATE THE ABANDONMENT OF EXISTING WATER SERVICES WITH THE WILMINGTON DEPARTMENT OF PUBLIC WORKS.
- WATER METER LOCATED IN MECHANICAL ROOM. SEE PLUMBING PLANS.

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PROJECT

BRANDYWINE SCHOOL DISTRICT - TRANSPORTATION CENTER

1409 EASTLAWN AVENUE
WILMINGTON, DE 19802

OWNER

Brandywine School District
1311 Brandywine Boulevard
Wilmington, DE 19809

MARK	DATE	DESCRIPTION
2	05/24/13	ADDENDUM NO. 3
1	04/15/13	ISSUED FOR BIDDING
0	03/22/13	CD

PROJECT NO: 1228
FILE NAME: 22556.03-DETAIL-01
DRAWN BY: DJS
CHECKED BY: SHR

SHEET TITLE

SITE CONSTRUCTION AND EROSION SEDIMENT AND CONTROL DETAILS

C-501

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